

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0270	Issue Date: MAY - 2 2002	CBL: 405ADD022001
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Location of Construction: 29 Liberty Way	Owner Name: Pines Of Portland Inc	Owner Address: 426 Forest Ave	Phone: 207-772-2127
Business Name: n/a	Contractor Name: Pines of Portland	Contractor Address: 426 Forest Avenue Portland	Phone: 2077722127
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone: R-3

Past Use: Vacant	Proposed Use: Build New Single Family, 35' x 82' Cottage Style with 2 car attached garage.	Permit Fee: \$1,323.00	Cost of Work: \$175,000.00	CEO District: 2
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Proposed Project Description: Build New Single Family 35' x 82' with 2 car attached garage.	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B 5/1/02 Signature: [Signature]
	Signature: PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: gg	Date Applied For: 03/27/2002	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland NA <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 zone 1 <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #0202-0082 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: S 4/12/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Application ID Number: 2-0270

Delete

Save

Close

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 29 Liberty Way (lot #11)

Approval Date: 04/12/2002

Given On Date: 04/02/2002

OK to Issue Permit

Name: Marge Schmuckal

Date: 04/12/2002

Date 2:

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

NO REAR DECK or STAIRS are being shown and are therefore not approved. Any such proposed structure SHALL require a separate permit for review and approvals PRIOR to construction. Single Riser stoop in a compliant location is shown on the 4/30/02 and is ok to Build MJN

Create Date: 03/29/2002 By gg

Update Date: 04/12/2002 By mes

Application ID Number: 2-0270

Delete

Save

Close

Department: Building

Status: Approved with Conditions

Reviewer

Mike Nugent

Comments:

[Empty text box for comments]

Approval Date

05/01/2002

Given On Date

04/18/2002

OK to Issue Permit

Name

Mike Nugent

Date

05/01/2002

Date 2

[Empty date field]

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Must perform in a manner consistent with the approved plans & specs

A State fire place/chimney form must be prepared and signed by the Installer and returned to This office prior to a C/O.

Separate permits are required for Plumbing, Electrical, Fireplaces, Heating

Create Date: 03/29/2002

By

gg

Update Date:

05/01/2002

By

mjn

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

**2002-0082**

Application I. D. Number

**3/27/02**

Application Date

**29 Liberty Way (Lot # 11 Pines)**

Project Name/Description

**Pines Of Portland Inc**

Applicant

**426 Forest Ave, Portland, ME 04101**

Applicant's Mailing Address

**Greg McCormick**

Consultant/Agent

**Applicant Ph: (207) 772-2127 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**29 - 29 Liberty Way, Portland, Maine**

Address of Proposed Site

**405ADD022001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**2,500 sq. ft.**

Proposed Building square Feet or # of Units

*revised lot* **10,639 sq. ft.** ~~8769 sq. ft.~~ ~~10,639 sq. ft.~~

Acreage of Site

Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **3/29/02**

**Insp Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

April 18, 2001

Kandi Talbot  
Planning Department  
City of Portland  
389 Congress Street  
Portland, Maine 04101

Re: Proposed Building Envelope Change; Lot 11 Pines

Dear Kandi:

As discussed, Pines of Portland, Inc. is seeking to change the building envelope, more particularly the right side line set back of Lot 11, to enable construction of a home compatible with established designs in our neighborhood.

Originally a paper street existed on the right hand side of Lot 11. This necessitated a 20' set back per zoning regulations (shown on our Recorded Plans). On February 28, 2000, the paper street was vacated by order of the City Council. Additionally, a period of over (1) year has since past which forecloses any potential claims to the interest in the paper street.

Our title attorney, Mr. Chuck McLaughlin of Guaranty Title, has reviewed our proposal. No quiet title action is necessary. According to Attorney McLaughlin, we need only to present a revised plan for review and approval by the Director of Planning and Zoning under the deminimus change provision of our approval.

Could you please advise me at your earliest convenience as to the form of revised plan which would be required.

We would propose altering the original plan as recorded with a notation regarding the plan change in the note section. Thank you in advance for your help.

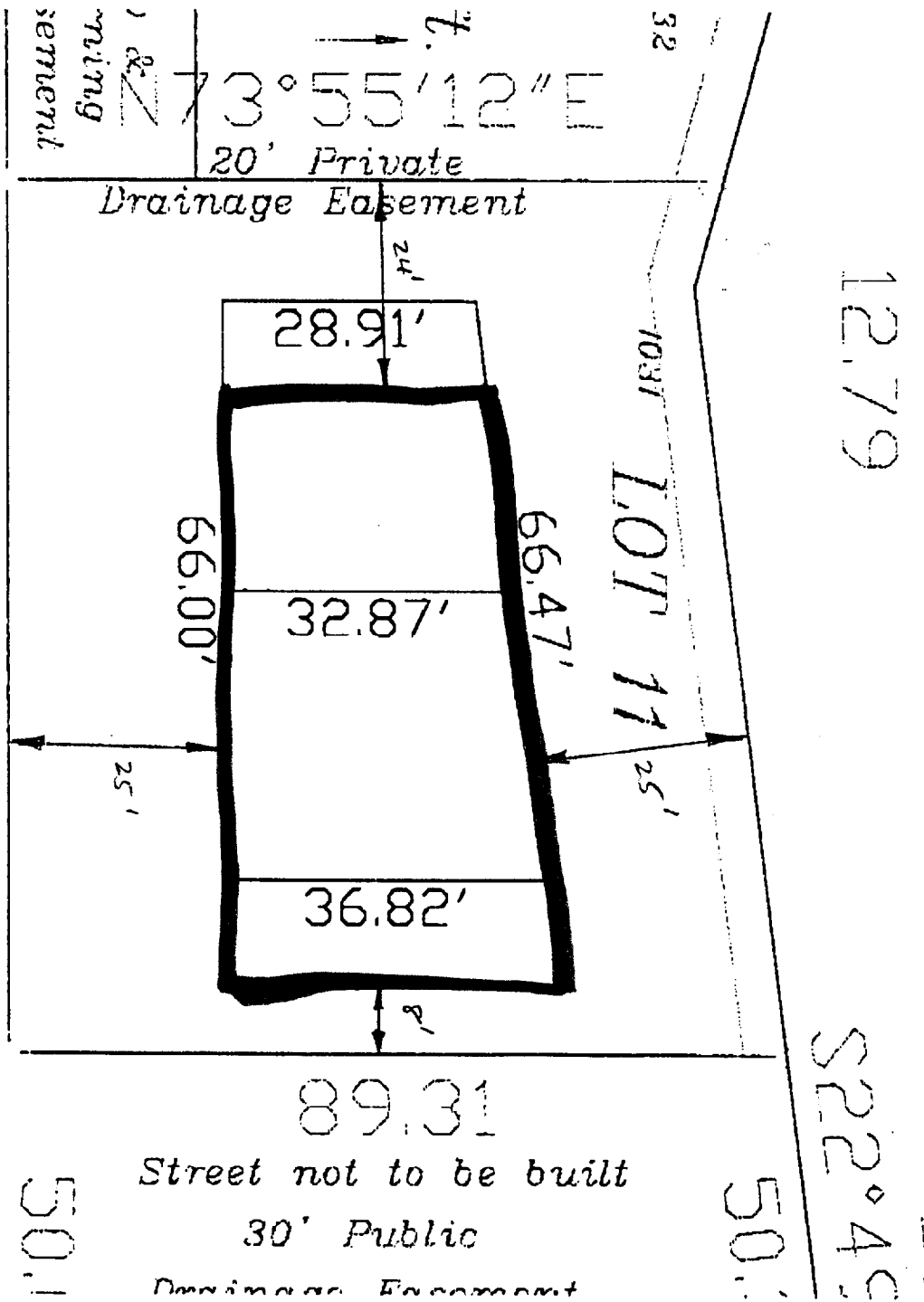
Sincerely,

  
Gregory T. McCormack

Cc: Mr. Alex Jaegerman  
Penny Littell  
Marge Schmuckal

received  
4/30/01

Try THIS  
1" = 20'




PROPOSED BUILDING ENVELOPE

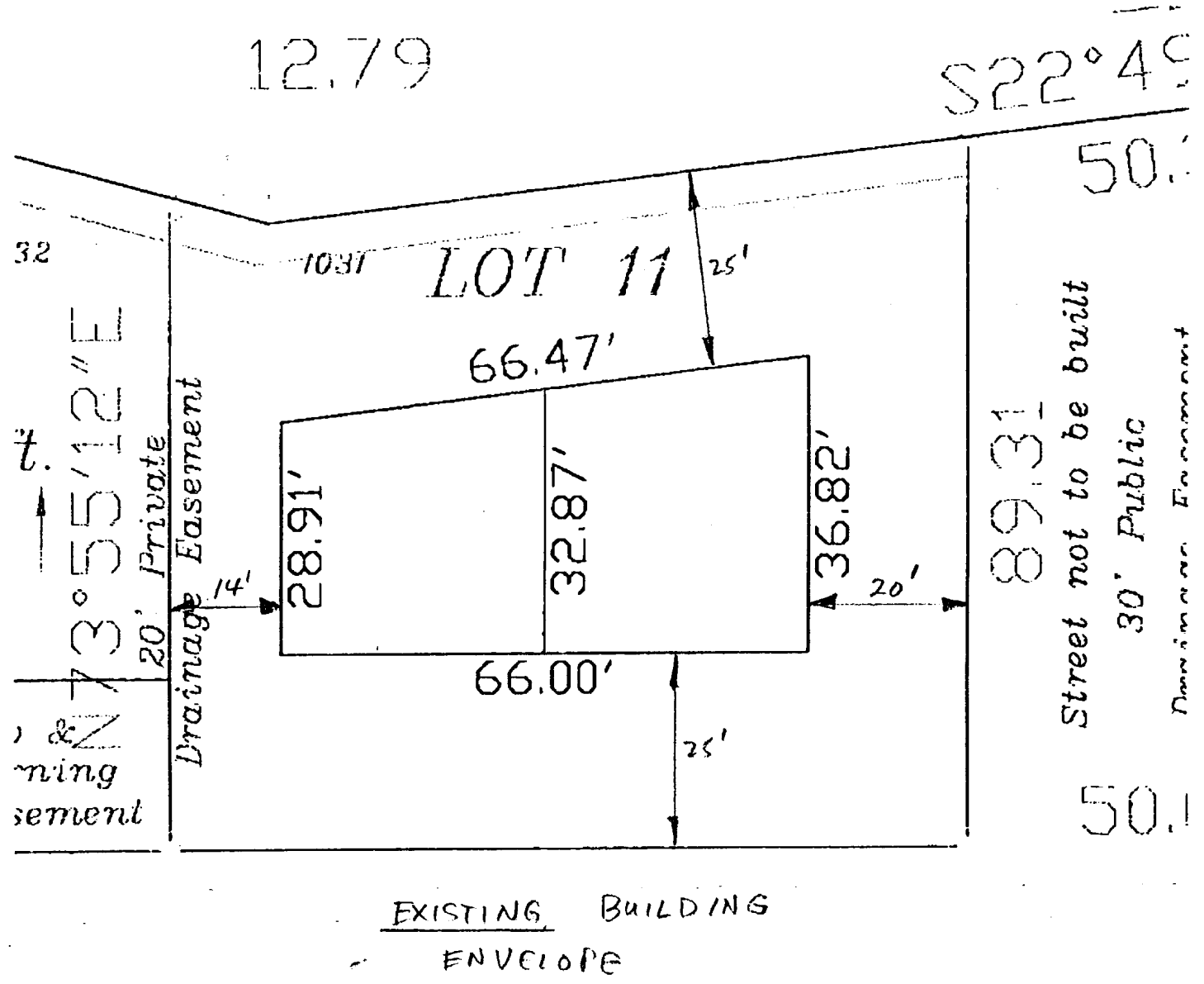
Street not to be built  
30' Public  
Drainage Easement

12.79  
822°45'

