

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 102 Vermont Ave		Owner: Dorraine Wood		Phone: 878-3146		Permit No: 970385	
Owner Address: SAA Ptld, ME 04102		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: SAA		Address:		Phone:		Permit Issued: MAY - 1 1997 CITY OF PORTLAND	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 1,500.00		PERMIT FEE: \$ 30.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group R-3 Type 50	
Proposed Project Description: Remove 2 windows Install sliders in place of				Signature:		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: R-3 CBL: 405-A-F-038	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <i>Conditions separate permits</i>	
Permit Taken By: Mary Gresik		Date Applied For: 24 April 1997		Signature:		Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>shall be req. for any future decks</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>4/30/97</i> <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Dorraine S. Wood
SIGNATURE OF APPLICANT Dorraine Wood ADDRESS: DATE: 24 April 1997 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: 4/24/97 *PK*

CEO DISTRICT 7
K Carroll

COMMENTS

3/11/98 - ~~Completed. Allow~~ ~~Deck done but pool~~

~~is not protected. Allow~~

Completed. Allow

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

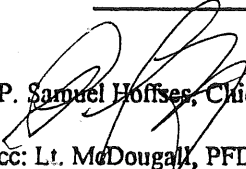
BUILDING PERMIT REPORT

DATE: 30 April 97 ADDRESS: 102 Vermont Ave
REASON FOR PERMIT: To make renovations.
BUILDING OWNER: Doraine Wood
CONTRACTOR: _____
PERMIT APPLICANT: _____ APPROVAL: 8/1, *26 ~~DENIED~~

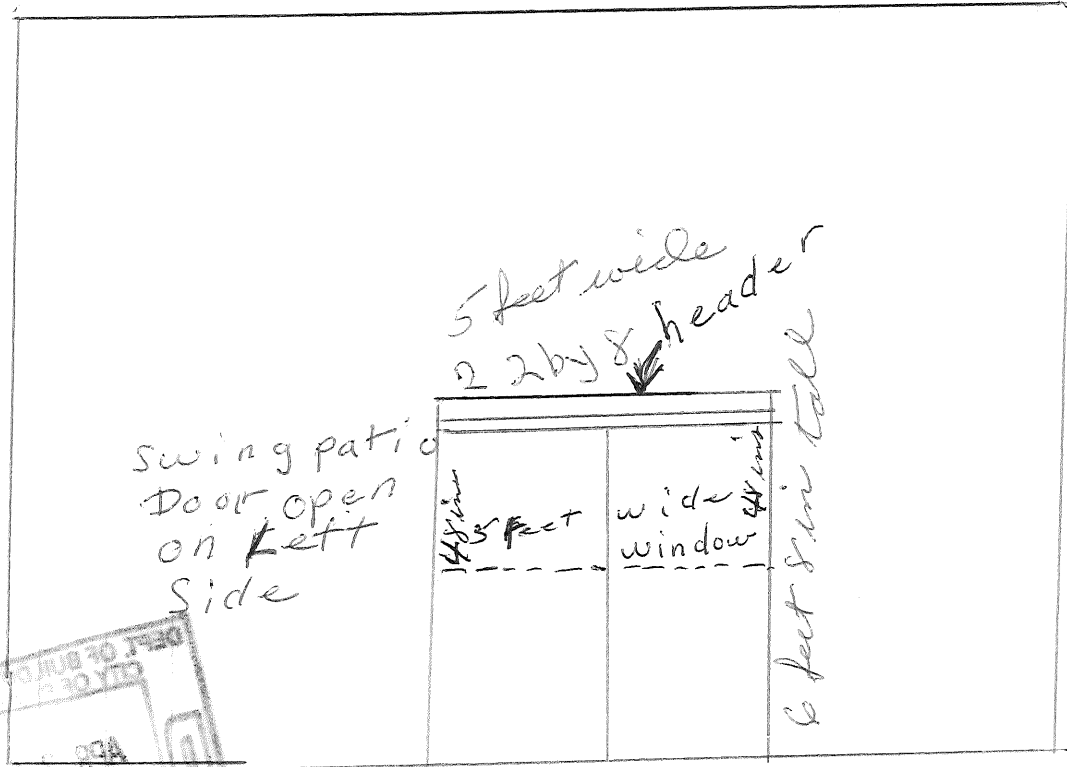
CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
 3. Precaution must be taken to protect concrete from freezing.
 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
 7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
 8. Headroom in habitable space is a minimum of 7'6".
 9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
 10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
 11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
 12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
 14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
 15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

