

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 15 17 Liberty Way (Lot 16 the Pines)		Owner: Pines of Portland, Inc.		Phone: **** 772-2127		Permit No: 000883
Owner Address: N/A		Lessee/Buyer's Name: Pines of Portland		BusinessName:		
Contractor Name: Pines of Portland, Inc.		Address: 426 Forest Ave. Portland, ME		Phone: 04101		Permit Issued: AUG 1 2000
Past Use: Vacant		Proposed Use: New Single Family		COST OF WORK: \$ 135,000.00 PERMIT FEE: \$ 834.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group A-3 Type: 5B Signature: <i>[Signature]</i> Date: <i>[Signature]</i>		
Proposed Project Description: Construction of single family home w/ garage				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: <i>[Signature]</i> Date: <i>[Signature]</i>		Zoning Approval: OK with conditions 9/4/00 Special Zone or Review: <input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input checked="" type="checkbox"/> minor # 20000158 Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review
Permit Taken By: Gayle		Date Applied For: July 25, 2000 GG				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Minor Minor Site Review Fee: \$300.00
Building Fee: \$834.00

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

July 25, 2000

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**PERMIT ISSUED
WITH REQUIREMENTS
CEO DISTRICT**
2

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000158

I. D. Number

Pines of Portland

Applicant

426 Forest Ave, Portland, ME 04101

Applicant's Mailing Address

Pines of Portland

Consultant/Agent

772-2127

Applicant or Agent Daytime Telephone, Fax

7/26/00

Application Date

Liberty Way lot 16

Project Name/Description

15 Liberty Way, Portland Maine 04103

Address of Proposed Site

405A-GG-010

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential
☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) **with Garage - 10x10 r.deck**
2,300 **10,073** **R-3**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other

Fees Paid: Site Plan **\$200.00** Subdivision Engineer Review **\$100.00** Date: **7/26/00**

DRC Approval Status:

Reviewer **Chris Earl**

☐ Approved ☒ Approved w/Conditions see attache ☐ Denied

Approval Date **8/8/00** Approval Expiration **8/8/01** Extension to ☒ Additional Sheets Attached
☒ Condition Compliance **Chris Earl** **8/8/00**
signature date

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate Of Occupancy

date

☐ Conditions (See Attached)

☐ Final Inspection

date

signature

☐ Certificate Of Occupancy

date

☐ Performance Guarantee Released

date

signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

☐ Defect Guarantee Released

date

signature

Approved

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000158

I. D. Number

Pines of Portland

Applicant

426 Forest Ave, Portland, ME 04101

Applicant's Mailing Address

Pines of Portland

Consultant/Agent

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Applicant or Agent Daytime Telephone, Fax

7/26/00

Application Date

Liberty Way lot 16

Project Name/Description

15 Liberty Way, Portland Maine 04103

Address of Proposed Site

405A-GG-010

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review conditions of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 15 Liberty Way, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall be responsible for installation and maintenance of necessary erosion control devices. Applicant shall minimize and be responsible to sweep all traveling of mud onto city streets.

The site grading shall be accomplished to avoid any concentrated runoff of water onto adjacent properties.

Applicant will adhere to grading plan/site revised 8/7/00.

Planning Conditions of Approval

BUILDING PERMIT REPORT

DATE: 25 July 2000 ADDRESS: 17 Liberty Way (Lot 16 The Pines) CBL: 405A-GG-10
 REASON FOR PERMIT: Single Family dwelling / garage
 BUILDING OWNER: Pines of Portland, Inc.
 PERMIT APPLICANT: CONTRACTOR J.A.O.
 USE GROUP: M-3 CONSTRUCTION TYPE: 5 B CONSTRUCTION COST: \$135,000 PERMIT FEES: 834.60

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

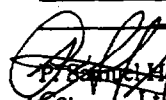
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *2, *3, *4, *5, *7, *8, *9, *11, *13, *14, *15, *19, *22, *28, *29, *32, *33, *34, *36, #3

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6" O.C. between bolts. Section 2305.17
- *5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- *6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- *7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A,B,H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36" and not more than 42". Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches: (6'8") 1014.4
- *15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

125

- X 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X 28. All requirements must be met before a final Certificate of Occupancy is issued.
- X 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *- All requirements & conditions on the attached site development review sheet shall be met*
- X 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 33. Bridging shall comply with Section 2305.16.
- X 34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X 36. See Review report.


 P. Schmuckal, Building Inspector
 Cc: L.L. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 1/26/00

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

******CERTIFICATE OF OCCUPANCY FEE \$50.00**

****** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.**

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000158
I. D. Number

Pines of Portland

Applicant

426 Forest Ave, Portland, ME 04101

Applicant's Mailing Address

Pines of Portland

Consultant/Agent

772-2127

Applicant or Agent Daytime Telephone, Fax

7/26/00

Application Date

15 Liberty Way lot 16

Project Name/Description

Liberty Way, Portland Maine 04103

Address of Proposed Site

405A-GG-010

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

☐ Office ☐ Retail ☐ Manufacturing ☒ New Building ☐ Warehouse/Distribution ☐ Building Addition ☐ Parking Lot ☐ Change Of Use ☒ Residential ☒ Other (specify) with Garage - 10x10 r.deck

2,300

10,073

R-3

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

☒ Site Plan
(major/minor)

