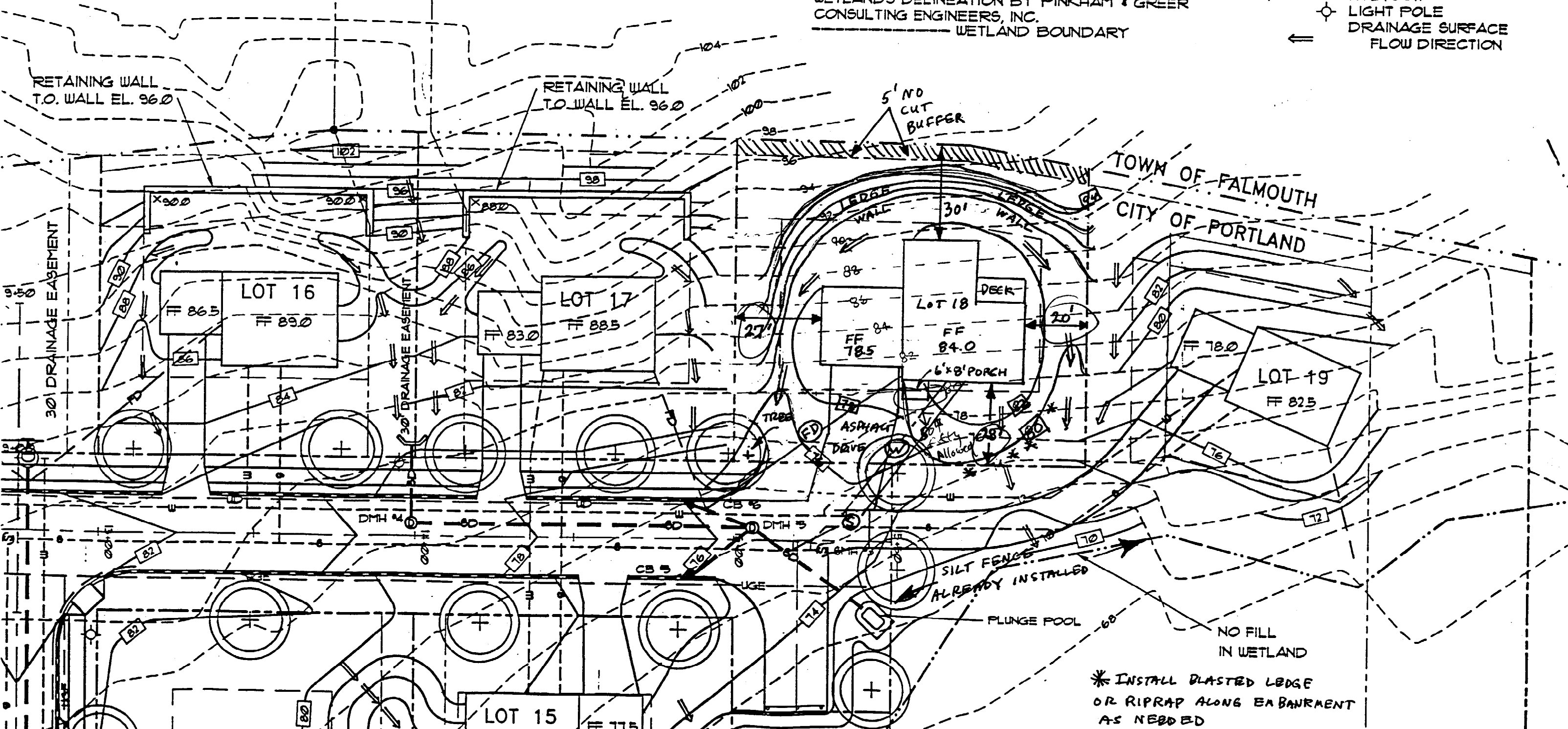


LOT 18 PINES @ LIBERTY WAY
 PLOT PLAN BY GREG Mc Cormack
 Reference: Plan of Liberty Way
 Conceptual Grading Plan
 By Pinkham + Greer
 Scale: 1" = 30' 3/23/01

