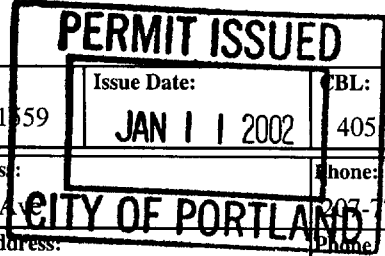


**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-1659	Issue Date: <b>JAN 1   2002</b>	UBL: 405A K011001
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Location of Construction: 1 Liberty Way	Owner Name: Pines Of Portland Inc	Owner Address: 426 Forest Ave	Phone: 207-772-2127
Business Name: n/a	Contractor Name: Pines of Portland, Inc.	Contractor Address: 426 Forest Ave. Portland	Phone: 2077722127
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: <b>R-3</b>

Past Use: Single Family being constructed	Proposed Use: Single family / Amendment to Permit # 010767 / 010254. Includes extension of front porch and increase size of rear deck, and finish attic space. <i>to remain I.D.U.</i>	Permit Fee: \$66.00	Cost of Work: \$7,000.00	CEO District: 2
--	--	------------------------	-----------------------------	--------------------

Proposed Project Description: Amendment to Permit # 010767 / 010254.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <b>R3</b> Type: <b>SB</b> <b>BOCA 1999</b>
	Signature:	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> <i>N/A</i> <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 12/26/2001	<b>Zoning Approval</b>	
------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>1/3/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>1/9/02</i>	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	--	---	---

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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*An amendment to Permit # 010767/01-0254  
1 Liberty Way (Lot 18 Pines)*

## All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: *1 Liberty Way (Lot 18 Pines)*

Total Square Footage of Proposed Structure <i>3000 sq ft</i>	Square Footage of Lot <i>11 800 sq ft</i>
---	--

Tax Assessor's Chart, Block & Lot Chart# <i>405</i> Block# <i>A K</i> Lot# <i>011</i>	Owner: <i>Pines of Portland, Inc.</i>	Telephone: <i>7722127</i>
--	--	------------------------------

Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <i>Same</i>	Cost Of Work: \$ <i>7000</i> Fee: \$ <i>66.00</i>
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Current use: *Single family residence being constructed.*

If the location is currently vacant, what was prior use: \_\_\_\_\_

Approximately how long has it been vacant: \_\_\_\_\_

Proposed use: \_\_\_\_\_

Project description: *Amendment of Plan to include extension of front porch and increase size of rear deck, and finish attic space.*

Contractor's name, address & telephone: *Pines of Portland, Inc.*

Who should we contact when the permit is ready: *Greg Mc Cormack*

Mailing address: *426 Forest Ave.  
Portland, Maine 04101*

Phone: *7722127*

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <i>Greg Mc Cormack</i>	Date: <i>12/26/01</i>
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**This is not a permit, you may not commence ANY work until the permit is issued**

DEC 26 2001



Application ID Number: 1-1559

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 1 Liberty Way

Approval Date: 01/03/2002

Given On Date: 01/02/2002

OK to Issue Permit Name: Marge Schmuckal Date: 01/03/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

All conditions on the original permit are still in effect.

Create Date: 12/27/2001 By: gg Update Date: 01/03/2002 By: mes

Application ID Number: 1-1559

Delete Review

Save

Close

Department: DRC

Status: Approved

Reviewer: Jay Reynolds

Comments:

Approval Date: 12/28/2001

Given On Date: 12/27/2001

OK to Issue Permit

Name: Jay Reynolds

Date: 12/28/2001

Date 2:

Create Date: 12/27/2001 By gg

Update Date: 12/28/2001 By jayjr

LOT 18 PINES @ LIBERTY WAY  
 PLOT PLAN BY GREG MCCORMACK  
 Reference: Plan of Liberty Way  
 Conceptual Grading Plan  
 By Pinkham + Greer  
 Scale: 1" = 30' 3/23/01