☐ Subdivision
of lots _____

☐ PAD Review

☐ 14-403 Streets Review

☐ Flood Hazard

☐ Shoreland

☐ Historic Preservation

☐ DEP Local Certification

☐ Zoning Conditional
Use (ZBA/PB)

☐ Zoning Variance

☐ Other _____

Fees Paid: Site Plan \$200.00 Subdivision _____ Engineer Review \$100.00 Date: 7/26/00

Inspections Approval Status:

Reviewer Marge Schmuckal

☐ Approved

☒ Approved w/Conditions
see attached

☐ Denied

Approval Date 8/4/00

Approval Expiration _____

Extension to _____

☒ Additional Sheets
Attached

☒ Condition Compliance _____
signature _____ date _____

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

_____ date

_____ amount

_____ expiration date

☐ Inspection Fee Paid

_____ date

_____ amount

☐ Building Permit Issued

_____ date

☐ Performance Guarantee Reduced

_____ date

_____ remaining balance

_____ signature

☐ Temporary Certificate of Occupancy

_____ date

☐ Conditions (See Attached)

☐ Final Inspection

_____ date

_____ signature

☐ Certificate Of Occupancy

_____ date

☐ Performance Guarantee Released

_____ date

_____ signature

☐ Defect Guarantee Submitted

_____ submitted date

_____ amount

_____ expiration date

☐ Defect Guarantee Released

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000158

I. D. Number

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Applicant

426 Forest Ave, Portland, ME 04101

Applicant's Mailing Address

Pines of Portland

Consultant/Agent

772-2127

Applicant or Agent Daytime Telephone, Fax

7/26/00

Application Date

15 Liberty Way lot 46

Project Name/Description

Liberty Way, Portland Maine 04103

Address of Proposed Site

405A-GG-010

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. any deviations shall require a separate approval before starting that work.
2. Your subdivision approval is being appealed to Superior Court. Any construction work that is commenced is done at the owner/contractor's own risk pending the outcome of the court action. Any potential property buyers shall be notified of these actions and responsibilities.
3. Street name signs and stop signs are to be erected per the City's requirements by the developer PRIOR to the issuance of the first certificate of occupancy.
4. Separate permits shall be required for future decks, sheds, pools, and/or garage.

Fire Conditions of Approval

AVAILABLE Fabricated Floor Joists

Loading.....40#Live Load / 10#Dead Load L/480 Glued & Nailed Span

Page 1 - 8/19/99

VENDOR	PRODUCT	SPACING.....				Cost/LF	Full Unit	Truckload
		12"	16"	19.2"	24"			
FURMAN	AJS-10 x 9-1/2"	18'-8"	17'-1"	16'-1"	14'-9"	\$1.13/LF	\$1.06/LF	\$0.94/LF
Georgia Pacific	WIF-30 x 9-1/4" (Value Lengths)	18'-0"	16'-3"	14'-10"	13'-3"	\$1.10/LF	\$1.04/LF	\$1.02/LF
MacMillan Blodell	TJI- PRO 250 X 9-1/2"	17'-8"	16'-1"	15'-2"	14'-2"	\$1.47/LF	\$1.33/LF	----
Universal Forest Products	NASCOR x 9-1/2" NJ10 (8'-16')	15'-11"	14'-6"	13'-8"	12'-8"	\$0.95/LF	----	----
Universal Forest Products	NASCOR x 9-1/2" NJ10 (18'-36')	15'-11"	14'-6"	13'-8"	12'-8"	\$1.00/LF	----	----
Universal Forest Products	O.J. 2000 x 9-3/8" 2x3 (3'-16')	15'-9"	14'-6"	13'-7"	12'-5"	\$1.41/LF	----	[\$1.20/LF]
Universal Forest Products	O.J. 2000 x 9-3/8" 2x4 (17'-21')	19'-1"	17'-3"	16'-2"	-----	\$2.06/LF	----	[\$1.75/LF]
Wood Structures (BOISE CASCADE)	BCI 40's x 9-1/2" 1-1/2" width	16'-8"	15'-2"	14'-4"	13'-4"	\$1.30/LF	\$1.13/LF	----
Wood Structures (BOISE CASCADE)	BCI 45's x 9-1/2" 1-3/4" width	17'-4"	15'-10"	14'-11"	13'-11"	\$1.40/LF	\$1.22/LF	----

