

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100683
PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that DONOVAN BART E. & LAUREN D. ITS / Port City Carpentry

has permission to Add new living room, bath, laundry on 1st floor & master bedroom on 2nd floor JUL 12 2010

AT 239 MAINE AVE CBL 405A M001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of Inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Handwritten Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0683	Issue Date:	CBL: 405A M001001
-----------------------	-------------	----------------------

Location of Construction: 239 MAINE AVE	Owner Name: DONOVAN BART E & LAUREN	Owner Address: 239 MAINE AVE	Phone:
Business Name:	Contractor Name: Port City Carpentry	Contractor Address: 110 Roaring Brook Road Portland	Phone 2074157011
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Add new living room, bath, laundry on 1st floor & master bedroom on 2nd floor - 2 story addition 16'x20'	Permit Fee: \$240.00	Cost of Work: \$22,000.00	CEO District: 4
---------------------------------	--	-------------------------	------------------------------	--------------------

Proposed Project Description:
Add new living room, bath, laundry on 1st floor & master bedroom on 2nd floor

FIRE DEPT: Approved Denied
N/A
 Signature: _____

INSPECTION:
 Use Group: *R-3* Type: *SB*
IRC 2003
 Signature: _____
 Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 06/14/2010	Zoning Approval
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>visit section 14-433 to review. do not go back to 16.</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok w/ conditions</i> Date: <i>6/15/10 ASB</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASB</i>
--	---	---

PERMIT ISSUED

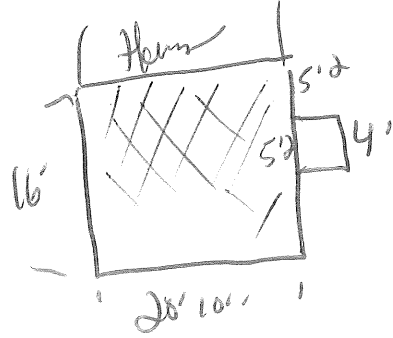
JUL 12 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



16" Footings
with Rebar

7-20-10

Damp stain
Stain Fabric
wedged up to existing
AC NHP

07/13/10 Setbacks: fans are 16' by 20' 10", 16" Footings, JGR

8-27-10

2x6 9' 5" 16oz clear
Ela dk
Plm test ok back vented
Need tempered glass in shower
windows

7-2-13

FINAL
F.J. SPAW 9'-5 2x6 KD SPF #2 - OK
5'-8

BLDG W=20'

FAIL → NEED TO FINISH: BATH -
CASEWORK -
SMOKES & CO -

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0683	Date Applied For: 06/14/2010	CBL: 405A M001001
-----------------------	---------------------------------	----------------------

Location of Construction: 239 MAINE AVE	Owner Name: DONOVAN BART E & LAUREN	Owner Address: 239 MAINE AVE	Phone:
Business Name:	Contractor Name: Port City Carpentry	Contractor Address: 110 Roaring Brook Road Portland	Phone: (207) 415-7011
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - 2 story addition (16' x 20') - new living room, bath, laundry on 1st floor & master bedroom on 2nd floor	Proposed Project Description: 2 story addition (16' x 20') - new living room, bath, laundry on 1st floor & master bedroom on 2nd floor
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/15/2010**Note:** Using section 14-433 to reduce the required 20' side setback to 16' even with the existing house. **Ok to Issue:** ✓

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/12/2010**Note:** **Ok to Issue:** ✓

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) A CO detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

NOTES:

An egress window must satisfy all four International Residential Code (IRC) criteria:

- * Minimum width of opening: 20 in.
- * Minimum height of opening: 24 in.
- * Minimum net clear opening: 5.7 sq. ft. (5.0 sq. ft. for ground floor).
- * Maximum sill height above floor: 44 in.

- Will be in bedroom

Smoke and CO2 Detectors

When interior alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created, smoke detectors shall be installed throughout the existing dwelling unit as required for new dwellings; the smoke alarms shall be interconnected & hard wired. (Exception: when alterations/repairs do not result in the removal of interior wall or ceiling finish, unless there is an attic, crawl space or basement available which could provide access.)

In dwelling units, a Detector shall be installed in each sleeping room and outside of each separate sleeping area in the immediate vicinity of the bedrooms. In dwelling units with more than one story and in dwellings with basements, a Detector shall be installed on each story and in the basement. A CO2 detector to be placed in common area.

STRUCTURAL NOTE: (3)2X12 REQUIRED ON OPENINGS OF 8' OR MORE. ✓

FOUNDATION TO BE DAMPPROOFED ✓

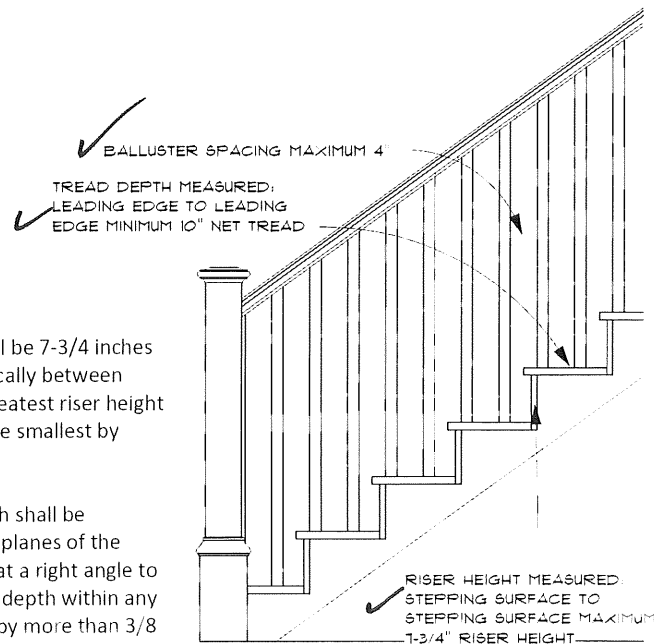
ANCHOR BOLTS 1/2" DIAMETER SPACED 4' OC ✓

SILL PLATE MINIMUM 2X6 PT ✓



WHITTEN DESIGNS
537 JELLERSON ROAD
EAST WATERBOROUGH, MAINE 04030

Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103



Riser height. The maximum riser height shall be 7-3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

Tread depth. The minimum tread depth shall be 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.