NOTE: Two TREES TO BE PLANTED
 OR CONSERVED

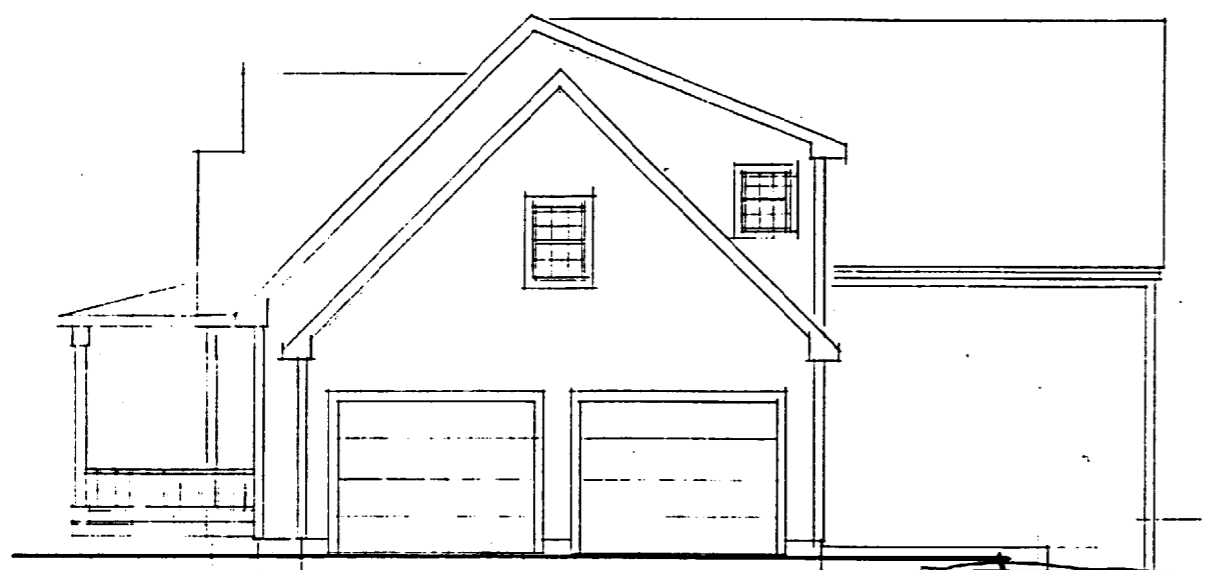
- | | | | |
|-----|--|-----|---------------------------|
| --- | EASEMENT | --- | LOT LINES |
| --- | EDGE OF PAVEMENT | --- | BUILDING SETBACK |
| --- | CONTOURS | --- | EDGE OF PAVEMENT |
| --- | BUILDING | --- | CURB |
| --- | GAS LINE | --- | CONTOURS |
| --- | OVERHEAD ELECTRIC LINE | --- | BUILDING |
| --- | SANITARY SEWER | --- | OVERHEAD ELECTRIC LINE |
| --- | STORM DRAIN | --- | SANITARY SEWER |
| --- | WATER LINE | --- | STORM DRAIN |
| --- | SEWER MANHOLE | --- | UNDERGROUND ELECTRIC LINE |
| --- | DRAIN MANHOLE | --- | WATER LINE |
| --- | IRON PIPE | --- | UNDERDRAIN |
| --- | HYDRANT | --- | CENTERLINE |
| --- | UTILITY POLE | --- | SPOT GRADE |
| --- | WETLANDS DELINEATION BY MARK HAMPTON ASSOCIATES, INC. | --- | CATCH BASIN |
| --- | WETLAND LINE | --- | DRAIN MANHOLE |
| --- | WETLANDS DELINEATION BY PINKHAM + GREER CONSULTING ENGINEERS, INC. | --- | SANITARY MANHOLE |
| --- | WETLAND BOUNDARY | --- | HYDRANT |
| | | --- | LIGHT POLE |
| | | --- | DRAINAGE SURFACE |
| | | --- | FLOW DIRECTION |