FURMAN	AJS-10 x 11-7/8"	22'-3"	20'-3"	19'-0"	17'-0"	\$1.20/LF	\$1.13/LF	\$1.00/LF
Georgia Pacific	WIF-30 x 11-7/8" (Value Lengths)	21'-6"	18'-10"	17'-2"	15'-4"	\$1.35/LF	\$1.18/LF	\$1.12/LF
Georgia Pacific	WIF-33 x 11-7/8" (CUT TO 2' INCREMENTS)	22'-8"	20'-8"	19'-6"	18'-3"	\$1.71/LF	\$1.56/LF	\$1.45/LF
Georgia Pacific	WIF-43 x 11-7/8"	24'-11"	22'-8"	21'-4"	19'-11"	\$2.33/LF	\$2.13/LF	\$1.94/LF
MacMillan Blodell	TJI- PRO 250 X 11-7/8"	21'-0"	19'-2"	18'-1"	16'-10"	\$1.58/LF	\$1.43/LF	----
MacMillan Blodell	TJI- PRO 350 X 11-7/8"	22'-5"	20'-5"	19'-3"	17'-11"	\$2.01/LF	\$1.82/LF	----
MacMillan Blodell	TJI- PRO 550 X 11-7/8"	25'-6"	23'-2"	21'-10"	24'-4"	\$2.93/LF	\$2.66/LF	----
Universal Forest Products	NASCOR x 11-7/8" NJ12 (8'-16')	19'-2"	17'-5"	16'-5"	15'-3"	\$1.02/LF	----	----
Universal Forest Products	NASCOR x 11-7/8" NJ12 (18'-36')	19'-2"	17'-5"	16'-5"	15'-3"	\$1.12/LF	----	----
Universal Forest Products	O.J. 2000 x 11-7/8" 2x3 (3'-17')	16'-9"	16'-9"	16'-2"	14'-9"	\$1.55/LF	----	\$1.32/LF
Universal Forest Products	O.J. 2000 x 11-7/8" 2x4 (18'-19')	18'-9"	18'-9"	18'-4"	16'-11"	\$1.83/LF	----	\$1.55/LF
Universal Forest Products	O.J. 2000 x 11-7/8" MSR2100 (20'-23')	22'-9"	20'-9"	19'-7"	-----	\$2.17/LF	----	\$1.84/LF
Wood Structures (BOISE CASCADE)	BCI 40's x 11-7/8" 1-1/2" width	19'-10"	18'-1"	17'-1"	15'-11"	\$1.41/LF	\$1.23/LF	----
Wood Structures (BOISE CASCADE)	BCI 45's x 11-7/8" 1-3/4" width	20'-8"	18'-10"	17'-10"	16'-7"	\$1.52/LF	\$1.32/LF	----
Wood Structures (BOISE CASCADE)	BCI 60's x 11-7/8" 2-5/16" width	22'-5"	20'-5"	19'-3"	17'-10"	\$1.93/LF	\$1.68/LF	----
Wood Structures (BOISE CASCADE)	90XL SERIES X 11-7/8" 3-1/2" width	25'-9"	23'-4"	22'-0"	20'-5"	\$2.77/LF	\$2.42/LF	----

* See Vendor Catalog for Web Stiffener Requirements.

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$135,000.00 Plan Review # 1139/2K
 Fee: \$834.00 Date: 25/July/2K
 Building Location: 17 Liberty Way CBL: 405A-GG-10
 Building Description: Single Family Dwelling / Private Garage
 Reviewed By: J. Haffner
 Use or Occupancy: R-3 Type of Construction: 5-B
 *NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	Lot lines shall be clearly marked before calling for a foundation inspection.	
3.	Foundation drains shall comply with section 1813.0	1813.0
4.	Foundation anchors shall comply with section 2305.17	2305.17
5.	Waterproofing & damp proofing shall comply with section 1813.0	1813.0
6.	Private garages shall comply with section 407.0	407.0
7.	Concrete floors shall comply with section 905.0	905.0
8.	Chimney & vents shall comply with NFPA Ch. 18 Boca Mech. 93 Ch. 12-14	NFPA Ch. 18 Boca mech. - 12-14
9.	Columns shall comply with section 1902.0	1902.0
10.	Guadrails shall comply with section 1022.0	1022.0
11.	Handrails shall comply with section 1021.0	1021.0
12.	STAIR Construction shall comply with section 1014.0	1014.0
13.	Access to attic or crawl shall comply with section 1211.0	1211.0
14.	Bridging shall comply with section 2305.16	2305.16
15.	Notching and cutting shall comply	

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
SA Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
SA Anchorage bolting in concrete (2305.17)
X Columns (1912)
NA Crawl space (1210.2) Ventilation
NA Crawl opening size (1210.2.1)
SA Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~X~~ Floor trusses (AFPA/NDIS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~SA~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~SA~~ Metal construction
- ~~SA~~ Masonry construction (Chapter 21)
- ~~SA~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~SA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ☒ Roof rafters - Design (2305.15) spans
- ☒ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ☒ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ☒ Approved materials (1404.1)
- ☒ Performance requirement (1505)
- ☒ Fire classification (1506)
- ☒ Material and installation requirements (1507)
- ☒ Roof structures (1510.0)
- ☒ Type of covering (1507)

Chimneys and Fireplaces BOCA Mechanical/1993

- ☒ Masonry (1206.0)
- ☒ Factory - built (1205.0)
- ☒ Masonry fireplaces (1404)
- ☒ Factory - built fireplace (1403)
- ☒ NFPA 211

Mechanical 1993 BOCA Mechanical Code

State Plumbing Code

Public Water
Public Sewer

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>42 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

SA

Labeling (2402.1)
Louvered window or jalousies (2402.5)
Human impact loads (2405.0)
Specific hazardous locations (2405.2)
Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

SA

General (407)
Beneath rooms (407.3)
Attached to rooms (407.4)
Door sills (407.5)
Means of egress (407.8)
Floor surface (407.9)

Egress (Chapter 10)

- X One exit from dwelling unit (1010.2)
- SA Sleeping room window (1010.4)
- X EXIT DOOR (1017.3) 32" W 80" H
- X Landings (1014.3.2) stairway
- NA Ramp slope (1016.0)
- SA Stairways (1014.3) 36" W
- SL Treads (1014.6) 10" min.
- SA Riser (1014.6) 7 3/4" max.
- SA Solid riser (1014.6.1)
- NA Winders (1014.6.3)
- NA Spiral and Circular (1014.6.4)
- SA Handrails (1022.2.2.) Ht.
- SA Handrail grip size (1022.2.4) 1 1/4" to 2"
- SA Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- SA Location and interconnection
- I Power source