50.1

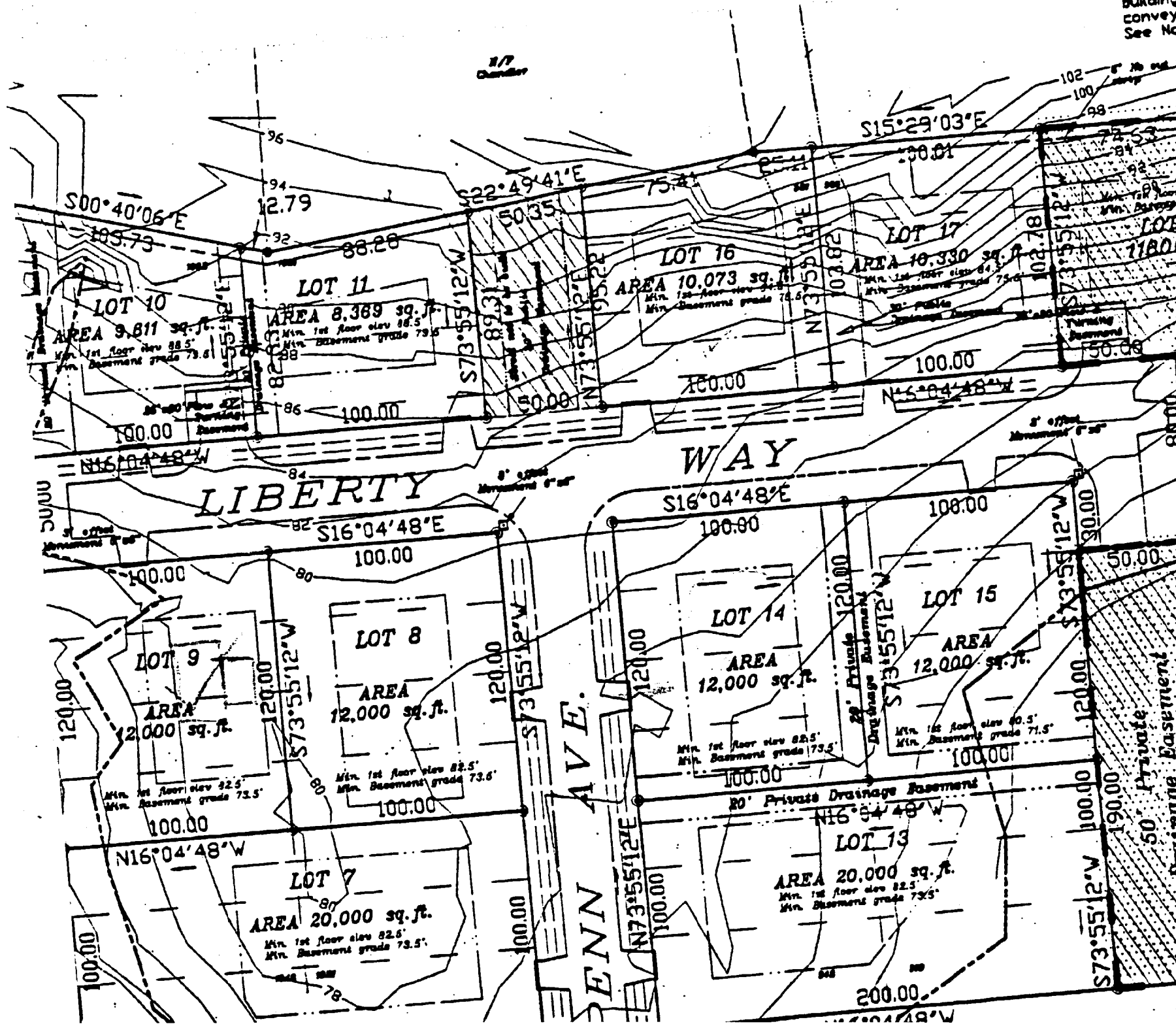
50.1

  
 Try THIS  
 1" = 20'



EXISTING BUILDING  
 ENVELOPE

record  
building  
convey  
See No



1/7  
Quarter

S00°40'06"E  
105.73

96  
94  
92  
12.79

S22°49'41"E  
50.35

S15°29'03"E  
100.01

LOT 10  
AREA 9,811 sq. ft.  
Min. 1st floor elev 88.5'  
Min. Basement grade 79.8'

LOT 11  
AREA 8,389 sq. ft.  
Min. 1st floor elev 88.5'  
Min. Basement grade 79.5'

LOT 16  
AREA 10,073 sq. ft.  
Min. 1st floor elev 84.5'  
Min. Basement grade 74.5'

LOT 17  
AREA 10,330 sq. ft.  
Min. 1st floor elev 84.5'  
Min. Basement grade 75.0'

LOT 18  
AREA 11,800 sq. ft.  
Min. 1st floor elev 84.5'  
Min. Basement grade 75.0'

N16°04'48"W  
100.00

LIBERTY WAY

WAY

S16°04'48"E  
100.00

S16°04'48"E  
100.00

120.00

LOT 9  
AREA 12,000 sq. ft.  
Min. 1st floor elev 82.5'  
Min. Basement grade 73.5'

LOT 8  
AREA 12,000 sq. ft.  
Min. 1st floor elev 82.5'  
Min. Basement grade 73.5'

LOT 14  
AREA 12,000 sq. ft.  
Min. 1st floor elev 82.5'  
Min. Basement grade 73.5'

LOT 15  
AREA 12,000 sq. ft.  
Min. 1st floor elev 80.5'  
Min. Basement grade 71.5'

120.00  
S73°55'12"W  
120.00

120.00  
S73°55'12"W  
120.00

120.00  
S73°55'12"W  
120.00

120.00  
S73°55'12"W  
120.00

N16°04'48"W  
100.00

LOT 7  
AREA 20,000 sq. ft.  
Min. 1st floor elev 82.5'  
Min. Basement grade 73.5'

100.00  
N73°55'12"E  
100.00

100.00  
N16°04'48"W  
100.00

LOT 13  
AREA 20,000 sq. ft.  
Min. 1st floor elev 82.5'  
Min. Basement grade 73.5'

100.00  
S73°55'12"W  
100.00

200.00

50' Private  
Drainage Easement

50' Private  
Drainage Easement

W. B. ...



2002 0082

02 0070

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot 11 Pines (29 Liberty Way)

Total Square Footage of Proposed Structure: <u>2500 sq' ±</u>	Square Footage of Lot: <u>10639 sq'</u>
------------------------------------------------------------------	--------------------------------------------

Tax Assessor's Chart, Block & Lot Chart# <u>N05</u> Block# <u>ADD</u> Lot# <u>022</u>	Owner: <u>Pines of Portland, Inc.</u>	Telephone: <u>772-2127</u>
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Lessee/Buyer's Name (If Applicable) <u>N/A.</u>	Applicant name, address & telephone: <u>Pines of Portland Inc 426 Forest Ave. Portland, Maine 04101</u>	Cost Of Work: \$ <u>175,000±</u> Fee: \$ <u>Bldg. Fee 1248.00</u>
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Current use: <u>vacant lot</u>	Site Fee <u>300.00</u>
If the location is currently vacant, what was prior use: <u>vacant land</u>	<u>690</u> <u>75.00</u>
Approximately how long has it been vacant: <u>unknown</u>	<u>TOTAL \$1623.00</u>
Proposed use: <u>Construction of single family residence with garage</u>	
Project description: <u>see above.</u>	
<u>35' x 80' cottage style w/ car attached garage</u>	

Contractor's name, address & telephone:

Who should we contact when the permit is ready: Greg McCormack / Amy Mulkerin

Mailing address: 426 Forest Ave.  
Portland, Maine 04101

Phone: 772-2127

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u> <u>Pines of Portland, Inc.</u>	Date: <u>3/25/02</u>
------------------------------------------------------------------------------	----------------------

This is not a permit, you may not commence ANY work until the permit is issued

**From:** Marge Schmuckal  
**To:** Kandi Talbot  
**Subject:** Pines of Portland - lot #11

Kandi,  
I have an old request from Greg McCormack on which I was copied to change the lot size of lot #11 (on Liberty Way). The request was dated 4/18/01. I have never gotten a confirmation from you that this request was granted. They are in for their house permit for this lot. Was this request ever granted? Can I get something from you in writing giving an ok on it?  
Thanks,  
Marge

OK  
Recorded  
see copy

Received  
4/9/02  
Needs to be  
Recorded 1st

.....

**facsimile transmittal**

**To:** Greg McCormick **From:** Mike Nugent  
**Fax:** 871-8695 **Date:** April 30, 2002  
**Phone:** 772-2127 **Pages:** 1  
**Re:** 29 Liberty Was (405AAD022) **CC:**

Urgent     For Review     Please Comment     Please Reply     Please Recycle

.....

**Notes:** Thank you for the resubmitted framing plan. There are items on the April 23<sup>rd</sup>, list that still are either not provided or acceptable:

- 1) Riser detail for cellar stairs
- 2) Guard rail details
- 3) Slider Protection Detail
- 4) Perimeter Footing Dimensions
- 5) Type of sill anchor system

Jay Reynolds has advised that he can not approve this plan until he receives an amended plan showing the no cut buffer and the commitment not to cut the no cut buffer.

.....

.....



Date: April 8, 2002  
 G-P Whse: PORTLAND, ME  
 Customer: CHICK LUMBER  
 Location: NORTH CONWAY, NH  
 Salesman: TOM HERGET  
 Phone: 603-356-6371  
 Fax: 603-356-6587  
 P.O. #: \_\_\_\_\_  
 Ship To: \_\_\_\_\_

Project: LOT 11, THE PINES  
 T/O By: TIM LUCAS  
 Spacing: 19.2" OR 16"  
 Loading: 

	Live	Dead	Duration
Floor-	40	10	100
Roof-	40	15	115
Partition-			

  
 Date Wanted: \_\_\_\_\_  
 Notes: \_\_\_\_\_

Qty	Description	Wt./Ft.	Total	Size	LENGTH
<b>2ND FLOOR</b>					
10	GPI-65 14"				30'
1 PC OF ABOVE ITEM TO BE CUT AT JOB INTO					
1 PC 24' & 1 PC 6'					
3	GPI-65 14"				28'
7	GPI-65 14"				24'
10	WI-40 11 7/8"				20'
1	WI-40 11 7/8"				26'
7	WI-40 11 7/8"				30'
18	WI-40 11 7/8"				36'
4	GPLAM 11 7/8" LVL				20'
3	GPLAM 11 7/8" LVL				18'
1	GPLAM 11 7/8" LVL				16'
3	GPLAM 16" LVL				20'
18	FIBERSTRONG RIM 11 7/8"				12'
8	FIBERSTRONG RIM 16"				12'
3	THO25118				1'
LBS					

Georgia-Pacific warrants that its products as listed above shall conform to the dimensions and details for the project and shall be adequate to carry the loads shown on this sheet. Note that this sheet has been prepared by Georgia-Pacific Technical Services Representative. This estimate must be verified by the customer / builder prior to construction. Georgia-Pacific is not liable for changes made without the consent of a Georgia-Pacific Representative. Quote is for items listed only. Quote must be reconfirmed in 30 days.

Batch Name : 040802CH  
Description: CHICK LBR - NE220414 - 2NDFL  
Material : WI-40-2 1/2"-11 7/8"

Waste cutoff = 12.0 ft. (Drops less than 12.0 ft. are considered waste) **Patterns have been altered and NOT ReOptimized**

\*\* Stock not selected in the option is not printed.

\*\* Stock Summary represents Stock levels at the time of printing, NOT at the time of optimization.

<u>CutList Summary:</u>	<u>Stock Summary :</u>	<u>Actual Consumption :</u>	<u>Missed Cuts :</u>
1 @ 4' 0"	500 @ 20' 0" Value	10 @ 20' 0"	
1 @ 6' 0"	500 @ 22' 0" Value	1 @ 26' 0"	
8 @ 16' 0"	500 @ 24' 0" Value	7 @ 30' 0"	
10 @ 18' 0"	500 @ 26' 0" Value	18 @ 36' 0"	
8 @ 20' 0"	500 @ 28' 0" Value		
Blk-28' 0"(19.1979"o.c.)	500 @ 30' 0" Value		
7 @ 30' 0"	500 @ 32' 0" Value		
10 @ 36' 0"	500 @ 36' 0" Value		
	0 @ 40' 0" Value		
	0 @ 48' 0" Value		

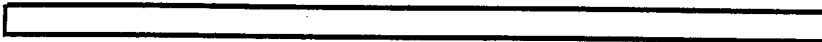
Use 8 @ 20.00 ft.