STAIR DETAIL

A4.3

Scale 1/2" = 1'-0"



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>239 Maine Ave</u>		
Total Square Footage of Proposed Structure/Area <u>640 sq. Ft</u>	Square Footage of Lot <u>7000 SF</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>405A M001001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Bart + Lauren Donovan</u> Address <u>239 Maine Ave</u> City, State & Zip <u>Portland, ME. 04103</u>	Telephone: <u>(207) 878-1162</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>22,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>290</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Great Rm. Bathroom / Master Bedroom</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Add New living Room + Bathroom / Laundry on First Floor + Master bedroom on Second Floor.</u>		
Contractor's name: <u>Jamie Header / Port City Carpentry</u> Address: <u>110 Rearing Brook Rd.</u> City, State & Zip <u>Portland, ME. 04103</u> Telephone: <u>207 415-7011</u> Who should we contact when the permit is ready: <u>Jamie Header</u> Telephone: <u>207 415-7011</u> Mailing address: <u>Same as above</u>		

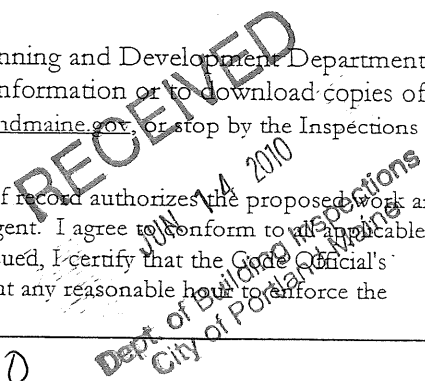
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Dan G. Header Date: 6/14/10

This is not a permit; you may not commence ANY work until the permit is issued



Marge Schmuckal - RE: Lauren and Bart Donovan, 239 Maine Ave., 405-A-M-1-2

From: Marge Schmuckal
To: Matt Manahan
Date: 5/18/2010 10:42 AM
Subject: RE: Lauren and Bart Donovan, 239 Maine Ave., 405-A-M-1-2

R-3 - 7000#

Matt,
I apologize for the time it has taken getting back to you. I have reviewed what you sent me. The sewer/plumbing aspect is a very persuasive argument that would sway me. Of course I would need to see the entire application before I make a final decision. At this point based upon what you are arguing, I could probably grant the exception for the setback.

I look forward to seeing the entire application.

I hope you are still doing well,
Marge

>>> "Matt Manahan" <mmanahan@pierceatwood.com> 5/14/2010 11:24 AM >>>

Marge, did you get the email below? Let me know if you need more information. Thanks, Matt

From: Matt Manahan
Sent: Tuesday, May 11, 2010 8:30 AM
To: 'mes@portlandmaine.gov'
Subject: Lauren and Bart Donovan, 239 Maine Ave., 405-A-M-1-2

Marge --

Thanks for talking with me last month about Lauren and Bart Donovan's house at 239 Maine Ave. I passed along your advice to Lauren and Bart, and they have prepared the attached letter to you requesting a setback reduction under Section 14-433. Before they send this to you in final form along with their building permit application, I thought we should run it by you in draft to make sure you think it will do the trick. Can you review it and let me know if you think it's okay, or if Lauren and Bart should make any changes to it before sending it to you?

Thanks for your help!
Matt

Matthew D. Manahan
Pierce Atwood LLP
One Monument Square
Portland, ME 04101-0111
207-791-1189 direct
207-791-1350 fax
207-807-4653 mobile
207-829-5909 home
mailto:mmanahan@pierceatwood.com
<http://www.pierceatwood.com/bios/manahan.html>

This email was sent from the law firm Pierce Atwood LLP. It may contain information that is privileged and confidential. If you suspect that you were not intended to receive it, please delete it and notify us as soon as possible. Thank you.

<< File: Letter to Marge Schmuckal (W1779490-2).DOC >>

239 Maine Ave

Map

239 Maine Ave

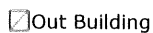


Interstate



Streets

Buildings

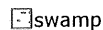


Parcels

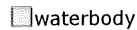
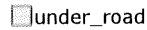
Stream



Wetland



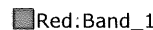
Lake/Pond



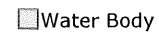
County Streets



Photos 2006 (islands)



ME Towns



Ocean





Marge Schmuckal - RE: Lauren and Bart Donovan, 239 Maine Ave., 405-A-M-1-2

From: "Matt Manahan" <mmanahan@pierceatwood.com>
To: <mes@portlandmaine.gov>
Date: 5/14/2010 11:25 AM
Subject: RE: Lauren and Bart Donovan, 239 Maine Ave., 405-A-M-1-2

Marge, did you get the email below? Let me know if you need more information. Thanks, Matt

From: Matt Manahan
Sent: Tuesday, May 11, 2010 8:30 AM
To: 'mes@portlandmaine.gov'
Subject: Lauren and Bart Donovan, 239 Maine Ave., 405-A-M-1-2

Marge --

Thanks for talking with me last month about Lauren and Bart Donovan's house at 239 Maine Ave. I passed along your advice to Lauren and Bart, and they have prepared the attached letter to you requesting a setback reduction under Section 14-433. Before they send this to you in final form along with their building permit application, I thought we should run it by you in draft to make sure you think it will do the trick. Can you review it and let me know if you think it's okay, or if Lauren and Bart should make any changes to it before sending it to you?

Thanks for your help!
Matt

Matthew D. Manahan
Pierce Atwood LLP
One Monument Square
Portland, ME 04101-0111
207-791-1189 direct
207-791-1350 fax
207-807-4653 mobile
207-829-5909 home
<mailto:mmanahan@pierceatwood.com>
<http://www.pierceatwood.com/bios/manahan.html>

This email was sent from the law firm Pierce Atwood LLP. It may contain information that is privileged and confidential. If you suspect that you were not intended to receive it, please delete it and notify us as soon as possible. Thank you.

<< File: Letter to Marge Schmuckal (W1779490-2).DOC >>

BART AND LAUREN DONOVAN
239 Maine Avenue
Portland, Maine 04102
(207) 878-1162 home

May 11, 2010

Marge Schmuckal
Zoning Administrator
City of Portland
Portland City Hall
389 Congress Street, Room 315
Portland, ME 04101

RE: 239 Maine Avenue

405A-M-1 & 2

R-3
7000#

Dear Ms. Schmuckal:

We are enclosing our application for a building permit for an addition to our home at 239 Maine Avenue in Portland. We understand that the applicable side yard setback is 20 feet, but, as you will see from the enclosed materials (including a plot plan showing the proposed addition in relation to our property line), we are proposing to build the new structure in line with the setback of our house as it exists today, which is 16 feet from the side property line on the paper "Virginia Street" side. We are seeking your approval for this setback reduction, pursuant to Section 14-433 of the City's ordinances.