Dwelling Unit Separation Table 602

N/A

Electrical
NFPA # 70

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

Minor/Minor Site Review, Building or Use Permit Pre-Application

Detached Single Family Dwelling

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>17 Liberty Way (Lot 16 The Pines)</u>		
Total Square Footage of Proposed Structure <u>2300 sq ft</u>	Square Footage of Lot <u>10073</u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>405A</u> Block# <u>66</u> Lot# <u>10</u>	Owner: <u>Pines of Portland, Inc.</u>	Telephone#: <u>772-2127</u>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <u>same</u>	Cost Of Work: <u>\$135,000 ±</u> Fee: <u>834.00</u> \$1124.00
Proposed Project Description: (Please be as specific as possible) <u>Construction of single family home with attached garage</u>		
Contractor's Name, Address & Telephone <u>Pines of Portland Inc. 426 Forest Ave. Portland, Maine 04101</u>		Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

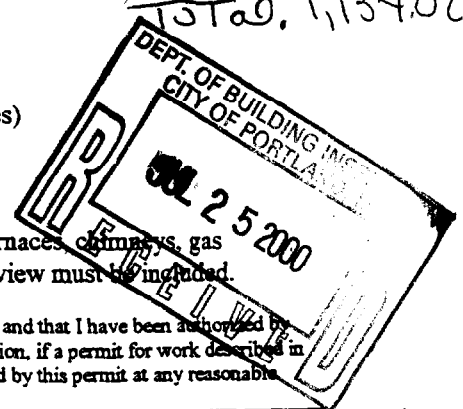
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature] Pines of Portland Inc.</u>	Date: <u>7-20-2000</u>
---	------------------------

Site Review Fee: \$200.00/Building Permit Fee: \$25.00 for the 1st \$1000.00 cost plus \$5.00 per \$1,000.00 construction cost thereafter.



*minor
minor*

Applicant: Pines of Portland

Date:

8/4/00

Address: 17 Liberty Way (lot #16)

C-B-L:

~~345~~ 405A-GG-10

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work -

Construct single family dwelling with attached garage - 22 x 24' with 10' x 10' rear deck

Sewage Disposal -

City

Lot Street Frontage - 50' min req - 100' shown

Front Yard - 25' req - 25' shown

Rear Yard - 25' req - 29' scaled

Side Yard - 14' req - 17' : 17' shown

Projections - 6x12 front porch - 10x10 rear deck

Width of Lot - 75' req - 100' shown

Height - 35' MAX - 2 story shown

Lot Area - 6,500^{sq} min - 10,073^{sq} shown

Lot Coverage/ Impervious Surface - 25% - 2518.25^{sq}

Area per Family - 6,500^{sq}

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2, Zone X

15' ^{ft} side MA & easements

6 x 12 = 72
10 x 10 = 100
20 x 30 = 840
6 x 26 = 156
8 x 24 = 192
6 x 14 = 84
144^{sq}

BOISE CASCADE - BC CALC™ 99 DESIGN REPORT

Tuesday, January 18, 2000 08:33

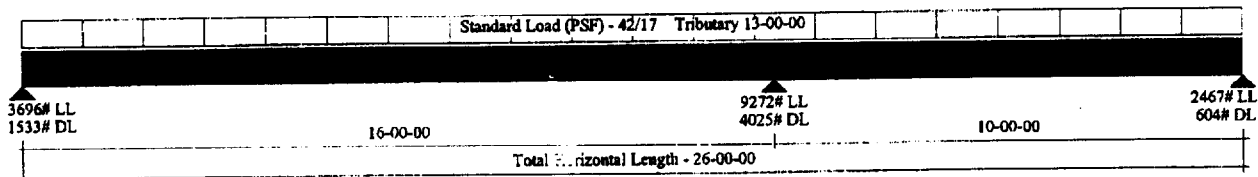
**SINGLE - 5 1/4" x 11 7/8" V-L DF 2800**
 Job Name - A & G ASSOCIATES
 Address -

 City, State, Zip -
 Code Reports - NER 442

File

Name:

Untitled

 Customer - CHICK LUMBER
 Specifier - JIM PURCELL
 Designer - TIM PUSHARD
 Company: - Wood Structures Inc.
 Misc: - BEAM IN 2ND FLOOR CEILING
Member Diagram**General Data**
 Base Unit Feet/Inches
 Member Type: - Floor Beam
 Number of Spans - 2
 Left Cantilever - No
 Right Cantilever - No
 Slope (in/ft) - 0.00
 Tributary (ft) - 13'-00"-00"
 Repetitive - n/a
 Construction Type - n/a
 Live Load (psf) - 42
 Dead Load (psf) - 17
 Partition Load (psf) - 0
 Duration (%) - 100
Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation. BCI® and Verse-Lam® are registered trademarks of Boise Cascade Corp.

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead Trib.	Dur.
S	Standard	Unf. Area Load	Left	00'-00"-00"	26'-00"-00"	42	17 13'-00"-00"	100

Controls Summary

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	19184 ft-lbs	66.6%	@ 100%	2	1 - Right
End Shear	4454 lbs	37.6%	@ 100%	4	1 - Left
Cont. Shear	6688 lbs	56.5%	@ 100%	2	1 - Right
Uplift	-471 lbs			4	2 - Right
Total Defl.	L/ 400 (0.480in)	60.0%		4	1
Live Defl.	L/ 550 (0.349in)	65.4%		4	1
Total Neg. Defl.	-0.09 in	-0.5 in		4	2

CAUTIONS:

Uplift of -471 lbs found at span 2 - Right.