* INSTALL BLASTED LEDGE OR RIPRAP ALONG EMBANKMENT AS NEEDED

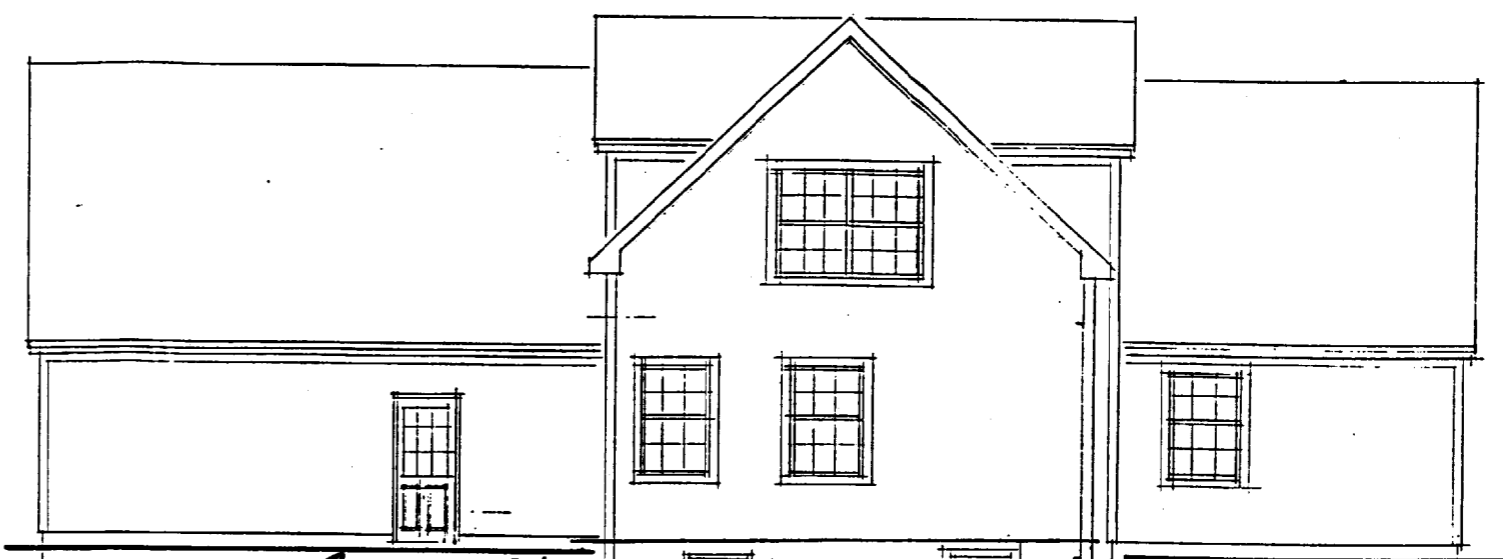
REVISIONS	BY

PLANNING / DESIGN ASSOCIATES
 100 West 11th Street, Suite 100
 33 Partridge Road, Wilbraham, MA 01897-3400



GARAGE DOORS ON FRONT.