We believe we qualify for a setback reduction under Section 14-433 because our lot was a lot of record on June 5, 1957 and it has a principal structure which existed on July 19, 1988 (our house was built in 1926). Further, the 20-foot side setback from "Virginia Street" cannot be met, for the following reasons.

First, our house's roof line allows for an addition on the rear, but manipulating the roof line to accommodate an alternate location for the addition would be extremely difficult and much more expensive (and well beyond our resources). Second, we need a bathroom in our addition, and our plumbing is set up in a manner that makes an additional bathroom in the rear possible; a bathroom in another location would not be affordable or manageable for the builders. The sewer line lends for building in the rear of the home, while any other location would force moving the entire sewer system. Third, in order for our home layout to flow into the new family room, building directly in the rear is the only option.

Our family would like to continue living in our home on Maine Avenue. We like living in Portland for many reasons, and our two children are thriving in the local schools and the community. But in order to stay in our current house we need to modernize it and



make it larger; it is simply too small (960 square feet) and outdated (built in 1926) for our family. It has tiny bedrooms, only one bathroom, and no family room – only a small living room area. We need another bathroom and larger living and bedroom spaces for our two girls (and our large dog!).

If you allow us to construct our addition as proposed, we would be maintaining the current 16-foot setback to a paper street that, to our knowledge, has never been used. Building in this manner would not compromise the integrity of our neighborhood or have a negative impact on any potential future use of Virginia Street; the addition would not add a visibility obstruction to vehicles approaching Maine Avenue from that portion of Virginia Street if it ever were to be built out as a road because the addition would be further back from the corner than our current house.

Thank you for your time and consideration. Please let us know if you have any questions.

Sincerely,

Bart and Lauren Donovan

Enclosures

Map



- Stream_protection
- IMb Industrial - Moderate Impact
- OP Office Park
- R1 Residential
- R2 Residential
- R3 Residential
- R4 Residential
- R5 Residential
- C27
- C28
- C29
- C30

040 b008 (1)

Parcels (1)

OBJECTID_1	OBJECTID	id	CBL	LEAD_CBL	no_cbl	Shape_Leng	dissolve	Shape_Le_1	sde.PORTGIS.parcels.Shape	PropData.OBJECTID	ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAI
9707	9257	0	040 B008	040 B008	cbl	226.017402	0	226.017402	Polygon	20063	040 B008001	DWELLEY DALTON B	JANET E JTS	32 F



1 3D View 1

W
WHITTEN

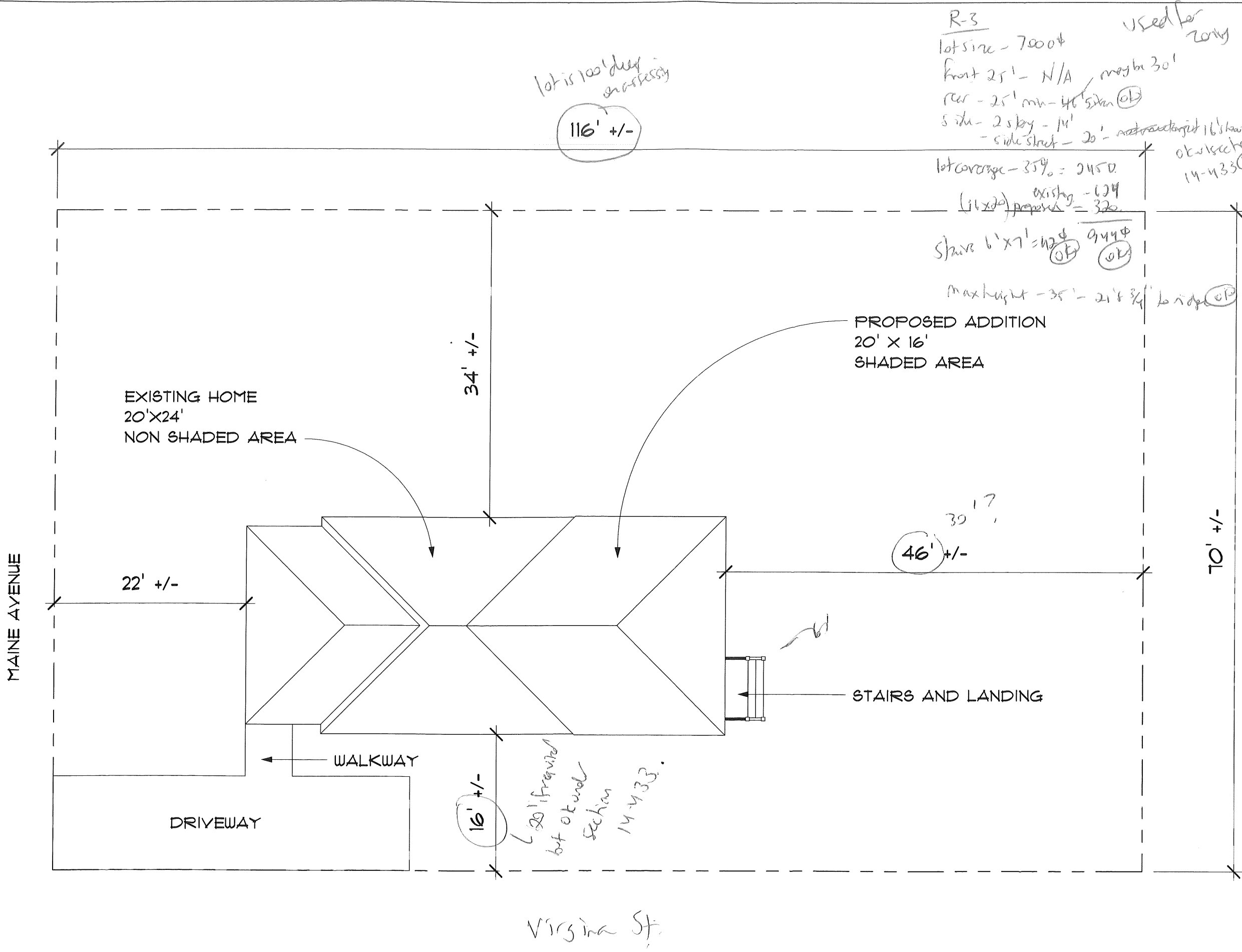
WHITTEN DESIGNS
537 JELFERTSON ROAD
EAST WATERBOROUGH, MAINE 04030

RECEIVED
JUN 14 2010
Dept. of Building Inspections
City of Portland Maine

Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103

A0.0

Scale



lot is 100' deep -
or access

116' +/-

R-3
 lot size - 7000±
 front 25' - N/A
 rear - 25' min - 46' side (OK)
 side - 25' by - 14'
 - side street - 20' - not rectangular 16' than
 used for zoning
 maybe 30'
 ok w/ section
 14-433 (OK)