NOTE: TWO TREES TO BE PLANTED  
 OR CONSERVED

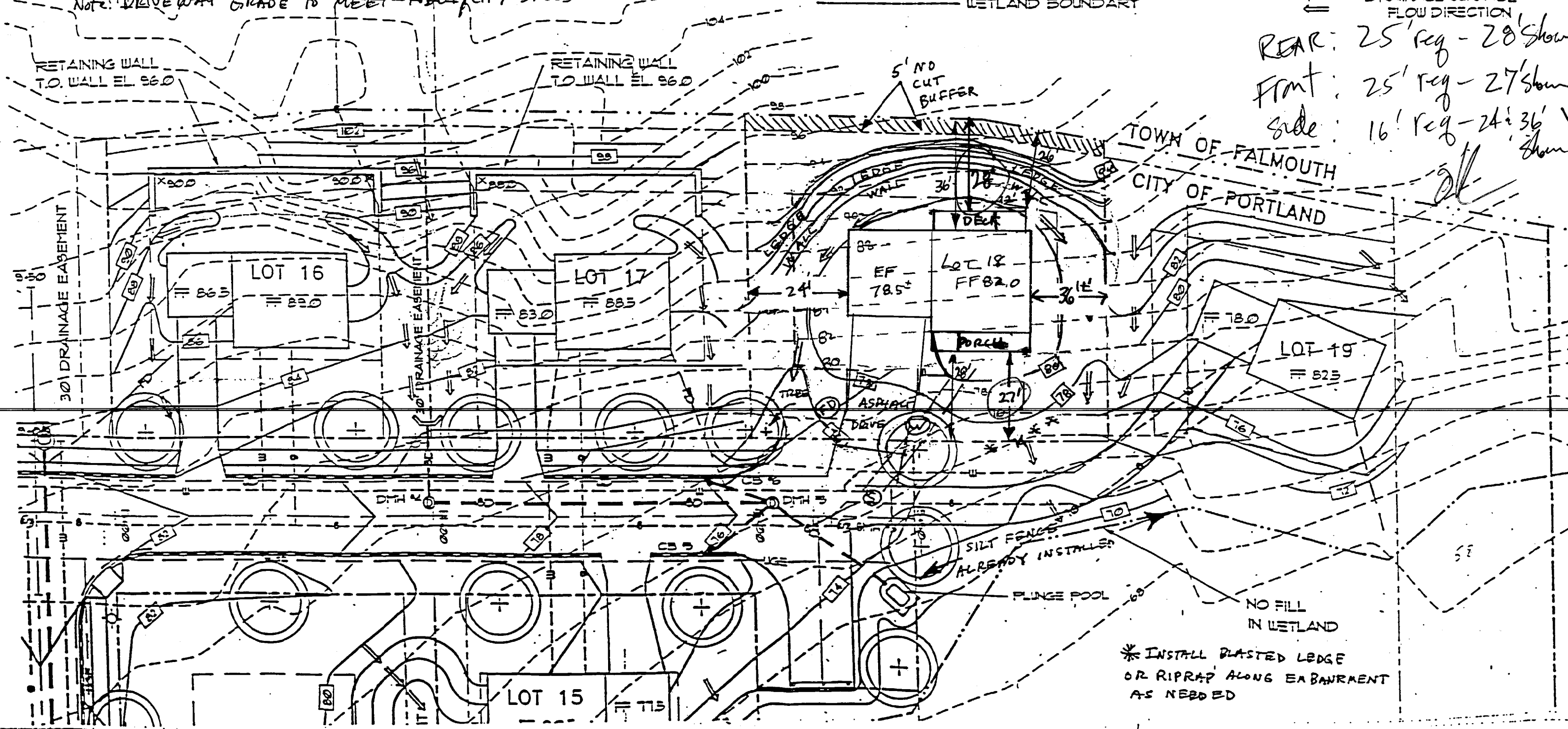
4/5/01 Revised Grading, Dropped House Elevation to 82.0

NOTE: DRIVEWAY GRADE TO MEET ADOT/CITY SPECS

1/30/01 Revised site plan  
 to reflect new building  
 footprint.