20.00'



Use 7 @ 30.00 ft.

30.00'



Use 10 @ 36.00 ft.

36.00'



Use 2 @ 36.00 ft.

18.00'

18.00'



Use 6 @ 36.00 ft.

16.00'

18.00'

1.60' (Blck)



0.40'(Waste)

Use 1 @ 26.00 ft.

4.00'

6.00'

16.00'



Use 1 @ 20.00 ft.

16.00'

3.20' (Blck)



0.80'(Waste)



Batch Name : 040802CH  
Description: CHICK LBR - NE220414 - 1STFL  
Material : WI-40-2 1/2"-11 7/8"

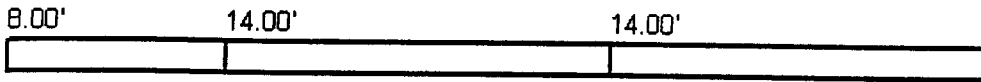
Waste cutoff = 12.0 ft. (Drops less than 12.0 ft. are considered waste) Patterns have been altered and NOT ReOptimized

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<u>CutList Summary:</u>	<u>Stock Summary :</u>	<u>Actual Consumption :</u>	<u>Missed Cuts :</u>
2 @ 4' 0"	500 @ 20' 0" Value	1 @ 28' 0"	
17 @ 6' 0"	500 @ 22' 0" Value	11 @ 28' 0"	
5 @ 8' 0"	500 @ 24' 0" Value	1 @ 30' 0"	
1 @ 12' 0"	500 @ 26' 0" Value	15 @ 32' 0"	
33 @ 14' 0"	500 @ 28' 0" Value	9 @ 36' 0"	
34 @ 16' 0"	500 @ 30' 0" Value		
	500 @ 32' 0" Value		
	500 @ 36' 0" Value		

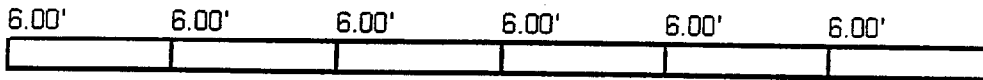
Use 5 @ 36.00 ft.



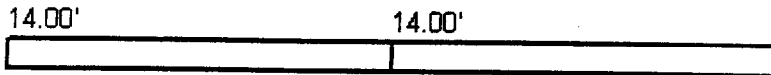
Use 2 @ 36.00 ft.



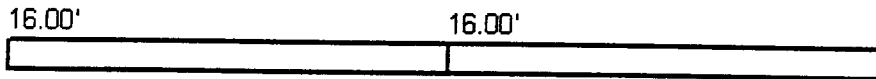
Use 2 @ 36.00 ft.



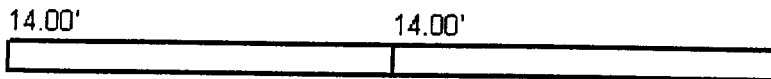
Use 5 @ 28.00 ft. (Locked)



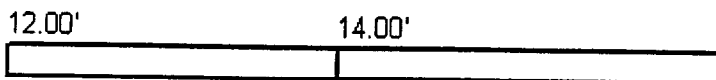
Use 15 @ 32.00 ft.



Use 6 @ 28.00 ft.



Use 1 @ 26.00 ft.



Applicant: Pines of Portland

Date: 4/4/02

Address: 29 Liberty Way (lot #11)

C-B-L: 405A-DD-022

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

#02-0270

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct new single family 35' x 82' with attached 2 car garage

Sevage Disposal - City  
Lot Street Frontage - 50' req - 50' + shown  
NO rear deck or steps shown

Front Yard - 25' req - 26' to main foundation

Rear Yard - 25' req - 26' shown

Side Yard - 2 story 14' req - 21' + 21' shown

Projections - front porch into front setback - 40' ok per 14-425

Width of Lot - 75' req - 75' + shown (125')

Height - 35' max - 26' scaled to ridge on rear

Lot Area - 6,500 sq ft ~~8,269 sq ft~~ given 10,639 sq ft  
revised lot see new approved received 4/11/02

Lot Coverage/ Impervious Surface - 25% of 2659.75 sq ft allowed

Area per Family - 6,500 sq ft -

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor # 2002-082

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

15 x 27 =	405
11.33 x 29 =	327.7
30 x 37.66 =	1129.8
18 x 35 =	630
5 x 10 =	50
<u>2542.50 sq ft</u>	

15' right hand side EASEMENT



Application ID Number: 2-0270

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 29 Liberty Way (lot #11)

Approval Date: 04/12/2002

Issue On Date: 04/02/2002

OK to Issue Permit Name: Marge Schmuckal Date: 04/12/2002 Date 2: [ ]

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

NO REAR DECK or STAIRS are being shown and are therefore not approved. Any such proposed structure SHALL require a separate permit for review and approvals PRIOR to construction.

Create Date: 03/29/2002 By: gg Update Date: 04/12/2002 By: mes



**CITY OF PORTLAND**  
**STOP WORK NOTICE**

April 3, 2002

Pines of Portland, Inc.  
Mr. Greg McCormick  
426 Forest Avenue  
Portland, Me. 04101

RE: 29 Liberty Way (Lot # 11, The Pines)  
ID#: 2002-0082  
CBL: 405ADD022

**SENT REGISTERED MAIL**

Dear Mr. McCormick:

An evaluation of the property at 29 Liberty Way revealed that sitework has commenced without the required approval.

As stated in the City of Portland Land Use Ordinance, 'No alterations shall be made to a site with a pending or approved site plan application until: (1) The performance guarantee has been submitted to the planning authority; or (2) Written permission has been received from the director of planning and urban development or his designee. Such permission shall be granted only after submission of a written request setting forth the work proposed to be done on the site. All such work shall be done in compliance with information provided with the site plan application including, but not limited to, an erosion control plan. Such written permission shall not be required when the only work proposed is the digging of test pits (Section 14-528). From our inspection, it appears that the filled areas may contain wetlands. In addition to City of Portland permits, the filling of a wetland requires an application for Permit by Rule from the Maine Department of Environmental Protection.'

This is a **STOP WORK ORDER** pursuant to Section 14-528 of the Land Use Ordinance. All construction activity must stop immediately.

Construction may commence after minor site plan has been approved.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 121.5 of the Code. Please feel free to contact me at 874-8632, if you wish to discuss the matter or have any questions.

Sincerely,

Jay Reynolds  
Development Review Coordinator

•  
•  
•  
•  
•  
•  
•

389 Congress St.  
Portland, ME 04101  
Phone: (207)874-8700  
Fax: (207)874-8716

# facsimile transmittal

**To:** Greg McCormick **From:** Mike Nugent  
**Fax:** 871-8695 **Date:** April 23, 2002  
**Phone:** 772-2127 **Pages:** 1  
**Re:** 29 Liberty Way (405ADD022) **CC:**

Urgent     For Review     Please Comment     Please Reply     Please Recycle

**Notes:** In order to continue the review of the plans for the above property we need the following :

- 1) Perimeter footing dimensions
- 2) What method of sill anchor is being used
- 3) Please provide sizes of LVL's where omitted
- 4) Please Provide product information on BCI 400 floor systems
- 5) Front Deck Detail
- 6) The omission of a rear deck requires a plan to protect the opening of the slider
- 7) If there is a window abutting the tub on sheet 2 please provide glazing specs
- 8) Egress Window specs
- 9) Interior and exterior Stair and Guard details



• • • • •

389 Congress St.  
Portland, ME 04101  
Phone: (207)874-8700  
Fax: (207)874-8716

facsimile transmittal

To: Greg McCormick

Fax: 871-8695

Date: April 23, 2002

Phone: 772-2127

Pages: 1

CC:

- Urgent
- For Review
- Please Comment
- Please Reply
- Please Recycle

Notes: In order to continue the review of the plans for the above property we need the following :

- Fred* 1)  Perimeter footing dimensions *on specs*
- Fred* 2)  What method of sill anchor is being used
- Have* 3)  Please provide sizes of LVL's where omitted
- Have* 4)  Please Provide product information on BCI 400 floor systems ✓
- Fred* 5)  Front Deck Detail
- Fred* 6)  The omission of a rear deck requires a plan to protect the opening of the slider
- Noted* 7)  If there is a window abutting the tub on sheet 2 please provide glazing specs *tempered glass*
- Noted* 8)  Egress Window specs
- Fred* 9)  Interior and exterior Stair and Guard details

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

**2002-0082**  
Application I. D. Number  
**03/27/2002**  
Application Date  
**29 Liberty Way (Lot # 11 Pines)**  
Project Name/Description

**Pines Of Portland Inc**  
Applicant  
**426 Forest Ave, Portland, ME 04101**  
Applicant's Mailing Address  
**Greg McCormick**  
Consultant/Agent  
**Applicant Ph: (207) 772-2127 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**29 - 29 Liberty Way, Portland, Maine**  
Address of Proposed Site  
**405ADD022001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**2,500 sq. ft.** **10,639 sq. ft.**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |                                                             |                                                      |                                                |                                                  |
|-------------------------------------------------------------|------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Other _____           |                                                  |

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **03/29/2002**

**DRC Approval Status:**

- Approved  **Approved w/Conditions** See Attached  Denied
- Approval Date **04/30/2002** Approval Expiration **04/30/2003** Extension to \_\_\_\_\_
- Condition Compliance **Jay Reynolds** **04/30/2002**  
signature date

*Copy of Revision Attached*

Additional Sheets Attached

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |                                                             |                |                                                    |                 |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____                                              | _____           |
|                                                             | date           | amount                                             | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____                                              |                 |
|                                                             | date           | amount                                             |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____                                              | _____           |
|                                                             | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|                                                             | date           |                                                    | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____                                              | _____           |
|                                                             | submitted date | amount                                             | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2002-0082

Application I. D. Number

03/27/2002

Application Date

29 Liberty Way (Lot # 11 Pines)

Project Name/Description

**Pines Of Portland Inc**

Applicant

**426 Forest Ave, Portland, ME 04101**

Applicant's Mailing Address

**Greg McCormick**

Consultant/Agent

**Applicant Ph: (207) 772-2127      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**29 - 29 Liberty Way, Portland, Maine**

Address of Proposed Site

**405ADD022001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 29 Liberty Way, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 9 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 01 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 01 THE NO CUT BUFFER WILL BE PRESERVED.