lot coverage - 35% = 2450
 (11 x 20) existing - 624
 proposed = 320

Shave 6' x 7' = 42±
 944± (OK) (OK)

max height - 35' - 21' 3/4' to ridge (OK)

PROPOSED ADDITION
 20' X 16'
 SHADED AREA

EXISTING HOME
 20' X 24'
 NON SHADED AREA

MAINE AVENUE

22' +/-

34' +/-

46' +/-

30' +/-

100' +/-

WALKWAY

DRIVEWAY

STAIRS AND LANDING

16' +/-

20' if required
 but ok w/ section
 14-433.

Virginia St.

Client
Bart & Lauren Donovan
 239 Maine Avenue
 Portland, Maine 04103

A1.0

Scale 1" = 10'-0"

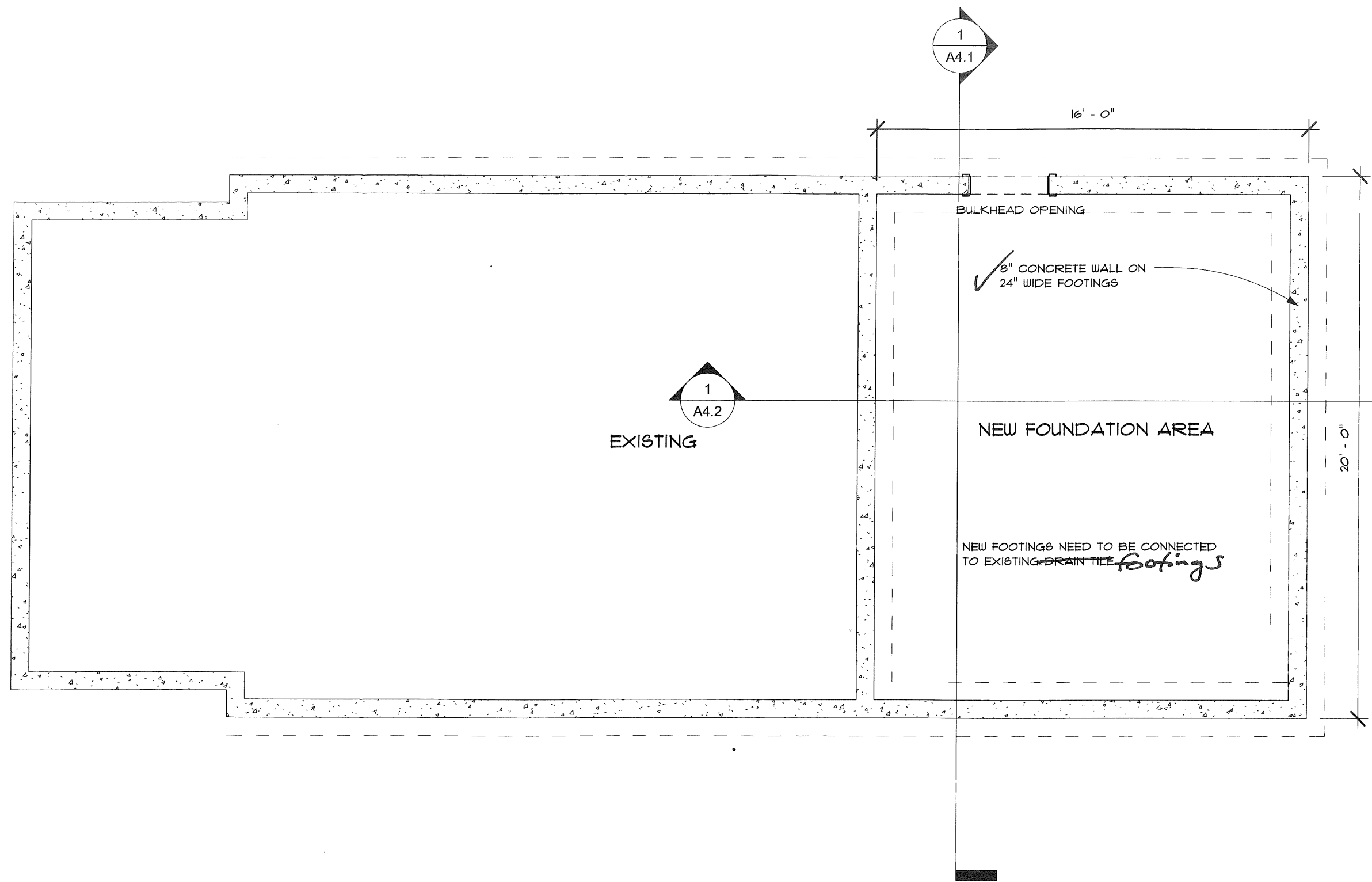
6/14/2010 1:04:48 PM



WHITTEN

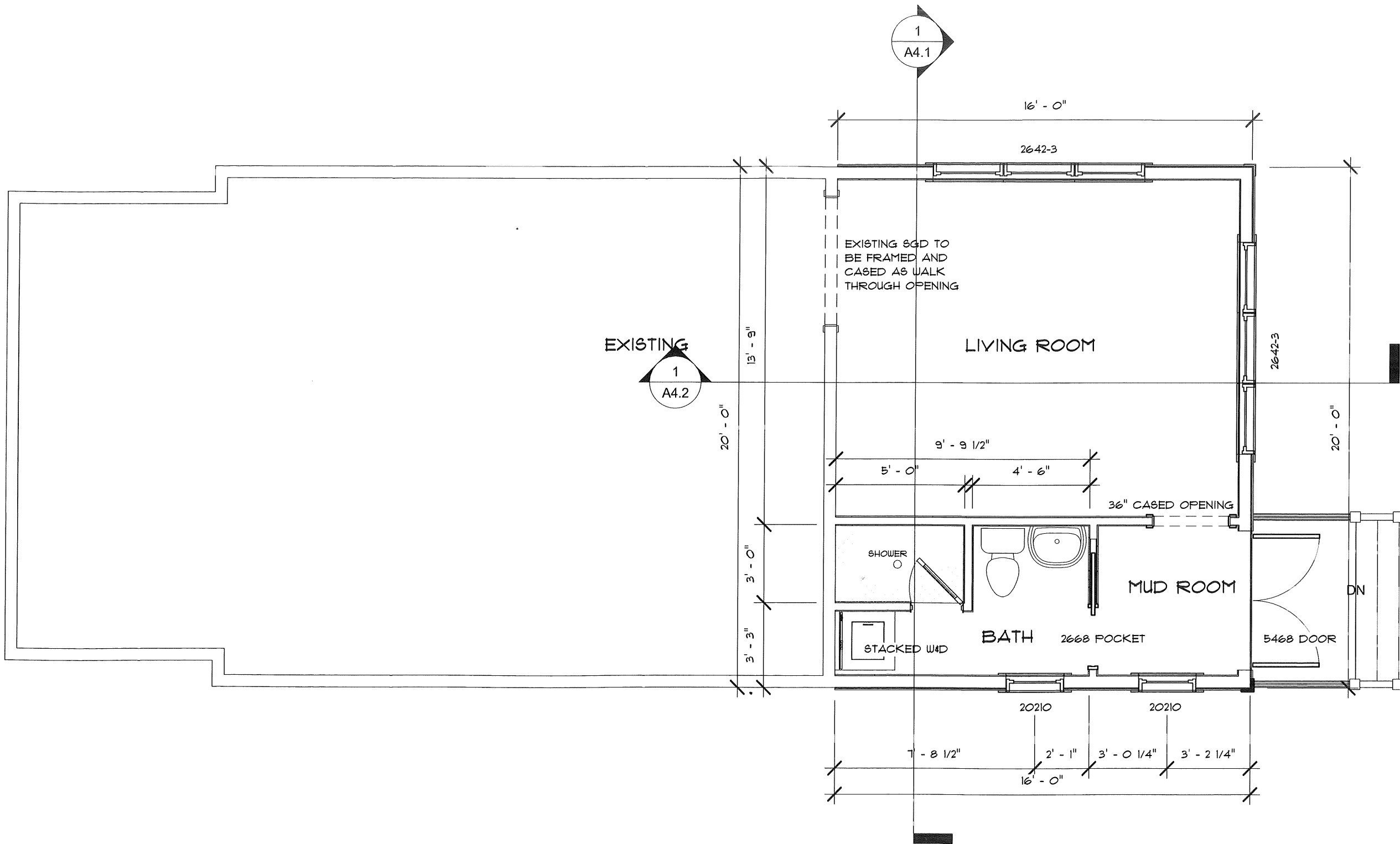
WHITTEN DESIGNS
537 JELLERSON ROAD
EAST WATERBOROUGH, MAINE 04030

Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103



A1.1

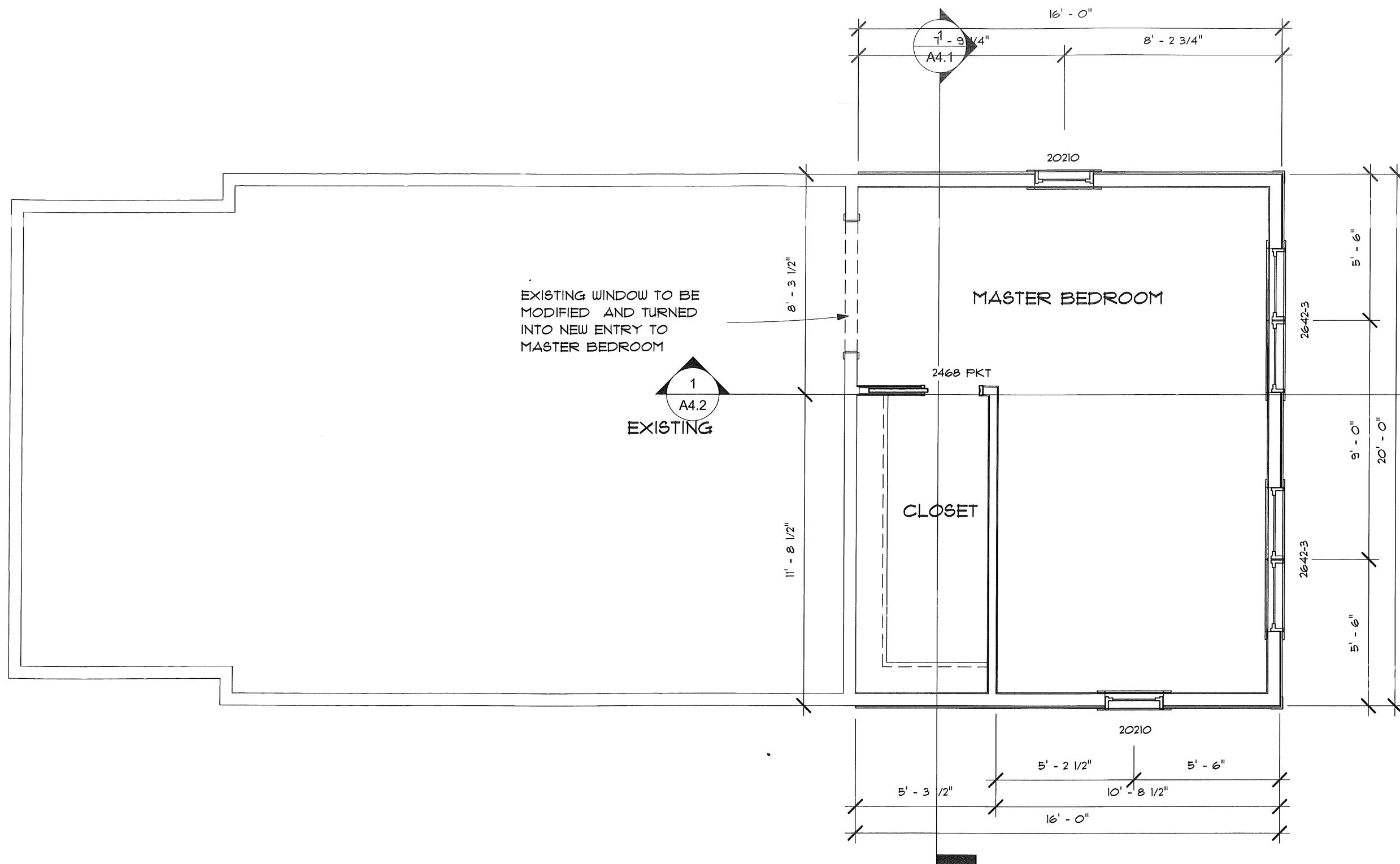
Scale 1/4" = 1'-0"