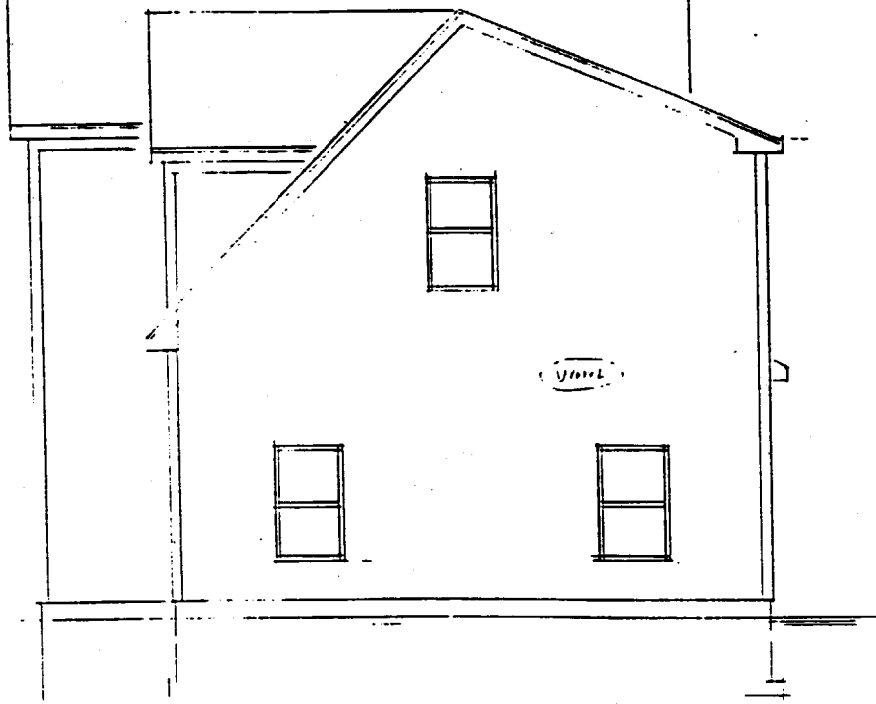
12/15/01 Revised site plan to  
 reflect Added porch and rear deck.

---	200	---	CONTOURS	---	---	---	EDGE OF PAVEMENT
---	G	---	BUILDING	---	---	---	CURS
---	OHE	---	GAS LINE	---	---	---	CONTOURS
---	S	---	OVERHEAD ELECTRIC LINE	---	---	---	BUILDING
---	SD	---	SANITARY SEWER	---	---	---	OVERHEAD ELECTRIC LINE
---	U	---	STORM DRAIN	---	---	---	SANITARY SEWER
---	U	---	WATER LINE	---	---	---	STORM DRAIN
---	U	---	SEWER MANHOLE	---	---	---	UNDERGROUND ELECTRIC
---	U	---	DRAIN MANHOLE	---	---	---	WATER LINE
---	U	---	IRON PIPE	---	---	---	UNDERDRAIN
---	U	---	HYDRANT	---	---	---	CENTERLINE
---	U	---	UTILITY POLE	---	---	---	SPOT GRADE
---	U	---	WETLANDS DELINEATION BY MARK HANFTON ASSOCIATES, INC.	---	---	---	CATCH BASIN
---	U	---	WETLAND LINE	---	---	---	DRAIN MANHOLE
---	U	---	WETLANDS DELINEATION BY PINKHAM + GREER CONSULTING ENGINEERS, INC.	---	---	---	SANITARY MANHOLE
---	U	---	WETLAND BOUNDARY	---	---	---	HYDRANT
---	U	---		---	---	---	LIGHT POLE
---	U	---		---	---	---	DRAINAGE SURFACE
---	U	---		---	---	---	FLOW DIRECTION