RE 29: Liberty

Phone: (207)874-8700  
Fax: (207)874-8716

facsimile transmittal

To: Greg McCormick From: Mike Nugent  
Fax: 871-8695 Date: April 30, 2002  
Phone: 772-2127 Pages: 1  
Re: [REDACTED] CC:

Urgent  For Review  Please Comment  Please Reply  Please Recycle

Notes: Thank you for the resubmitted framing plan. There are items on the April 23<sup>rd</sup>, list that still are either not provided or acceptable:

- ✓ 1) Riser detail for cellar stairs ON FOUNDATION PLAN SHEET 4
- 2) Guard rail details - 2ND 1/2 WALL ON PLAN.
- 3) Slider Protection Detail ON PLAN SECTION G SHEET 2
- 4) Perimeter Footing Dimensions ON PLAN - SHEET 4
- 5) Type of sill anchor system ON PLAN 1/2" ANCHOR BOLTS SHEET 4

Jay Reynolds has advised that he can not approve this plan until he receives an amended plan showing the no cut buffer and the commitment not to cut the no cut buffer. - SUBMITTED TO JAY REYNOLDS 4/30/02



S22°49'41"E  
113.46'

S00°40'06"E  
12.79'

# CITY OF PORTLAND APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL  
CONDITIONS

DATE OF APPROVAL 4-30-02  
- 92

BUILDING ENVELOPE

STOOP

26' REAR  
SETBACK

21'  
SIDE SETBACK

21'  
SIDE SETBACK

82.33'  
N73°55'12"E

GARAGE  
FF 87.0

LOT 11  
AREA 10,639 SQ. FT. HOUSE  
FF 90.5

92.26'  
S73°55'12"W

CONCEPTUAL GRADING  
PLAN  
LOT 11 PINES  
(29 LIBERTY WAY)  
PREPARED BY  
GREG MC CORMACK  
BASED ON GRADING  
PLANS BY PINKHAM  
AND GREER

MARCH 25, 2002

OPEN  
PORCH

(40" INTO SETBACK)

ASPHALT  
DRIVE

26' FRONT  
SETBACK

PUBLIC DRAINAGE

NOTE: TWO TREES TO BE  
CONSERVED OR PLANTED  
ALONG STREET FRONTAGE

(S)

(W)

(ED)

N16°04'48"W  
125.00'

SCALE: 1" = 10'

BITUMINOUS SIDEWALK

92  
90  
90

88

88

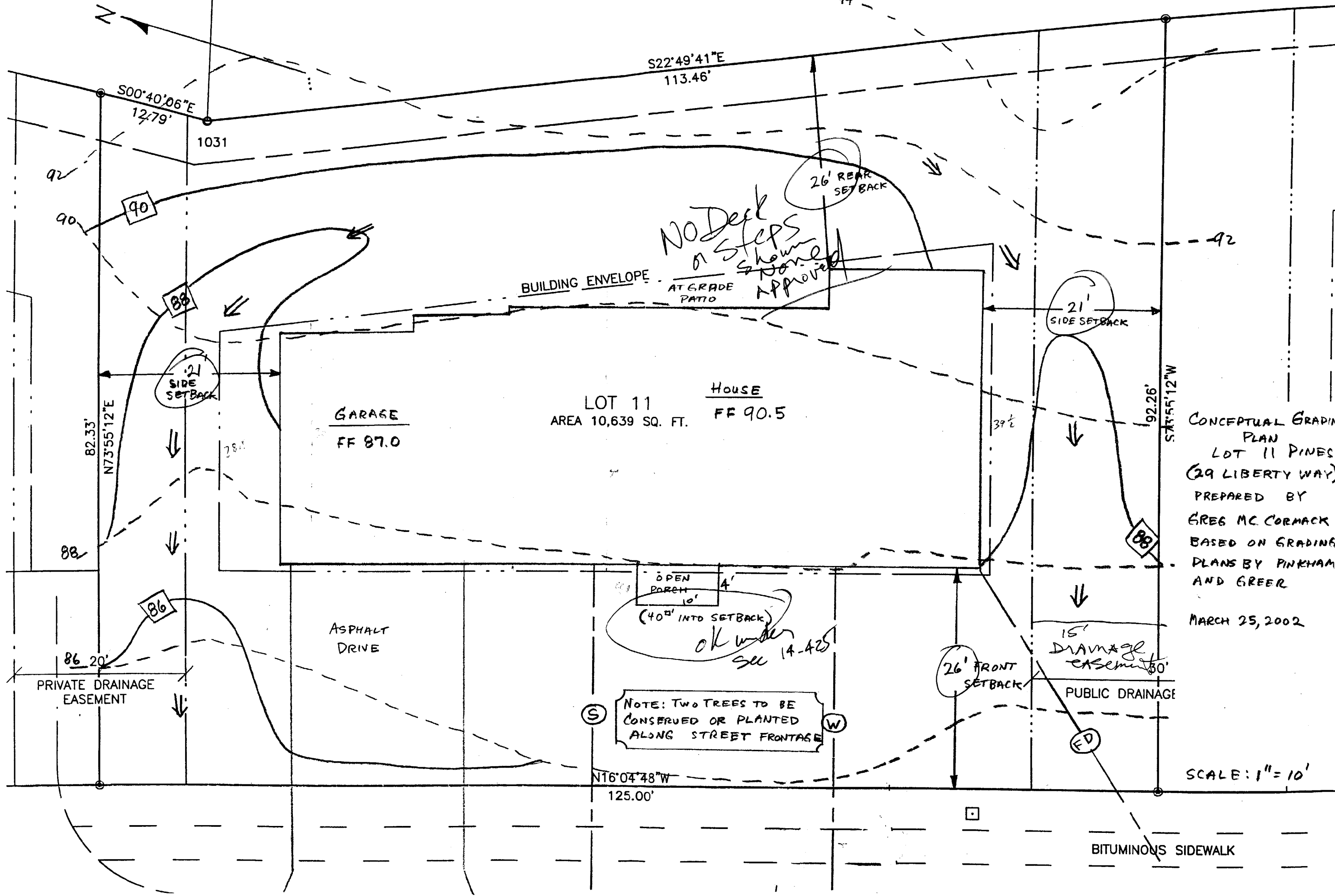
86

86 20'

PRIVATE DRAINAGE  
EASEMENT

□



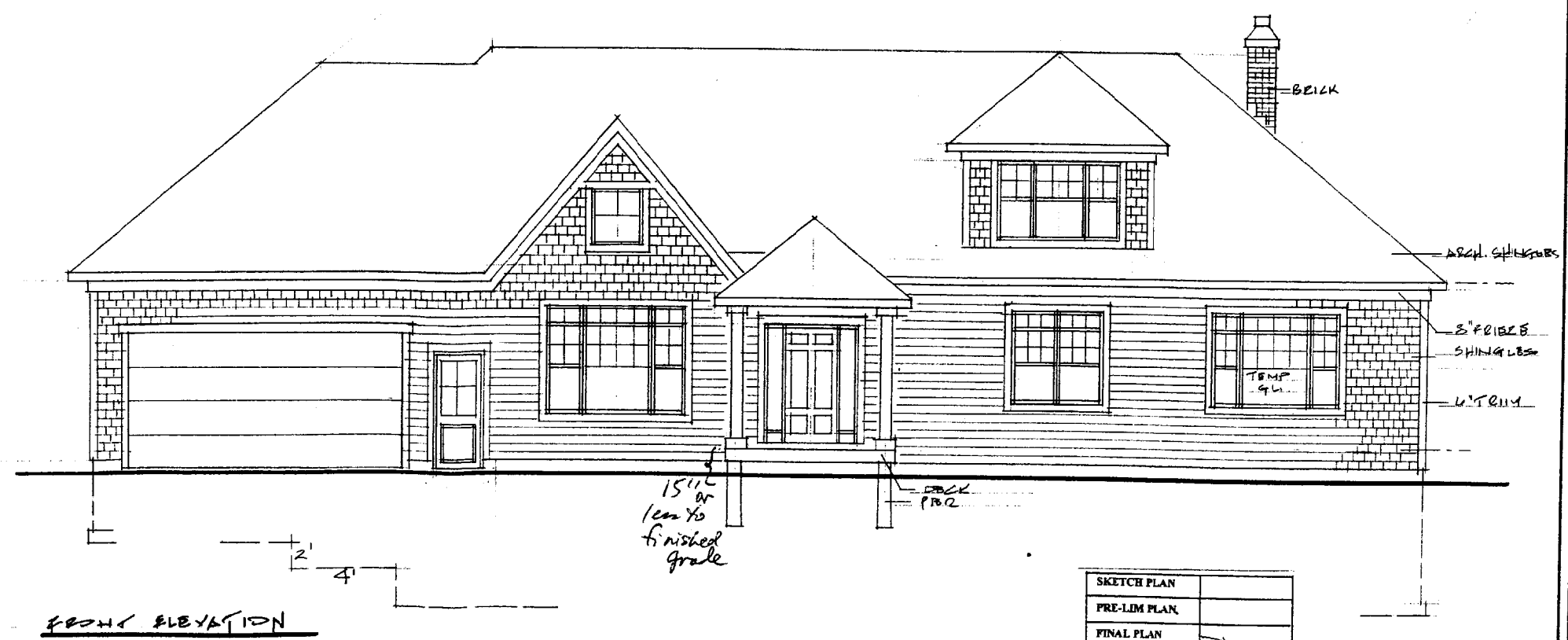
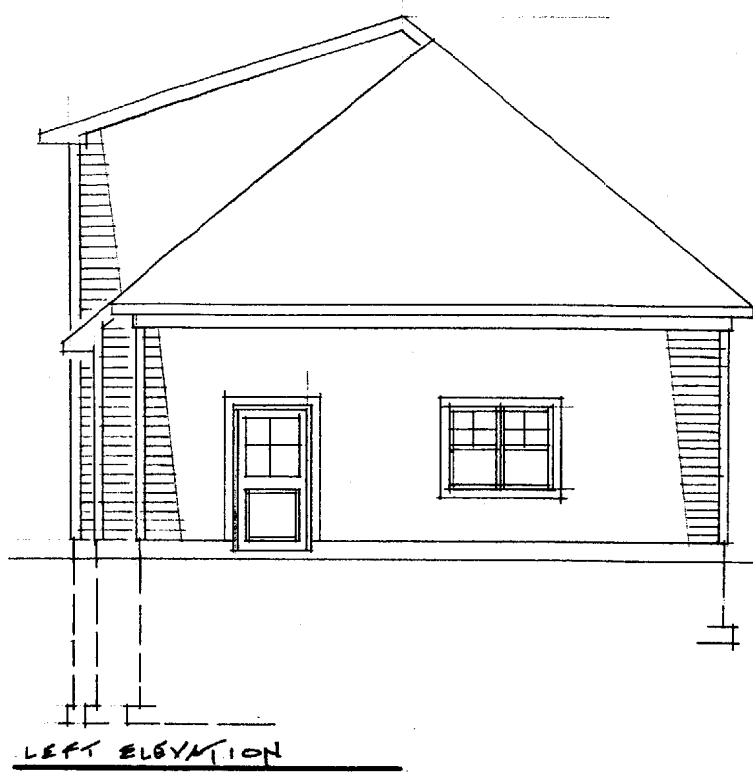


CONCEPTUAL GRADING PLAN  
 LOT 11 PINES  
 (29 LIBERTY WAY)  
 PREPARED BY  
 GREG MC CORMACK  
 BASED ON GRADING  
 PLANS BY PINKHAM  
 AND GREER  
 MARCH 25, 2002

SCALE: 1" = 10'

REVISIONS	BY

- GENERAL NOTES**
- Plans are designed to comply with the 1999 BOCA code. Compliance with other codes and ordinances shall be the responsibility of the general contractor.
  - All site, mechanical, electrical and utility design shall be by others.
  - Unless otherwise certified on the plans, all structural beams, columns and frame members shall be verified by a structural engineer.
  - Contractor shall consult kitchen / bath millwork plans for framing around adjacent walls.
  - Contractor shall verify all dimensions prior to construction.
  - Contractor shall insure that fireplace/chimney construction conforms to the latest NFPA ch. 211 standards.
  - All manufactured structural lumber and trusses shall be installed in accordance with manufacturer instructions. Openings cut in members shall not recommended guidelines.