RIGHT ELEVATION



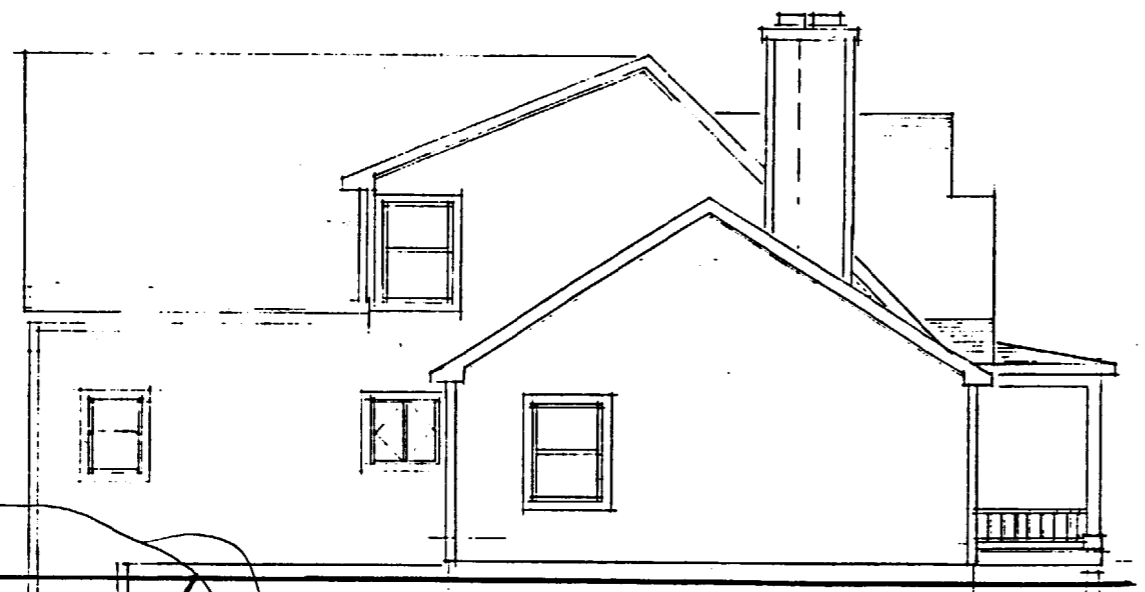
APPROX GRADE

NO DAY LIGHT

NO DAYLIGHT BASEMENT.