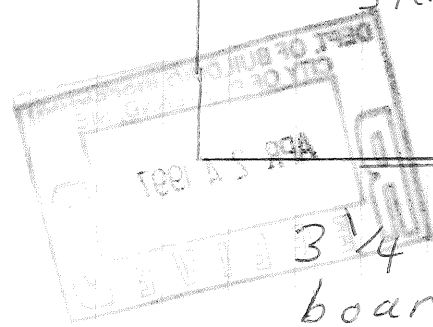
16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- X 26. IF in the future you built a deck a separate permit must be obtained.
27. _____
28. _____


P. Samuel Hoffses, Chief of Code Enforcement
cc: Lt. McDougall, PFD
Marge Schmuckal

102 Vermont Ave



2 by 4 walls



3 1/4 in on board
2 by 4

Door + Frame is one set

Cost 1500.00

Applicant: Dorraine Wood

Date:

Address: 102 Vermont Ave

C-B-L: 405A-F 38

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1971

Zone Location - R-5

Interior or corner lot - mountain A

Proposed Use/Work - renovation

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area -

80007

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

24 x 42

Loading Bays -

6 x 12

Site Plan -

10 x 12

Shoreland Zoning/ Stream Protection -

Flood Plains -

Ms. Allison Loft, Volunteer Development
United Way of Greater Portland
400 Congress Street
P.O. Box 15200
Portland, Maine 04112-5200
874-1000 x321 fax:874-1007

April 16, 1997

Dear Allison:

This will acknowledge receipt of your letter and park use application requesting permission to use a portion of the Preble St. parking lot and the grass area near the soccer field on Thursday, May 15, 1997, from 6:30am-10:30am to hold the 1997 United Way "Day of Caring" Kick-off Celebration. Rain date for the event is Thursday, May 22, 1997. Expected attendance may number 400. You have also requested use of the Marginal Way parking lot for parking of vehicles.

Similar to last year, you will use the grass area to set up a 20'x30' tent. A continental breakfast will be offered, tables and chairs will be set up underneath the tent, and speeches will be made over a pa system. (You will need access to electricity.) The majority of participants will be on site from 8am-9am, which is when the breakfast will be served.

Please be advised that you are authorized to use a portion of the Preble St. parking lot and the grass area for your "Day of Caring" Kick-off event, subject to the following conditions:

1. The City needs to receive a \$25 permit fee. Please make check payable to: City of Portland, and mail to Parks & Recreation, 17 Arbor Street, Portland, Maine 04103. Please forward a certificate of insurance which lists the city as an additional insured in regards to your event, fax: 756-8390. Please include the rain date as well.
2. As stated in your request, please plan on participants parking at the Marginal Way parking lot.
3. There is a chain across the entrance to the grass area. Please call John Wone at the Parks & Recreation office: (874-8793 or 756-8383), to speak to him about access to the grass area and as well as use of the grass area itself. Please make sure that all vehicles are removed from the grass area once items are dropped off.
4. For electricity, there are outlets on the pole in the parking lot (two 20-amp outlets). Please call Maynard Sprague, Public Works Customer Service (874-8460/8462) to discuss reserving barricades to place across the first entrance so that vehicles will not be driving over the electrical extension cord that will run from the pole to the grass area. (Please plan on bringing at least 200 feet of heavy duty extension cord.) Please check electricity in advance. Please call me to borrow the key to the fuse box, in case you need to reset a breaker. There is a \$20 deposit to borrow this key.
5. I will ask that the recycle bins, which are now located beside the entrance to the grass area, be moved to the middle of the parking lot.
6. For a tent permit, please contact Sam Hoffses, Director of Inspection Services (874-8407). He will need a site plan, fireproof certificate and a permit fee of \$35. We ask that the tent be set up on Thursday morning and removed from the site no later than Thursday afternoon. (There may be soccer or lacrosse games taking place on the field after school lets out.)

(continued on back)

7. For food vendors to be on site and serving the continental breakfast, please call Dena Tomilson, City Clerk's office (874-8557), to receive a Temporary Food Service License. Vendors must be licensed by the city.

8. If you need extra trash barrels at the site, please call Donn Mathews, Parks Supervisor (756-8383) to discuss this. He may require that you remove all your trash from the site.

Best wishes for a successful "Day of Caring." I will forward the formal permit for use once the permit fee and certificate of insurance arrive, and I have received confirmation from city departments regarding the aspects above.

cc: Dana Souza, Deputy Director Parks & Recreation
Nancy Geer, Recreation Program Administrator
Donn Mathews, Parks Supervisor
Carol McClure, P&R Customer Service Manager
Jone Wone, Fields & Facilities Coord.
John Peverada, Parking Control Dir.
Dan Brown/Maynard Sprague, PW's Customer Service
Sgt. Steve Mazziotti, Police Dept.
Sam Hoffses, Inspections Dir.
Dena Tomilson, City Clerk's Office

Yours truly,

Ted Musgrave
Special Activities Coordinator
Portland Parks & Recreation
874-8793 fax:756-8390

Sam Andrews, USM