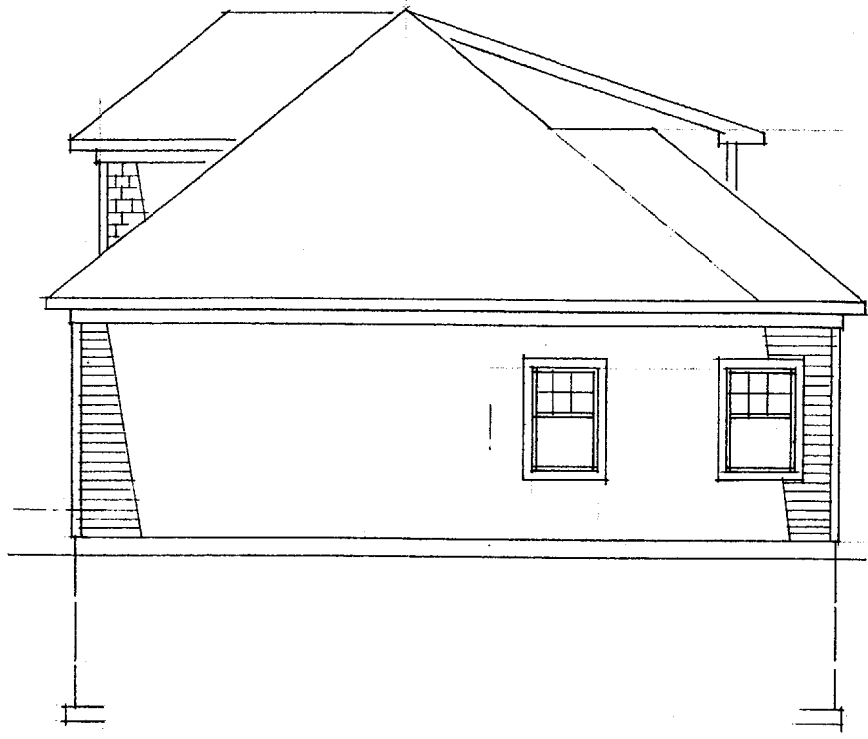


SKETCH PLAN	
PRE-LIM PLAN	
FINAL PLAN	
RELEASED FOR CONSTRUCTION	

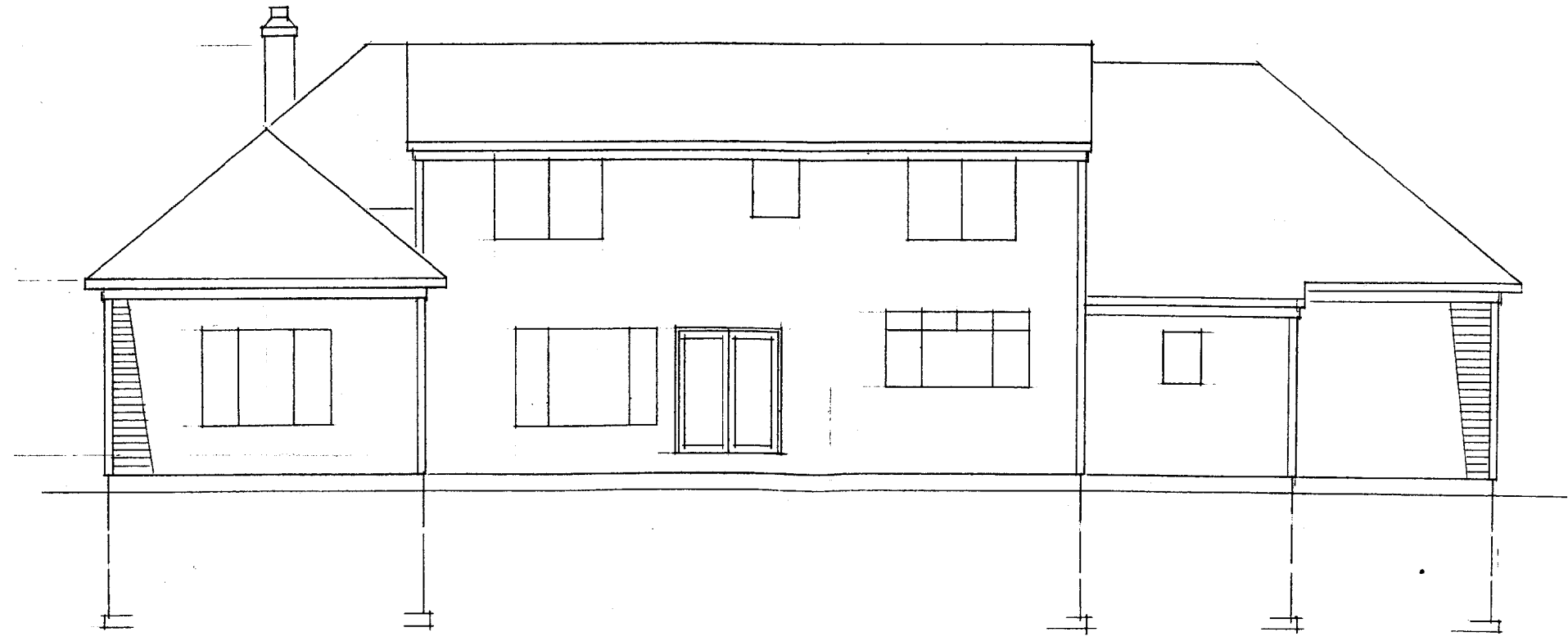
LOT 11, THE PINES  
 DEVELOPER: GREG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 35 PARTRIDGE ROAD, PO BOX 151, WINDHAM, ME 04662 892-2440

Date  
 Scale 1/4"  
 Drawn  
 Job  
 Sheet 1  
 ELEVATIONS  
 Of Sheets

REVISIONS	BY



RIGHT ELEVATION



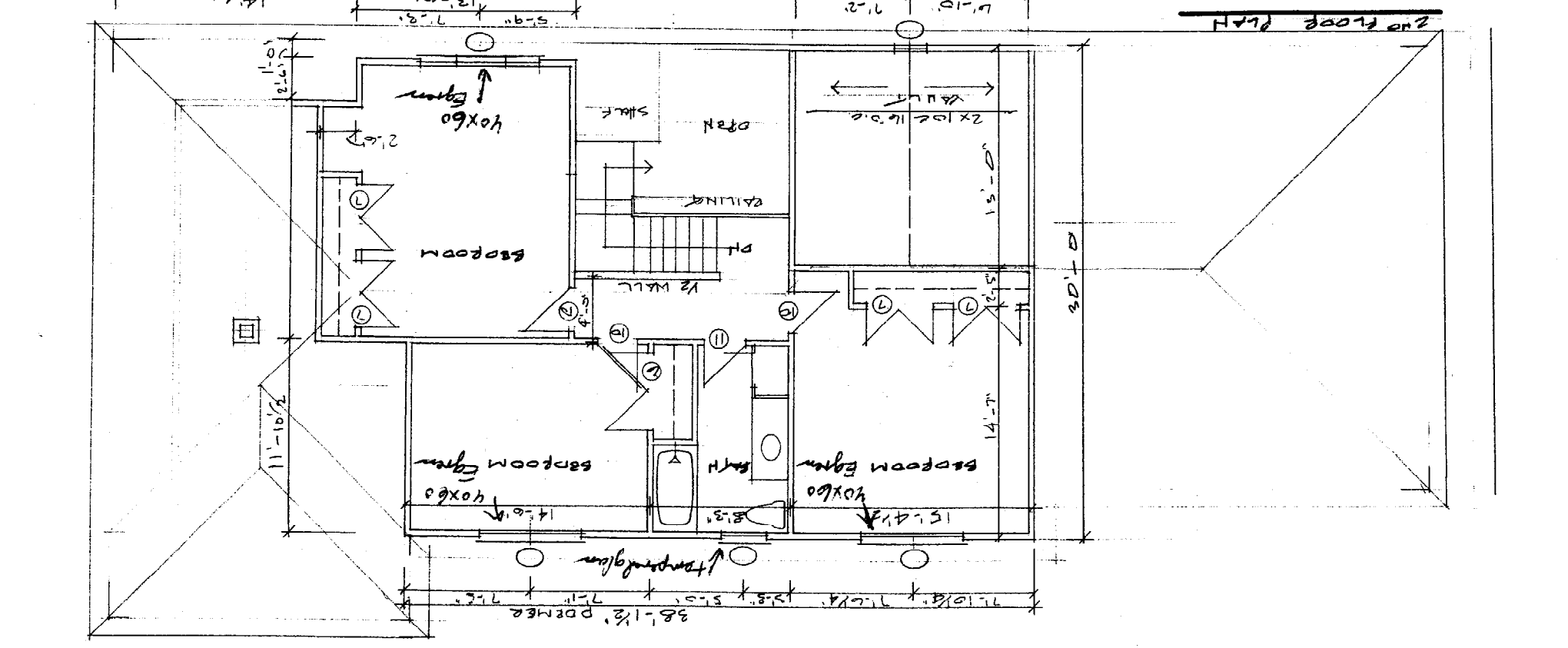
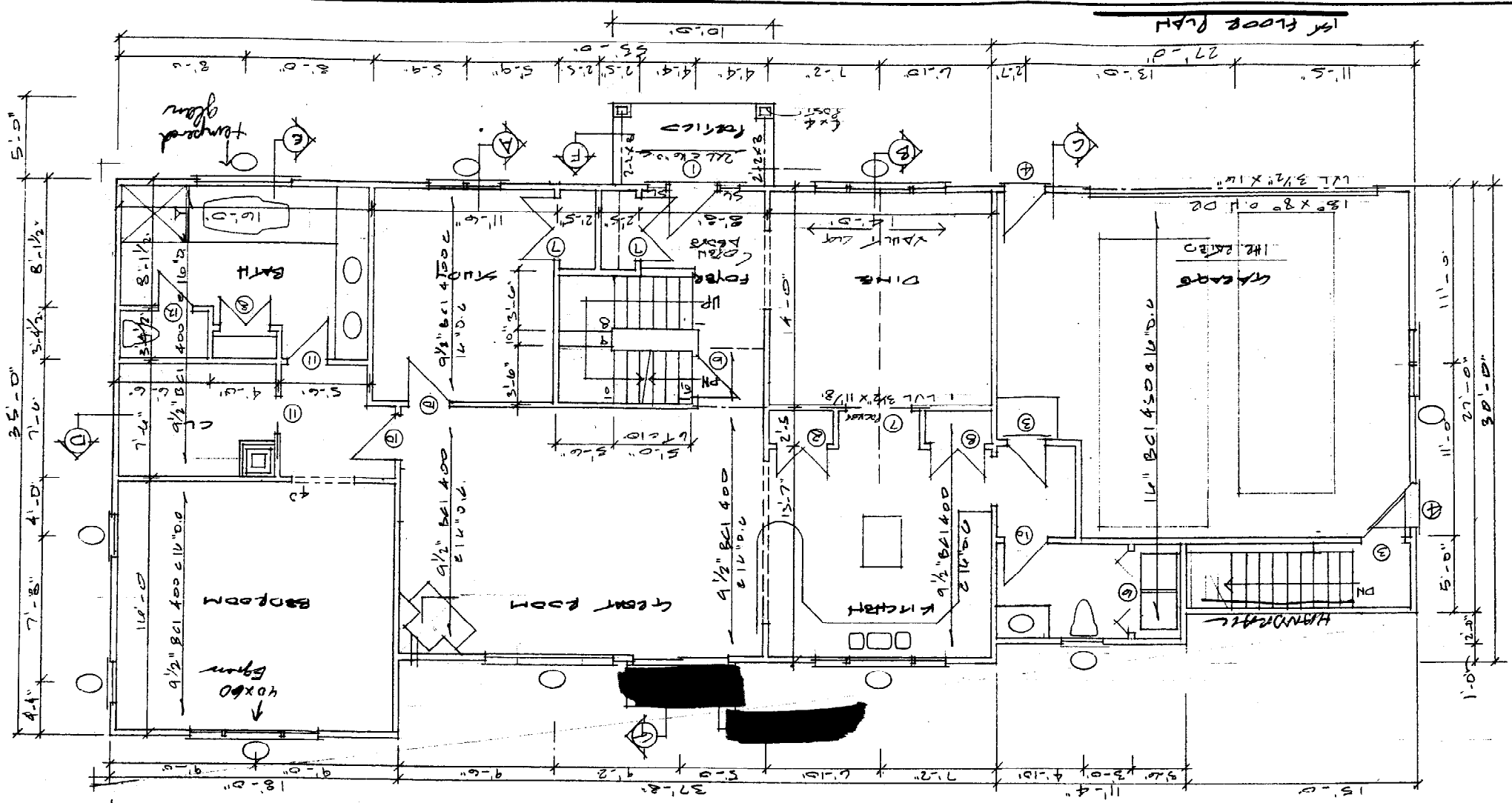
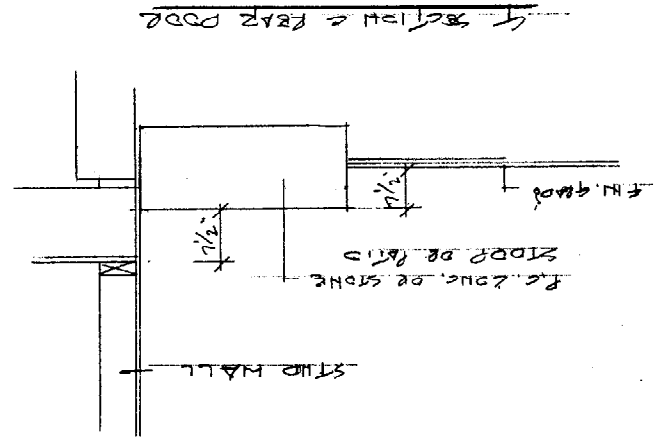
REAR ELEVATION