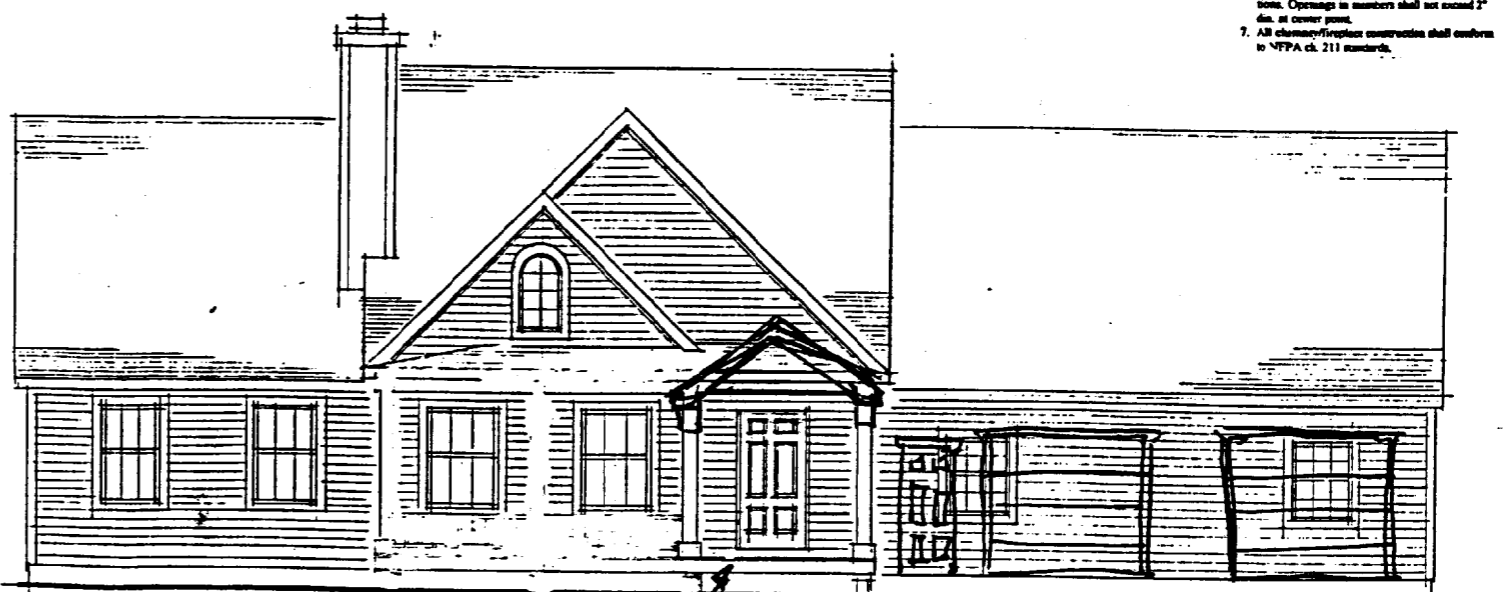
REAR ELEVATION

- GENERAL NOTES**
- Plans are designed to comply with the 1991 BOCA code. Compliance with up-dated codes and local ordinances shall be the responsibility of the general contractor.
 - Unless the plans are certified by a professional engineer, structural framing member sizes shall be the responsibility of the general contractor.
 - All size and miller design shall be by others.