NOTES:

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Minimum End bearing length is 1.5 in.
 Minimum Continuous bearing length is 3 in.

5 1/4" x 11 7/8" - 26'

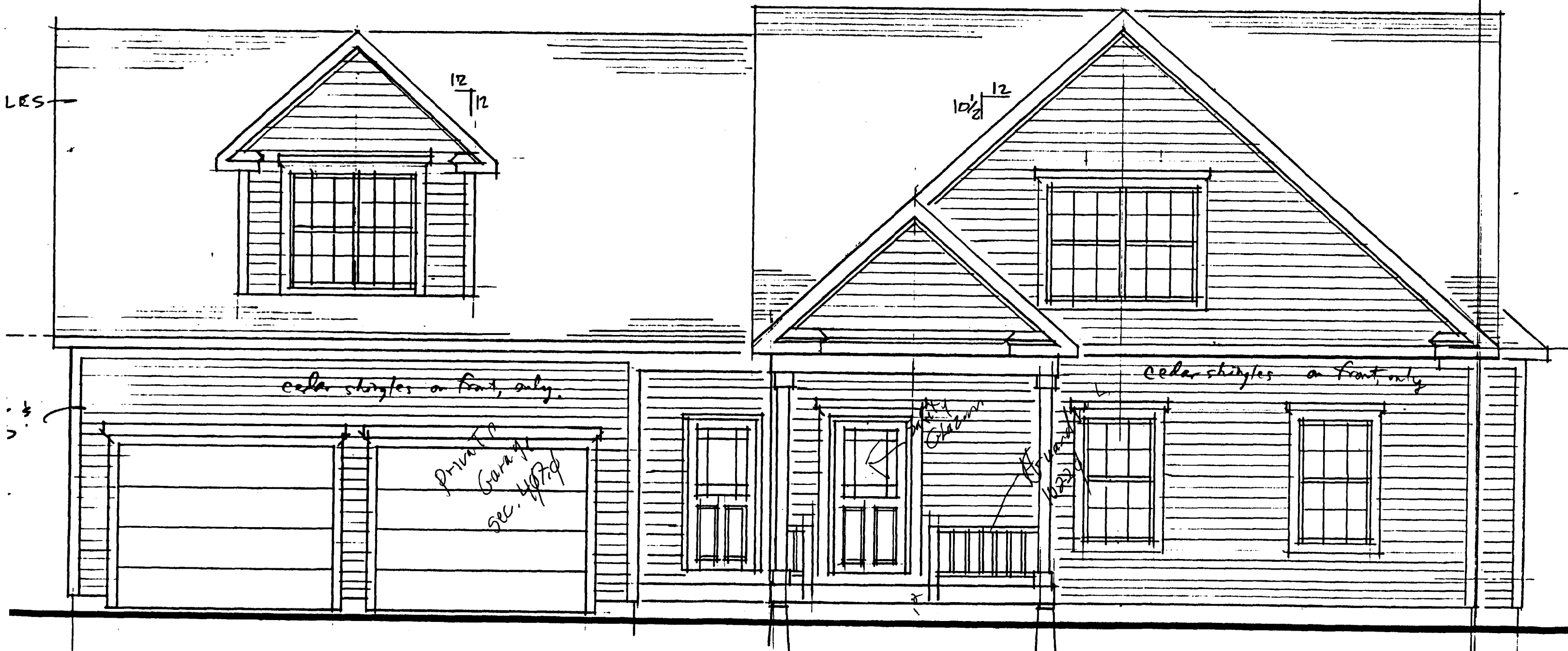
FOUNDATION PLAN

24'-0"

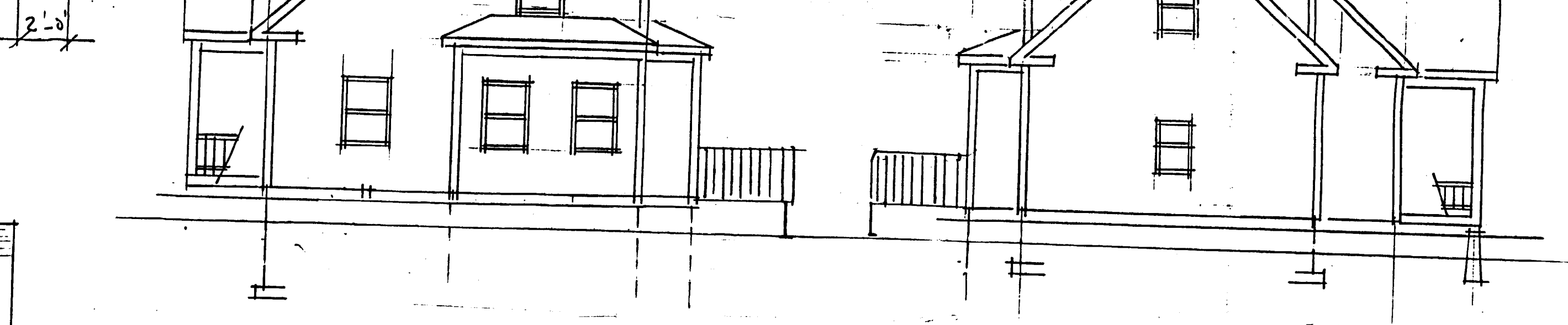
6'-0"