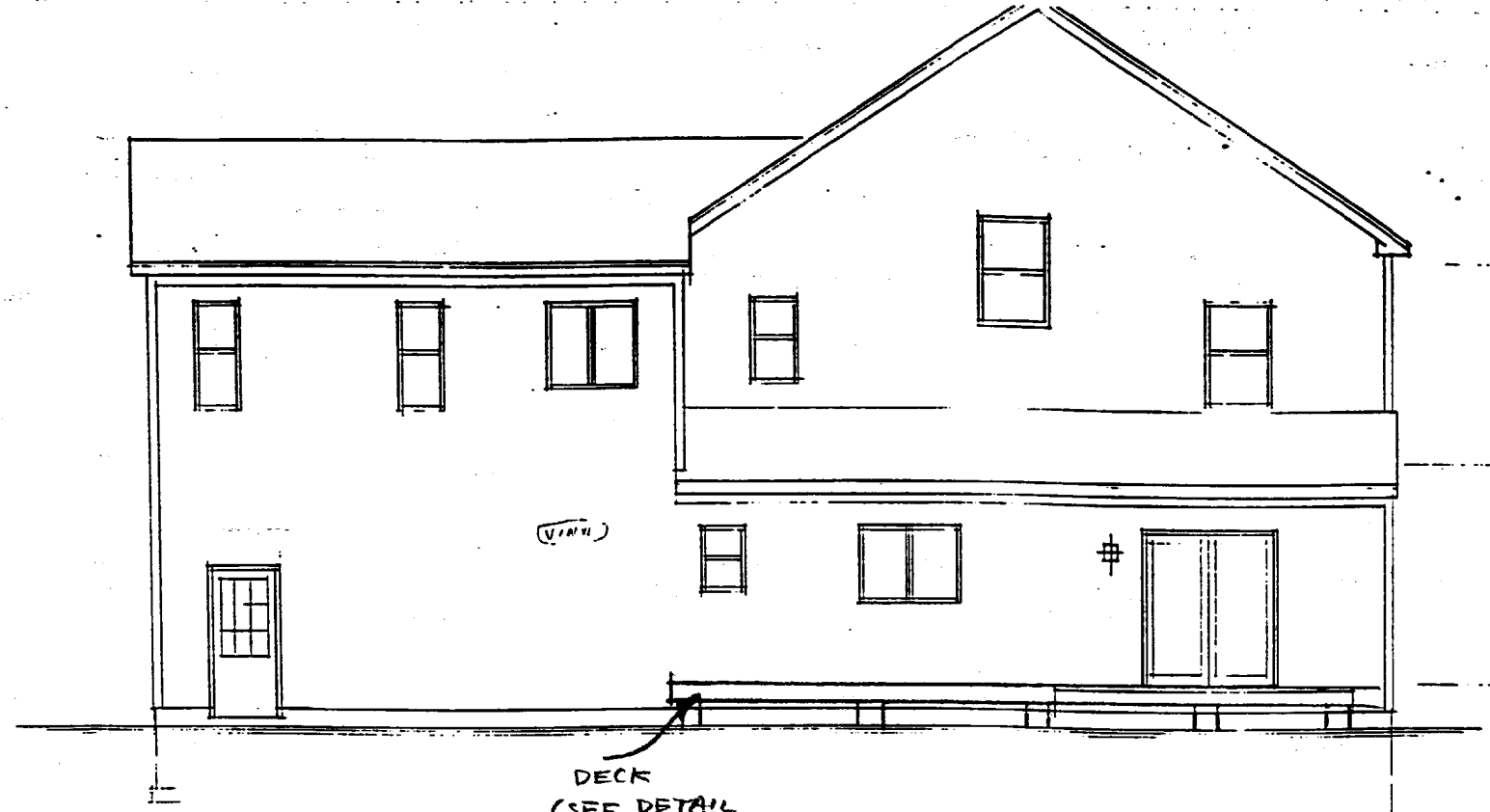


REAR: 25' reg - 28' show  
 Front: 25' reg - 27' show  
 side: 16' reg - 24' 36' show