 - Millwork/substrate levels shall be by others. Adjacent walls are to comply with cabinet layout.
 - General contractor shall verify all dimensions before proceeding with construction.
 - All manufactured structural lumber and trusses shall be installed in accordance with mfg. instructions. Openings in members shall not exceed 2" dia. at cover point.
 - All chimney/fireplace construction shall conform to NFPA ch. 211 standards.



~~NO DAYLIGHT~~

LEFT ELEVATION



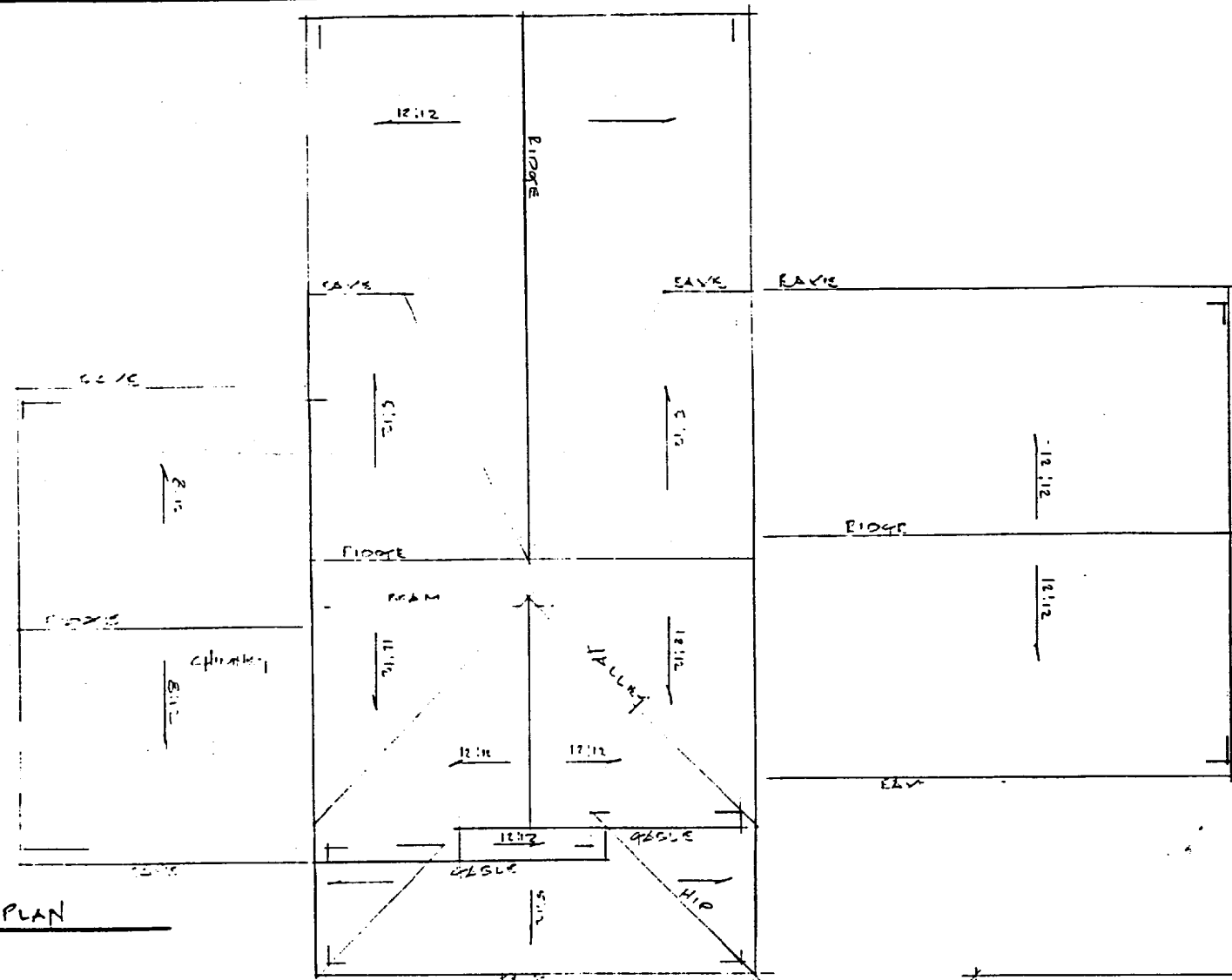
6'x8' Porch.