LOT 11, THE PINES  
 DEVELOPER: GREG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 35 PARKRIDGE ROAD, PO BOX 51, WINDHAM, NE 68062 857-3600

Date
Scale
Drawn
Job
Sheet 2
ELEVATIONS
Of Sheets

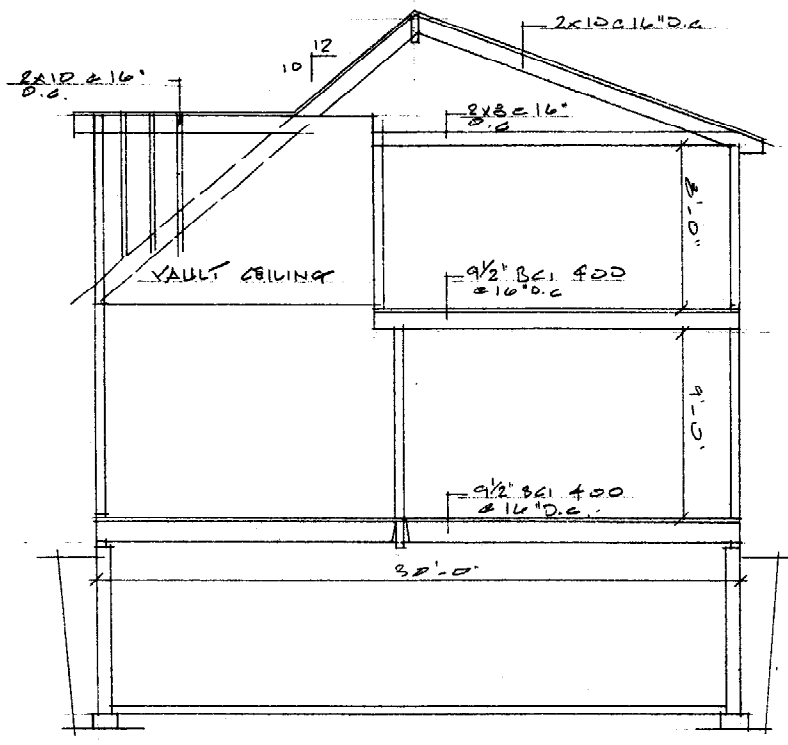
DOOR SCHEDULE

1	30" X 68" EXTERIOR
2	60" X 68" EXTERIOR
3	28" X 68" FIRE RATED
4	28" X 68" EXTERIOR
5	60" X 68" INTERIOR
6	60" X 68" INTERIOR
7	40" X 68" INTERIOR
8	30" X 68" INTERIOR
9	28" X 68" INTERIOR
10	26" X 68" INTERIOR
11	24" X 68" INTERIOR
12	20" X 68" INTERIOR
13	16" X 68" INTERIOR
14	13" X 68" INTERIOR
15	10" X 68" INTERIOR
16	
17	
18	

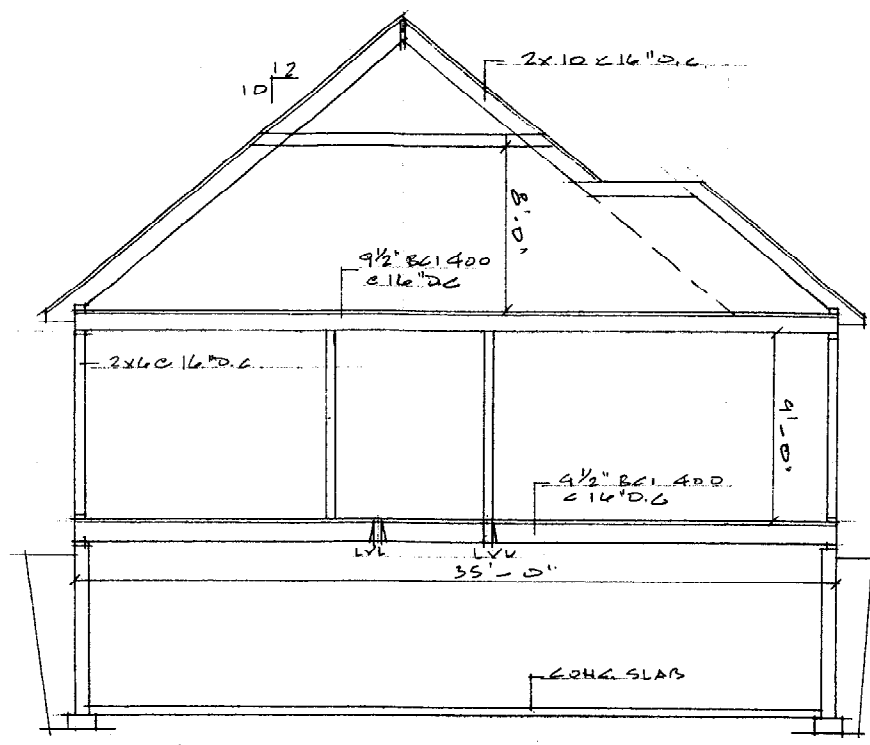


Sheet 2  
 LOT 11, THE PINES  
 DEVELOPER: CREGG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 15 HARTFORD ROAD, BOX 531, WINDHAM, ME 04092 893340

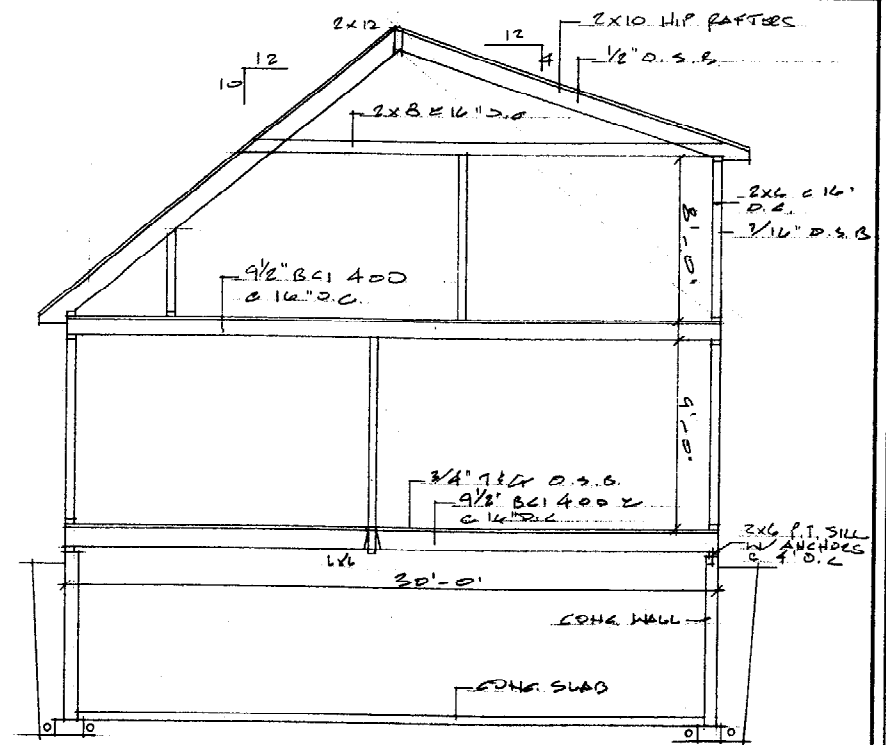
REVISIONS	BY



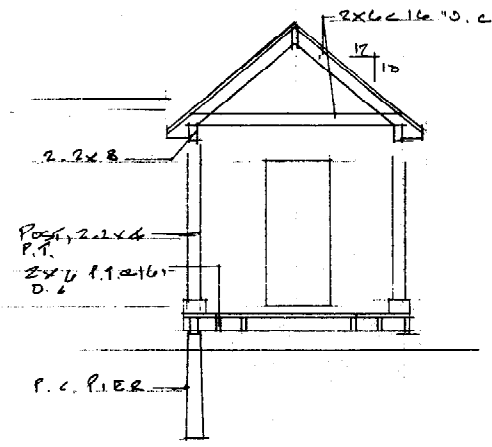
**'B' SECTION**



**'E' SECTION**



**'A' SECTION**



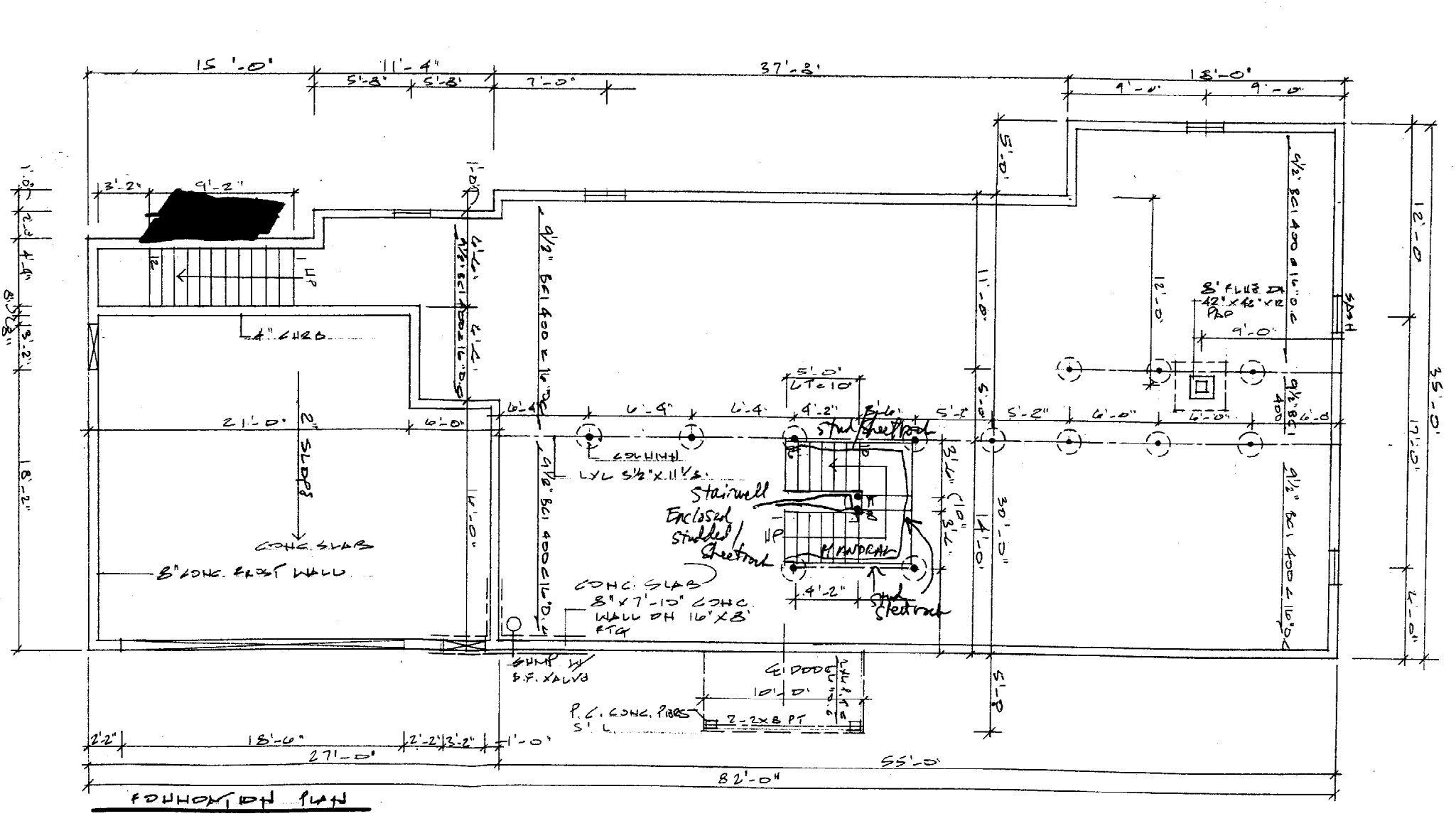
**'F' SECTION**

**FRAME SPECIFICATIONS**

- FLOOR SYSTEM**  
 JOISTS AS INDICATED  
 BRIDGING AT CENTER  
 2x6 FT SILL W/ SEALER  
 SUBFLOOR AS INDICATED  
**EXTERIOR WALLS**  
 2x6 STUDS AS INDICATED  
 SHEATHING AS INDICATED  
 AIR INFILTRATION WRAP  
 VAPOR BARRIER  
 SIDING/FINISH AS INDICATED  
**INTERIOR WALLS**  
 2x4 STUDS AT 16" OC  
 GYPCARD AS INDICATED  
**ROOF SYSTEM**  
 RAFTERS/TRUSSES AS INDICATED  
 SHEATHING AS INDICATED  
 1/4" UNDERLAYMENT  
 ICE SHIELD AT EAVES/VALLEYS  
 23 1/4 SHINGLES AS INDICATED  
**INSULATION**  
 EXTERIOR WALLS-R19  
 ATTIC CAP-R38  
 SILLS-R19  
 FROST WALL-2" RIGID  
**VENTILATION**  
 36" VENT. CONT. STRIP  
 RIDGES-CONT. SHINGLE  
 CIRCULATION VENTS BETWEEN  
 RAFTERS/TRUSSES  
**BEAMS/HEADERS**  
 2x16 MAX. 40' SPAN  
 2x12 MAX. 30' SPAN  
 BEAMS AS INDICATED  
 MIN 4" BEARING ALL BEAMS  
**INTERIOR FINISHES**  
 1/2" GYPCARD OR AS  
 INDICATED-WALLS/CEILING  
 FLOORING AS INDICATED  
 PAINT/STAIN AS INDICATED