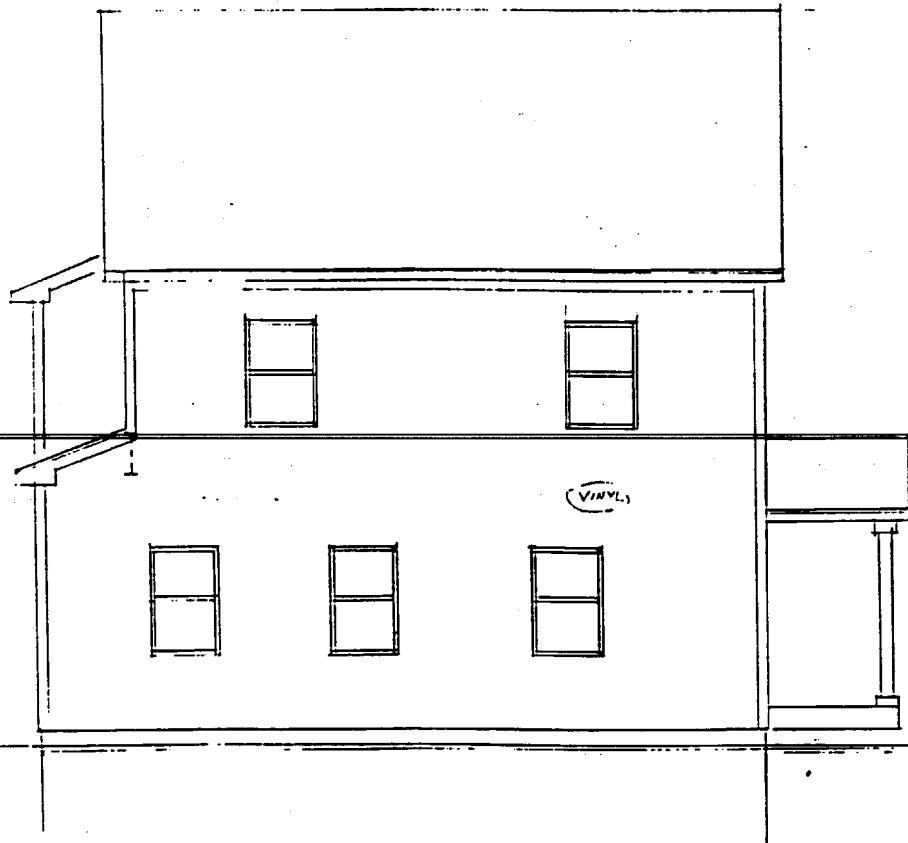
\* INSTALL BLASTED LEDGE  
 OR RIPRAP ALONG EMBANKMENT  
 AS NEEDED



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

*Reversed  
Floor Plan.*

**GENERAL NOTES**  
 1. Plans are shown in accordance with the 1994  
 2. A 1/4" = 1'-0" scale for all elevations and  
 3. All dimensions shall be as indicated on the  
 4. All materials shall be as indicated on the  
 5. All materials shall be as indicated on the  
 6. All materials shall be as indicated on the  
 7. All materials shall be as indicated on the  
 8. All materials shall be as indicated on the  
 9. All materials shall be as indicated on the  
 10. All materials shall be as indicated on the