Reversed Floor Plan to be constructed.

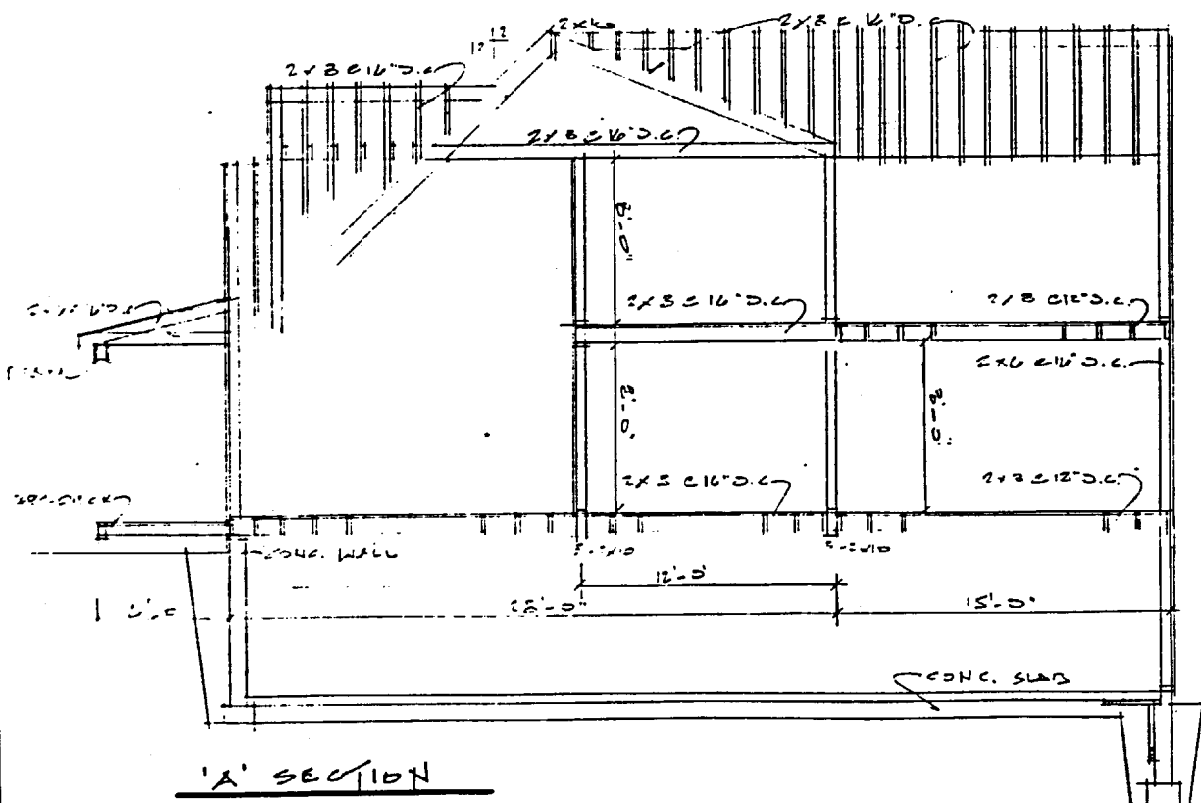
FRONT ELEVATION

SKETCH PLAN	
PRE-LDM PLAN	
FINAL PLAN	
RELEASED FOR CONSTRUCTION	

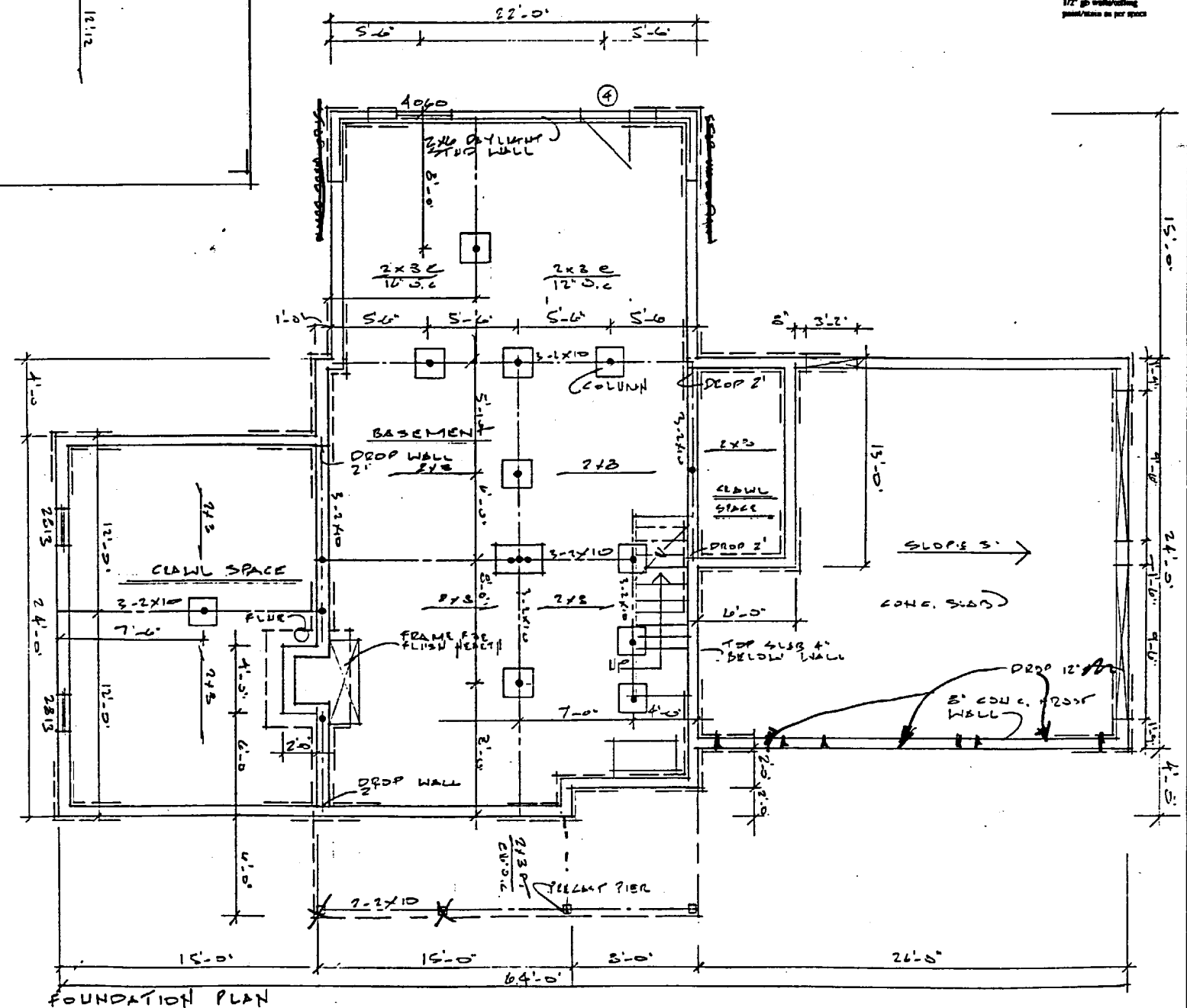
GILMORE RESIDENCE
 Lot 18 Pine
 Date 10-14-97
 Scale 1/4"
 Drawn
 Job
 Sheet 1 ELEVATIONS
 Of Sheets