① First Floor
1/4" = 1'-0"

Scale 1/4" = 1'-0"

A1.2

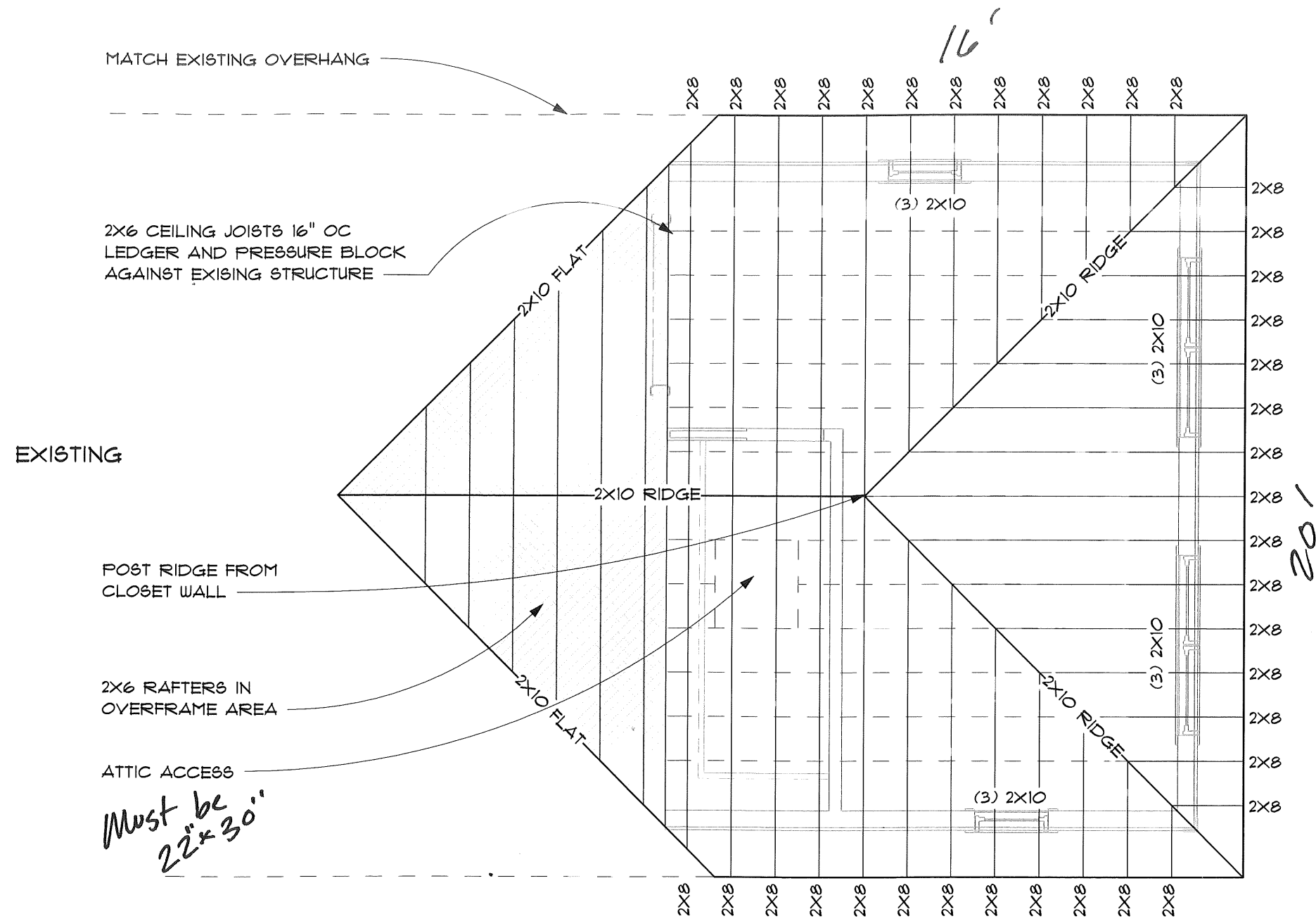


① Second Floor
1/4" = 1'-0"

A1.3



WHITTEN DESIGNS
537 JELLERSON ROAD
EAST WATERBOROUGH, MAINE 04030



Client
Port City Carpentry
110 Roaring Brook Road
Portland, ME

A1.4

Scale 1/4" = 1'-0"

1
A4.1

Ridge
21' - 8 3/4"

Second Floor TP
17' - 1"

Second Floor
8' - 11 1/2"

First Floor TP
8' - 1 1/2"

First Floor
0' - 0"

Foundation
-1' - 0"

Site
-2' - 0"

Top of Slab
-8' - 8"

T.O. Footing
B.O. Footing
-9' - 8"