30'-0"

2'-0"



FRONT ELEVATION



RIGHT ELEVATION

LEFT ELEVATION



REAR ELEVATION

Red = \$

LOT 16
PINES @ LIBERTY WAY

SKETCH PLAN	
PRE-LIM PLAN	
FINAL PLAN	

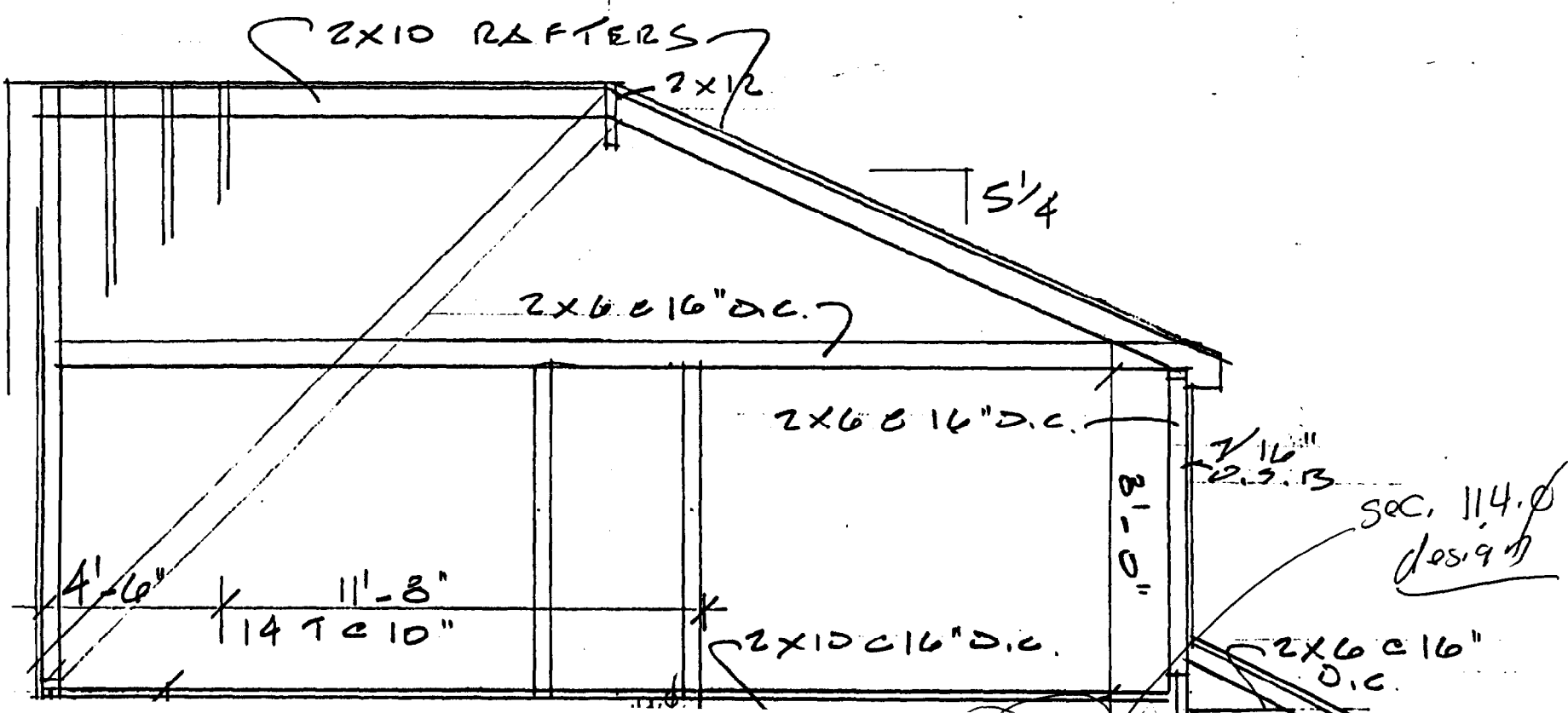
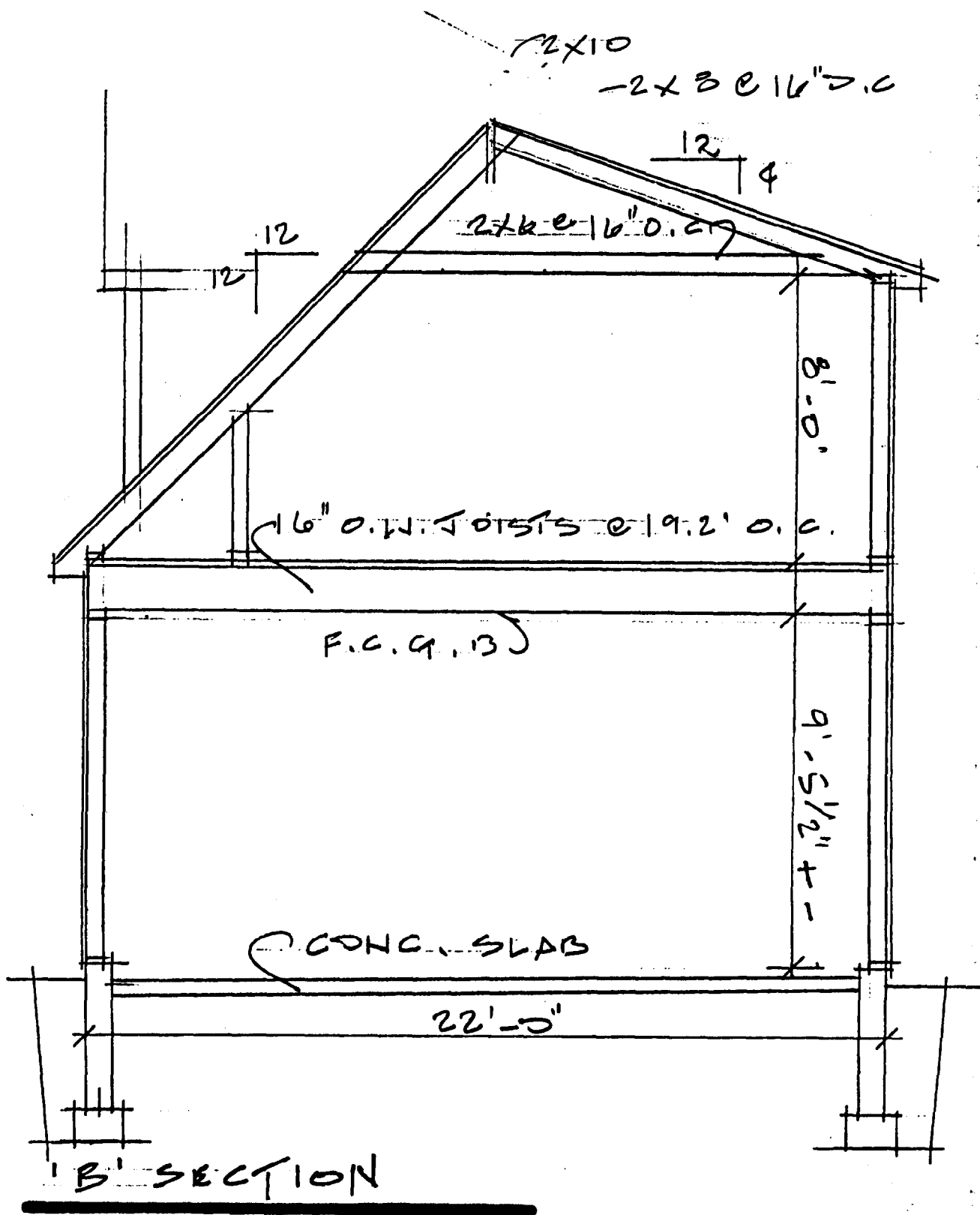
Date 4.15.93