ROOF PLAN



'A' SECTION



FOUNDATION PLAN

- FOUNDATION SPECIFICATIONS**
- concrete walls as indicated w/ #4 x 24" spacing down @ 48" oc
 - anchors @ corners & 6" oc
 - concrete- 2500 psi footing, 3000 psi walls/slab
 - soil bearing- 2500 psf all footings to frost depth
 - 3/2" steel & concrete half anchors on 24" x 24" x 12" pad
 - 4" concrete slab on 4 mill vapor barrier on 2" min. cr. stone
 - 4" dia. perforated underdrain pipes both sides of wall to pump pit or daylight by gravity flow
 - 4" dia. perforated caston pipes under slab @ 20" max. connect to underdrain, provide 2' min. for future venting
 - control joints as indicated
 - asphalt joint exterior walls below grade
- FRAME SPECIFICATIONS**
- FLOOR SYSTEM:**
- Joists as indicated bridging as shown
 - 2 x 6 joist @ 24" oc
 - subfloor as indicated
 - Finish floor as per specs
- EXTERIOR WALL:**
- 2 x 6 studs as indicated sheathing as indicated
 - air infiltration wrap
 - vapor barrier
 - siding/finish as indicated
- INTERIOR WALL:**
- 2 x 4 studs as indicated
- ROOF SYSTEM:**
- rafters/trusses as indicated sheathing as indicated
 - 1 1/2" underlayment
 - ice shield w/ 7" min. thickness as indicated
- INSULATION:**
- exterior walls-R19
 - attic cap-R38
 - attic-R19
- VENTILATION:**
- soffit-7" max. gap
 - ridge-vent, through vent
 - vents/lowers as indicated
 - circulation vents between microtrusses
- HEADERS:**
- 3-2 x 6 - 40" max. span
 - 3-2 x 8 - 72" max. span
 - beams as indicated
 - min. 6" top, all beams
- INTERIOR FINISH:**
- 1/2" gb wall/halfing
 - paint/stain as per specs

REVISIONS	BY

PLANNING / DESIGN ASSOCIATES
 100 Main Street
 P.O. Box 311, Weymouth, MA
 35 Partridge Road, Weymouth, MA 01978-0311

GILMORE RESIDENCE

Date	10-14-97
Scale	1/4"
Drawn	
Job	
Sheet	3
STRUCTURAL	
Of	Sheets