WHITTEN

WHITTEN DESIGNS
537 JELLERSON ROAD
EAST WATERBOROUGH, MAINE 04030

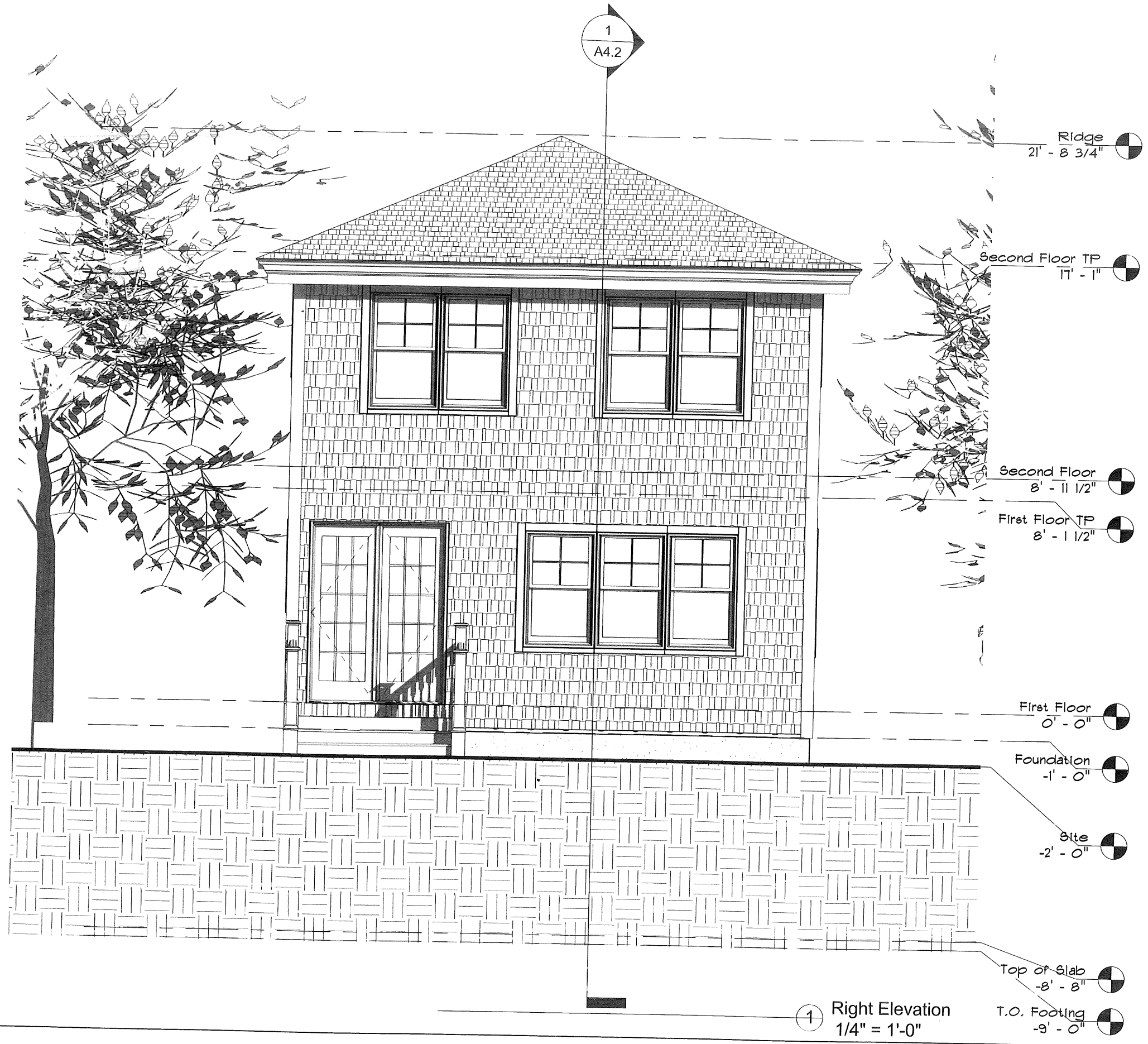
Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103

A2.1

Scale 1/4" = 1'-0"

6/14/2010 10:24:49 AM

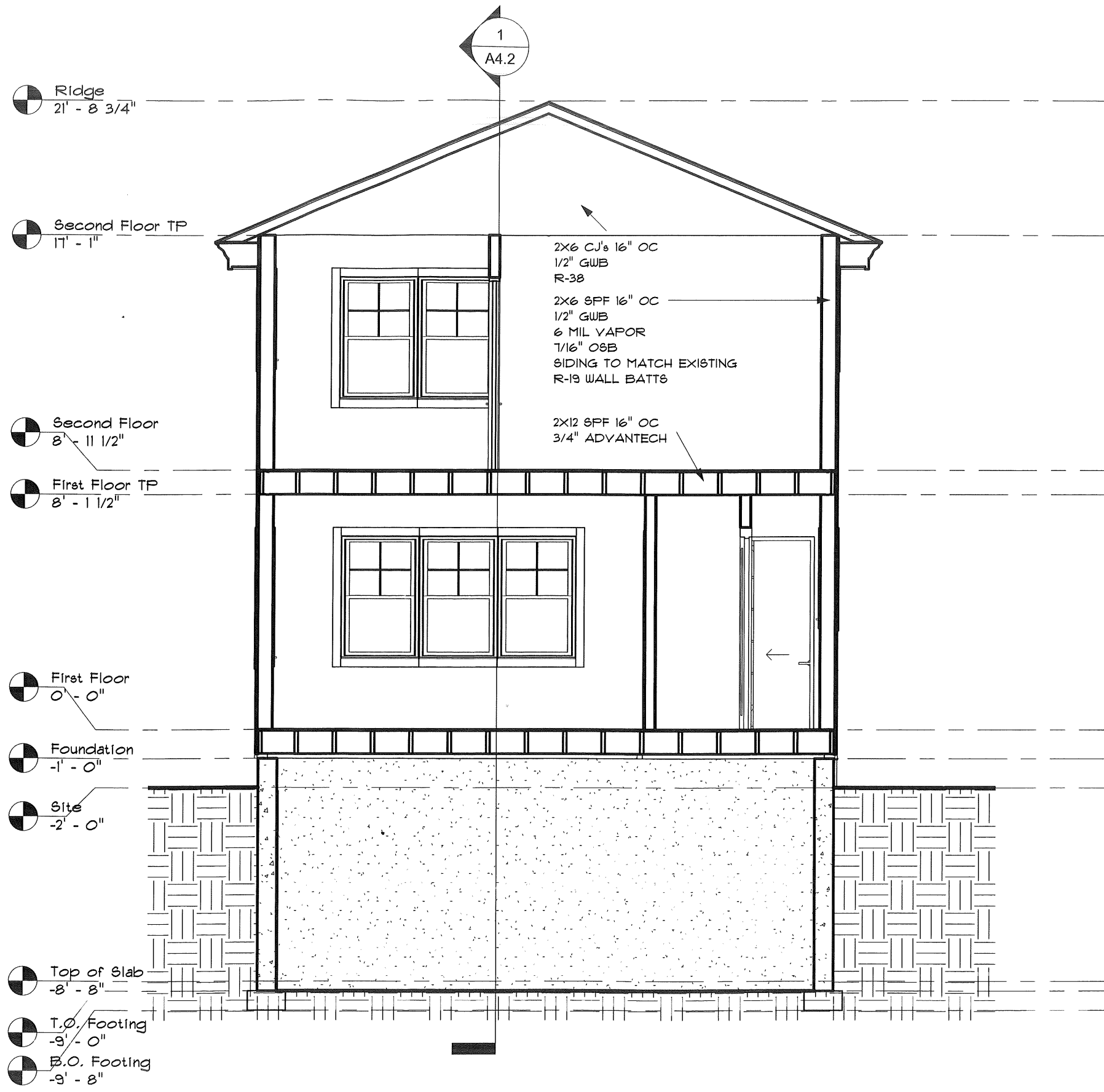




① Right Elevation
1/4" = 1'-0"