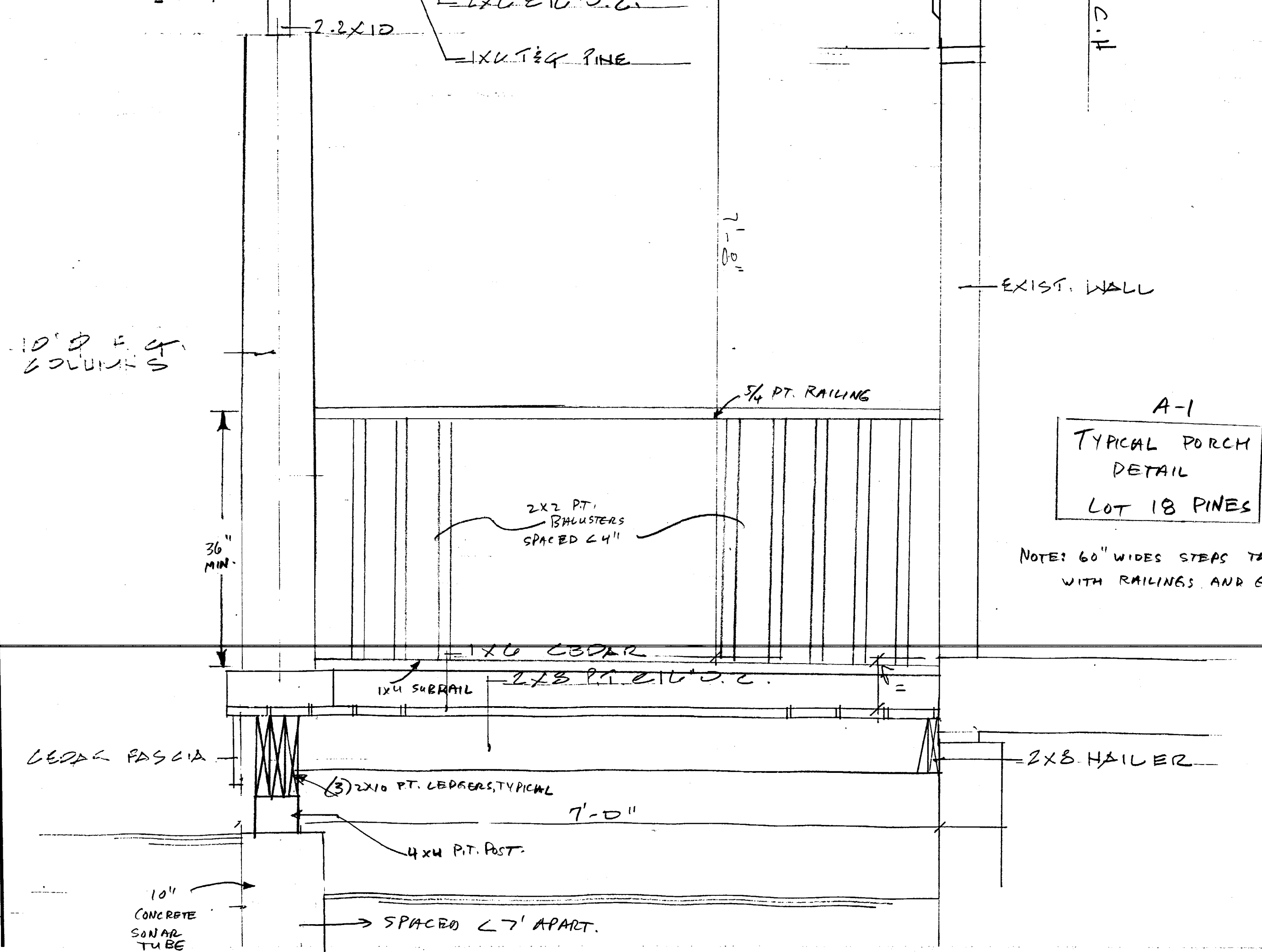
*1 Liberty Way*

LOT 8, THE PINES RESIDENCE, PORTLAND, ME  
 CONTRACTOR: GREG MCCORMACK

Date: \_\_\_\_\_  
 Scale: 1/2"  
 Drawn: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Sheet: 1  
 ELEVATIONS  
 OF \_\_\_\_\_