**FOUNDATION SPECIFICATIONS**

- CONCRETE WALLS AS INDICATED ON CONT.  
 KEYED FOOTING  
 ANCHORS AT CORNERS AND 4" OC  
 CONCRETE-2500 PSI AT FOOTINGS  
 3000 PSI AT WALLS  
 SOIL BEARING-2500 PSF  
 ALL FOOTINGS TO FROST DEPTH  
 3 1/2" STEEL LALLY COLUMNS  
 ON 24"X24"X12" FOOTINGS  
 4" CONCRETE SLAB ON 6 MIL VAPOR  
 BARRIER ON 4" MIN. GRAN. FILL  
 4" DIA. PERFORATED UNDERDRAIN PIPES  
 BOTH SIDES OF WALL TO SUMP OR  
 DAYLIGHT GRAVITY  
 4" DIA. PERFORATED RADON PIPES UNDER  
 SLAB AT 20" MAX. OC. CONNECT TO  
 UNDERDRAINS. PROVIDE STUBS AT 40"  
 MAX. OC  
 CONTROL JOINTS AT MAX. 30' OC WALLS  
 AND SLABS  
 ASPHALT PAINT EXTERIOR WALLS TO  
 GRADE

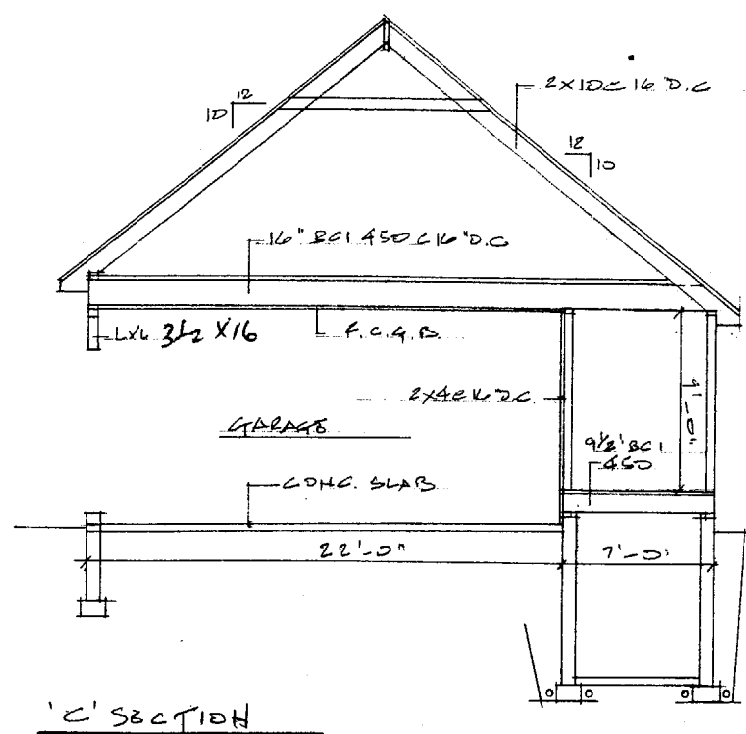


**FOUNDATION PLAN**

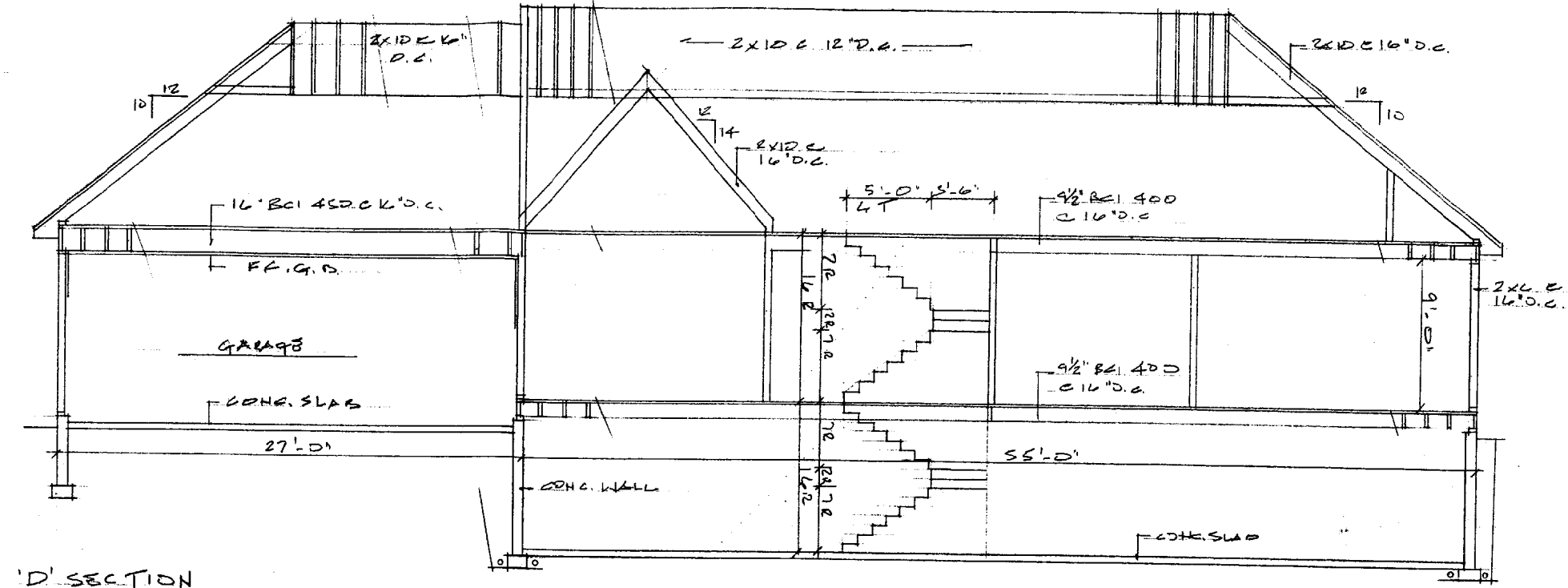
**LOT 11, THE PINES**  
 DEVELOPER: GREG MCCORMACK  
 PLANNING/DESIGN ASSOCIATES  
 55 PARKRIDGE ROAD, PO BOX 551, WINDHAM, ME 04981 897-3649