A2.4

Scale 1/4" = 1'-0"



A4.1

Scale 1/4" = 1'-0"

1
A4.1

Ridge
21' - 8 3/4"

Second Floor TP
17' - 1"

Second Floor
8' - 11 1/2"

First Floor TP
8' - 1 1/2"

First Floor
0' - 0"

Foundation
-1' - 0"

Site
-2' - 0"

Top of Slab
-8' - 8"

T.O. Footing
-9' - 0"

B.O. Footing
-9' - 8"

EXISTING WALL TO STAY. FRAME FLOORS AND WALLS TO MATCH THE TOP OF EXISTING FLOORS AND WALLS.

2X6 SILL PLATE
(3)2X10 HEADERS (typ)
CLOSED SOFFIT TO MATCH
2X6 C.J.'S 16" OC

4" SLAB
8"X16" FOOTINGS
8" CONC. WALL
DRAINAGE TO HOOK INTO EXISTING



WHITTEN DESIGNS
537 JELLERSON ROAD
EAST WATERBOROUGH, MAINE 04030

Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103

A4.2

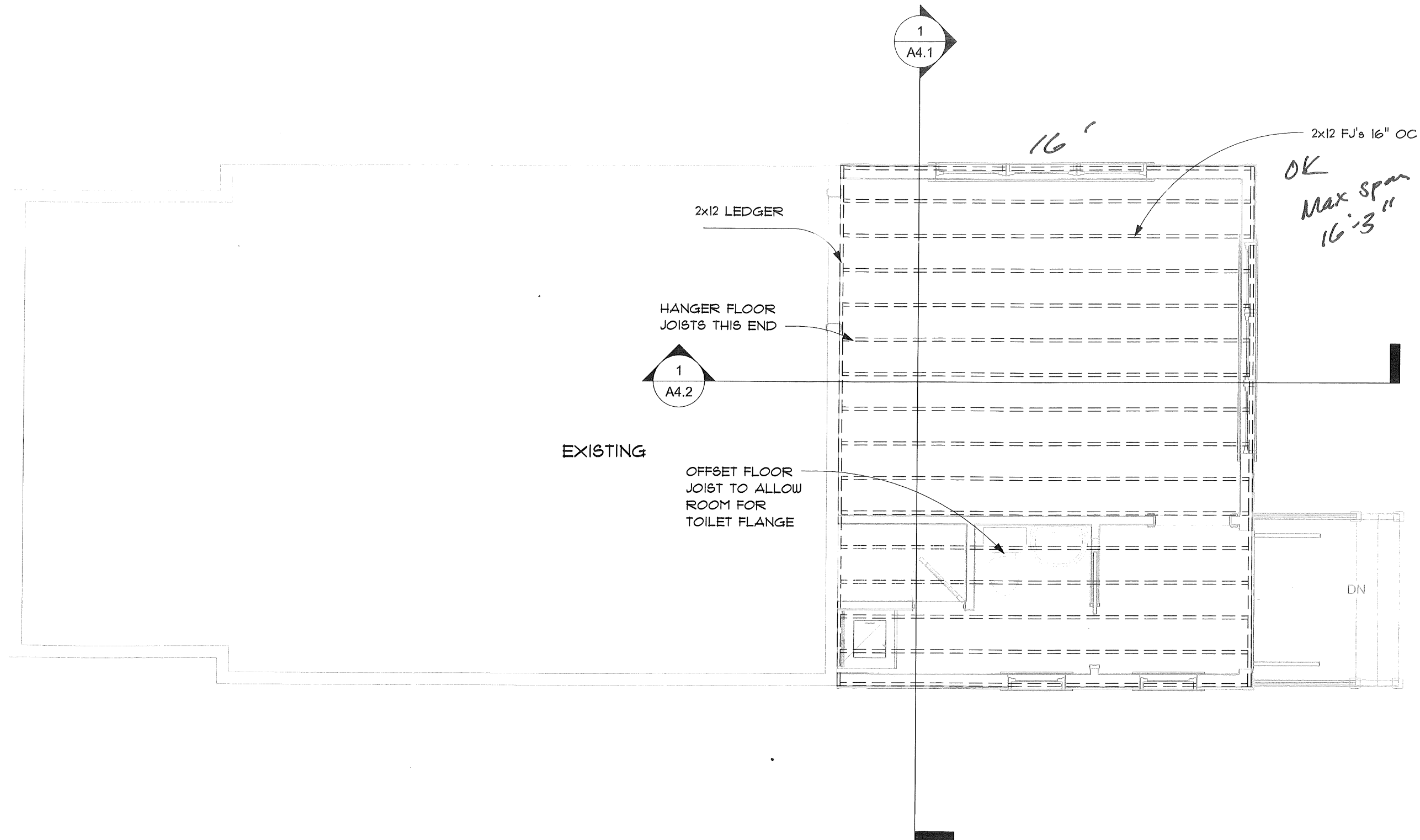
Scale 1/4" = 1'-0"

6/14/2010 10:34:04 AM



WHITTEN

WHITTEN DESIGNS
537 JELLERSON ROAD
EAST WATERBOROUGH, MAINE 04030



Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103

S1.2

Scale 1/4" = 1'-0"

6/14/2010 10:26:05 AM



WHITTEN

WHITTEN DESIGNS
537 JELLYSON ROAD
EAST WATERBOROUGH, MAINE 04030

Client
Bart & Lauren Donovan
239 Maine Avenue
Portland, Maine 04103

S1.3

Scale 1/4" = 1'-0"

6/14/2010 10:26:11 AM