Scale 1/4" = 1' 1/2"

Drawn

Job

Sheet



FRAME S

FLOOR S'
joists as in
bridging a
2 x 6 pt sil
subfloor as
finish floor

EXTERIO
2 x 6 studs
sheathing
air infiltra
vapor barr
siding/fini

INTERIO
2 x 4 stud

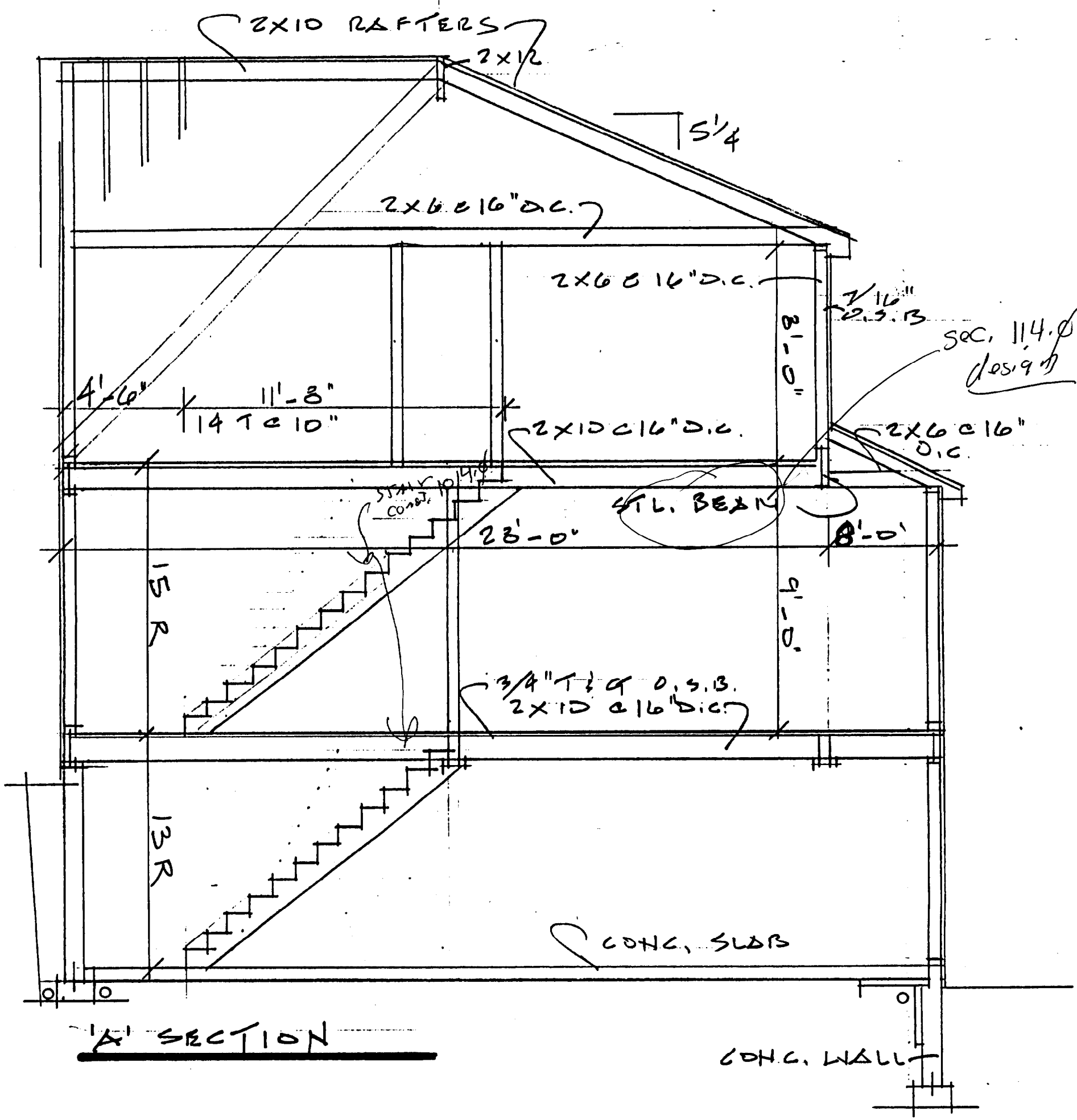
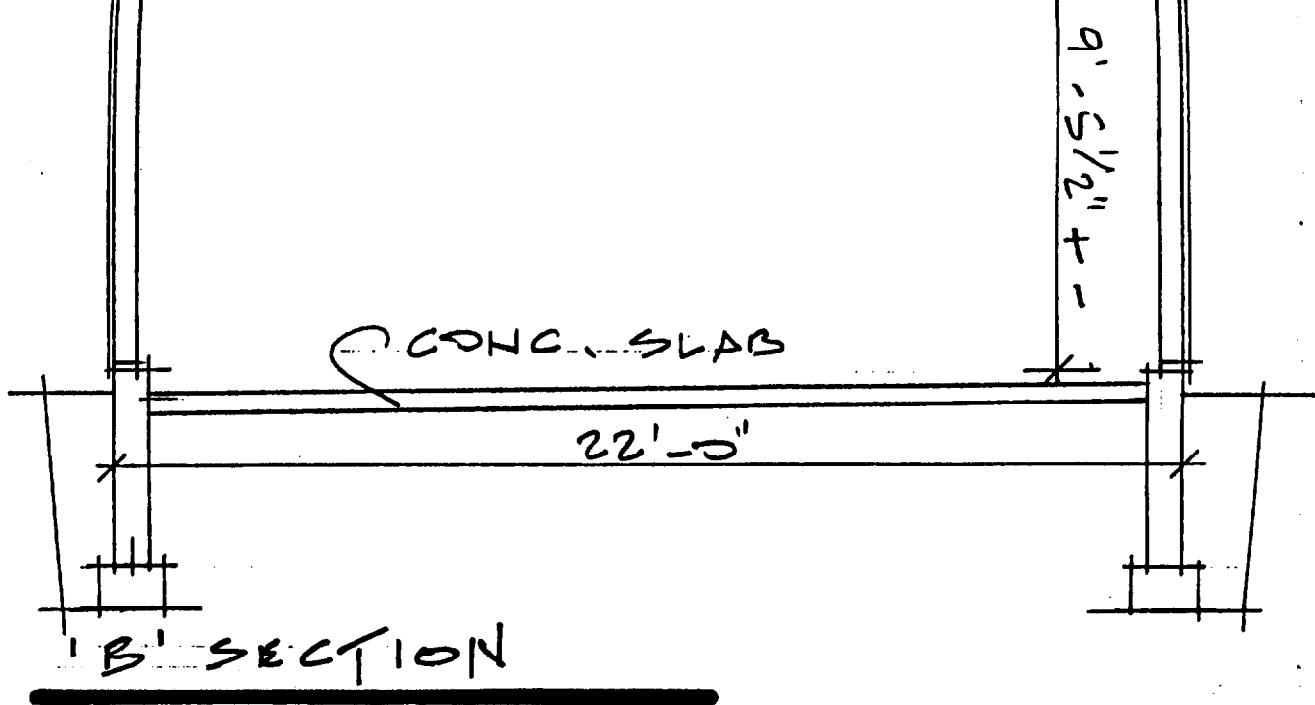
ROOF SY
rafters/trus
sheathing
15# under
ice shield
shingles as

INSULAT
exterior w
attic cap-R
sills-R19

VENTILA
soffits-2" (r
ridges- con
vents/louv
circulation
rafters/u

HEADER
3-2 x 6 - 4
3-2 x 8 - 7
beams as i
min. 6" br

INTERIO
1/2" gb w
paint/stair



- FRAM
- FLOOR
joists :
bridgi
2 x 6 p
subflo
finish
- EXTE
2 x 6 s
sheath
air infi
vapor l
siding/
- INTER
2 x 4 s
- ROOF
rafters
sheath
15# un
ice shi
shingle
- INSUL
exterio
attic ca
sills-R.
- VENT
soffits-
ridges-
vents/l
circula
rafter
- HEAD
3-2 x 6
3-2 x 8
beams
min. 6'
- INTER
1/2" gt
paint/s