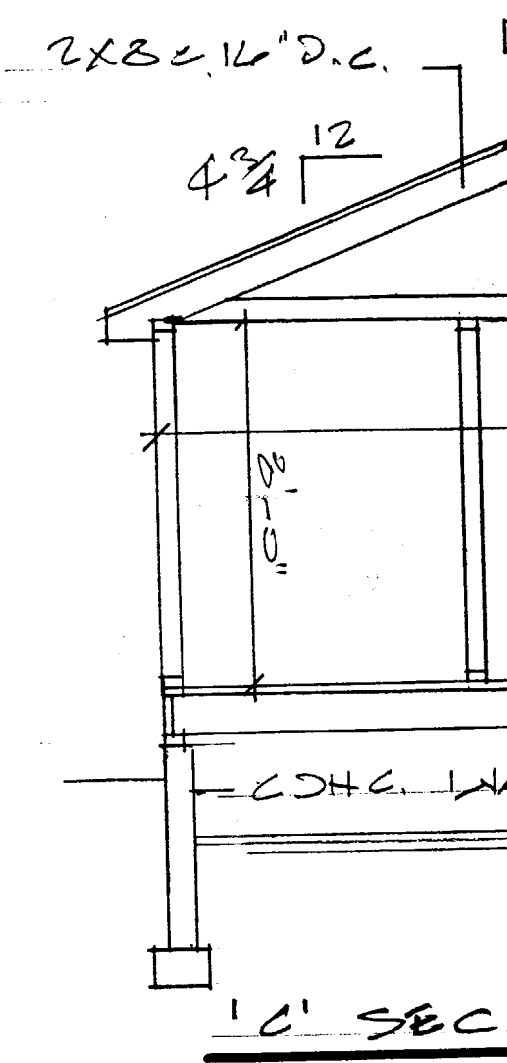
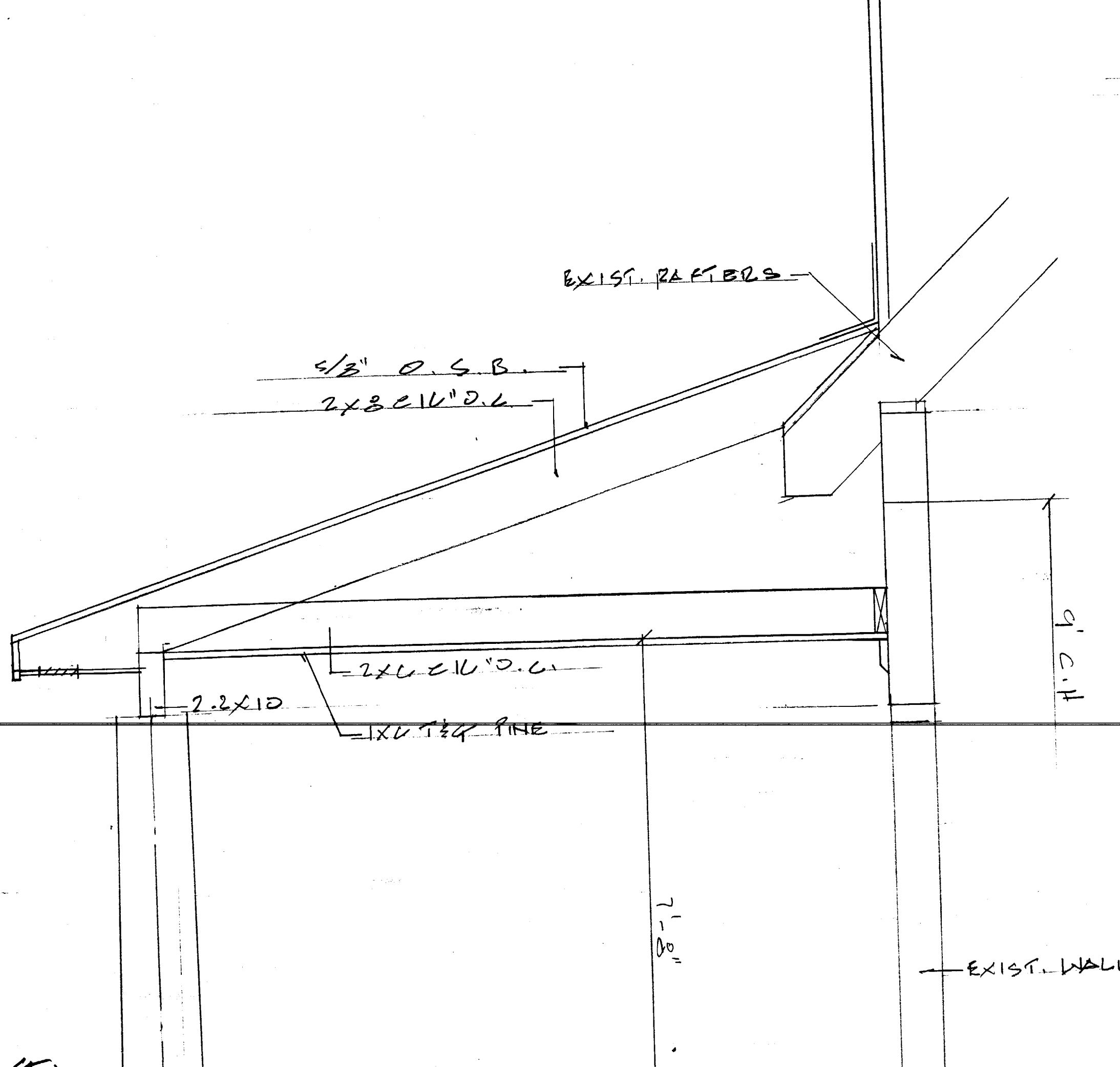






A-1  
 TYPICAL PORCH  
 DETAIL  
 LOT 18 PINES

NOTE: 60" WIDES STEPS TO GRADE  
 WITH RAILINGS AND GRAB BAR



A-1  
 TYPICAL PORCH  
 DETAIL  
 LOT 18 PINES

10' 0" x 4'

H. 11

EXIST. WALL

RAILINGS WITH GRAB BAR AS REQUIRED

2x2 PT BALUSTERS < 4" APART

A-2  
TYPICAL REAR DECK DETAIL  
LOT 18 PINES

2x8 P.T. C. 14" O.C.

CEDEAR PASCIA < 15" TO GRADE

(3) 2x10 TYPICAL

9'-0"

4x4 P.T. POST.

2x8 HAULER

10" CONCRETE SONAR TUBE