Date	
Scale	1/4"
Drawn	
Job	
Sheet #	STRUCTURAL
Of	Sheets

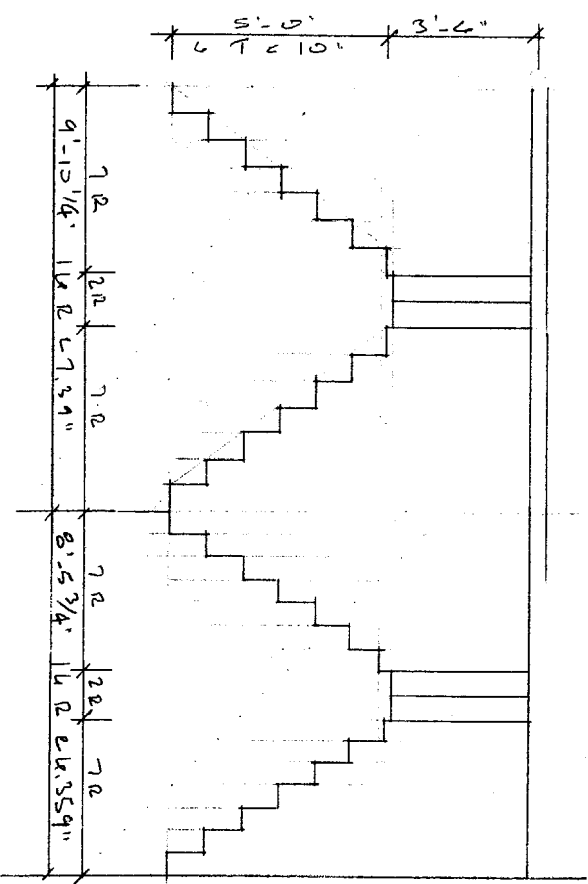
REVISIONS	BY



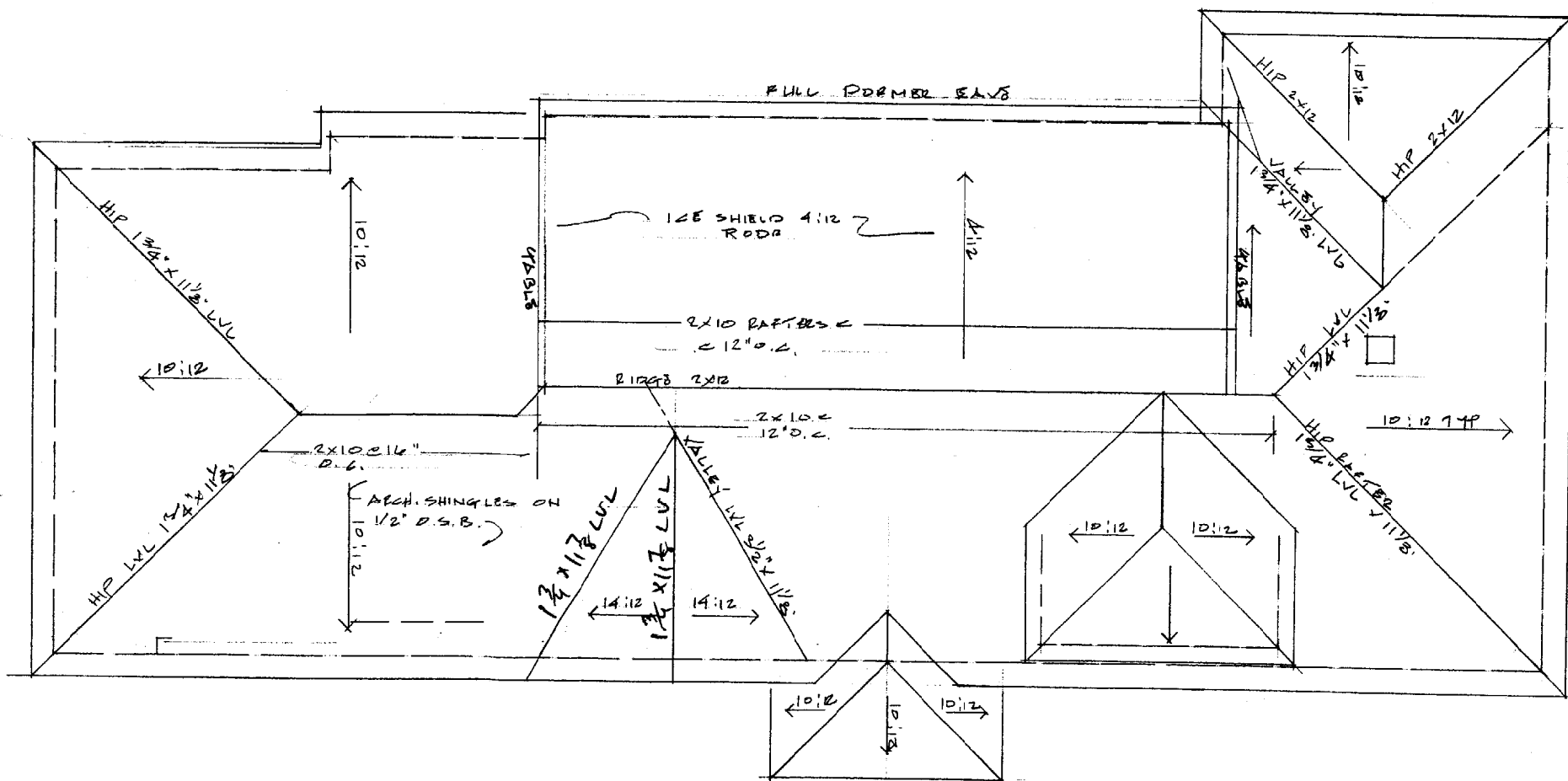
'C' SECTION



'D' SECTION



SECTION OF STAIRS



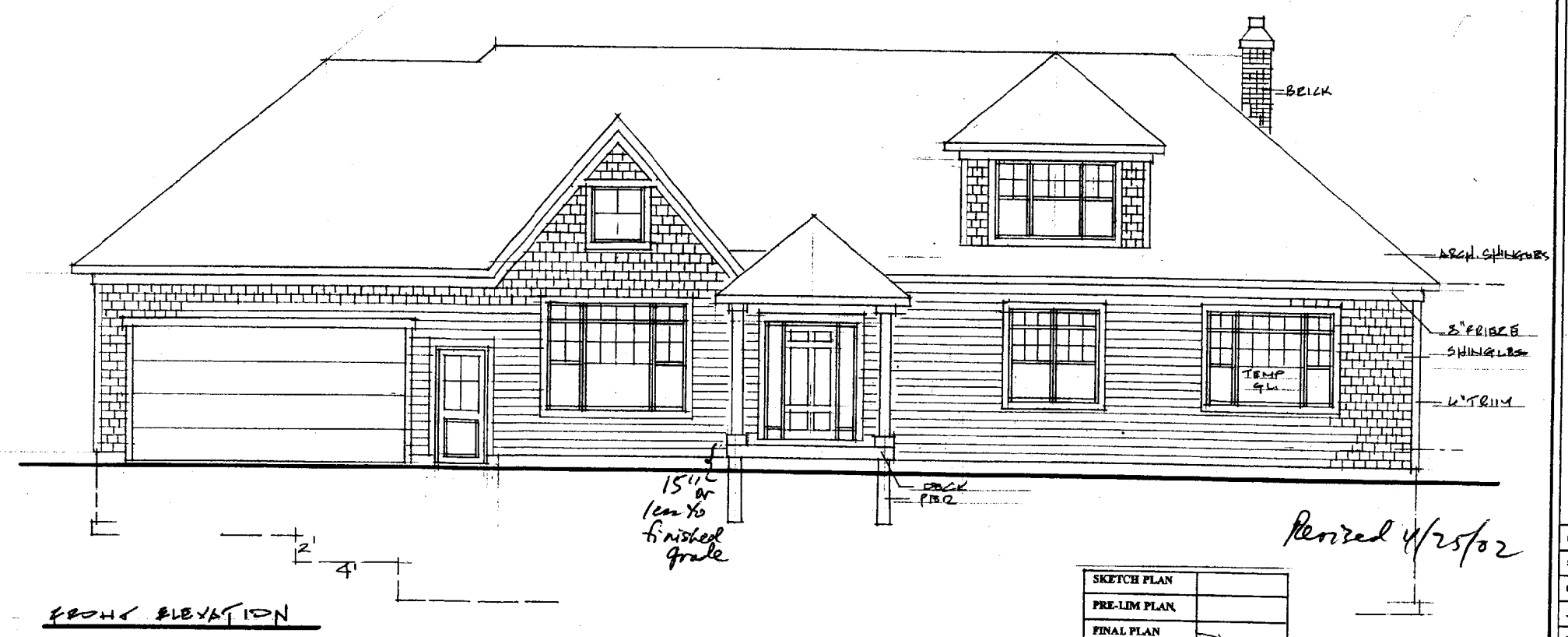
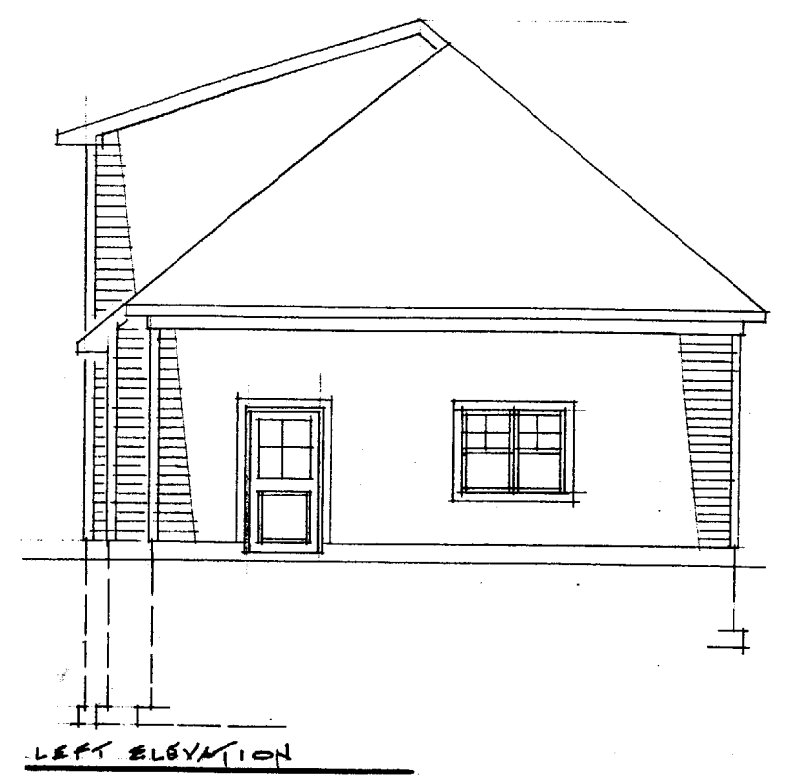
FLOOR PLAN

LOT 11, THE PINES  
 DEVELOPER: GREG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 35 PATERIDGE ROAD, PO BOX 51, WINDHAM, ME 04903 897-3640

Date  
 Scale 1/4"  
 Drawn  
 Job  
 Sheet 5  
 Roof  
 Of Sheets

- GENERAL NOTES**
- Plans are designed to comply with the 1999 BOCA code. Compliance with other codes and ordinances shall be the responsibility of the general contractor.
  - All site, mechanical, electrical and utility design shall be by others.
  - Unless otherwise certified on the plans, all structural beams, columns and frame members shall be verified by a structural engineer.
  - Contractor shall consult kitchen / bath millwork plans for framing around adjacent walls.
  - Contractor shall verify all dimensions prior to construction.
  - Contractor shall insure that fireplace/chimney construction conforms to the latest NFPA ch. 211 standards.
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REVISIONS	BY



SKETCH PLAN	
PRE-LIM PLAN	
FINAL PLAN	
RELEASED FOR CONSTRUCTION	

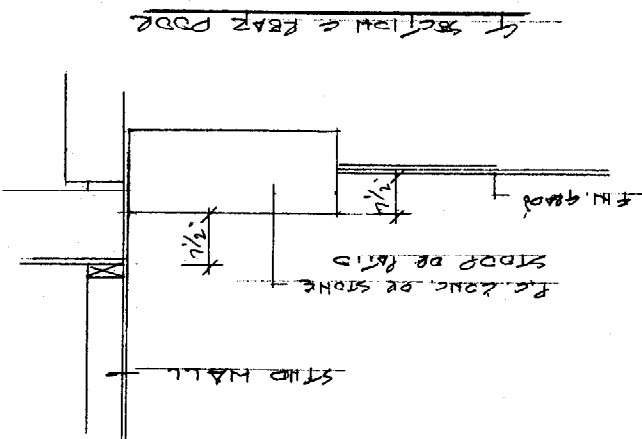
LOT 11, THE PINES  
 DEVELOPER: GREG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 35 PARTRIDGE ROAD, PO BOX 251, WINDEHAM, ME 04092 893-2649

Date	
Scale	1/4"
Drawn	
Job	
Sheet	1
ELEVATIONS	
Of	Sheets

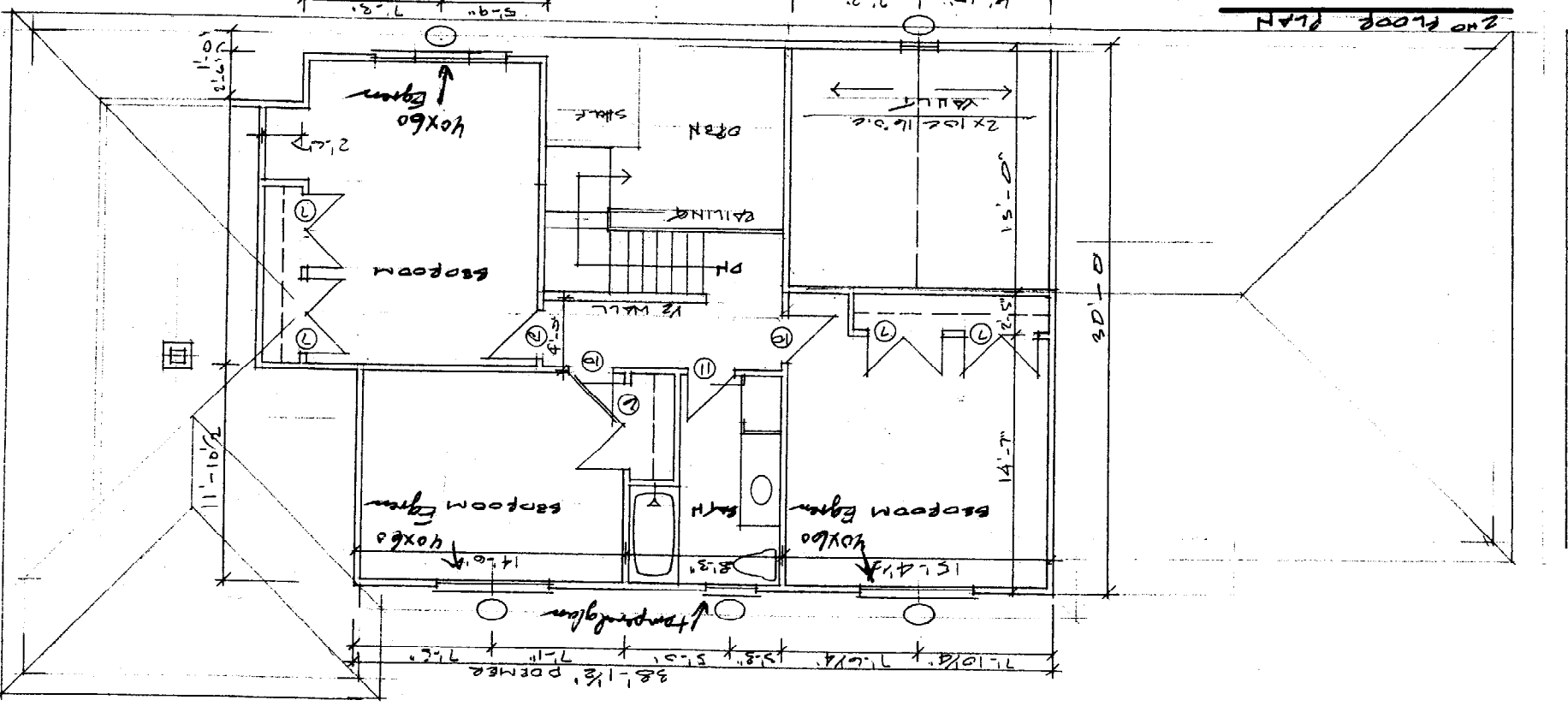
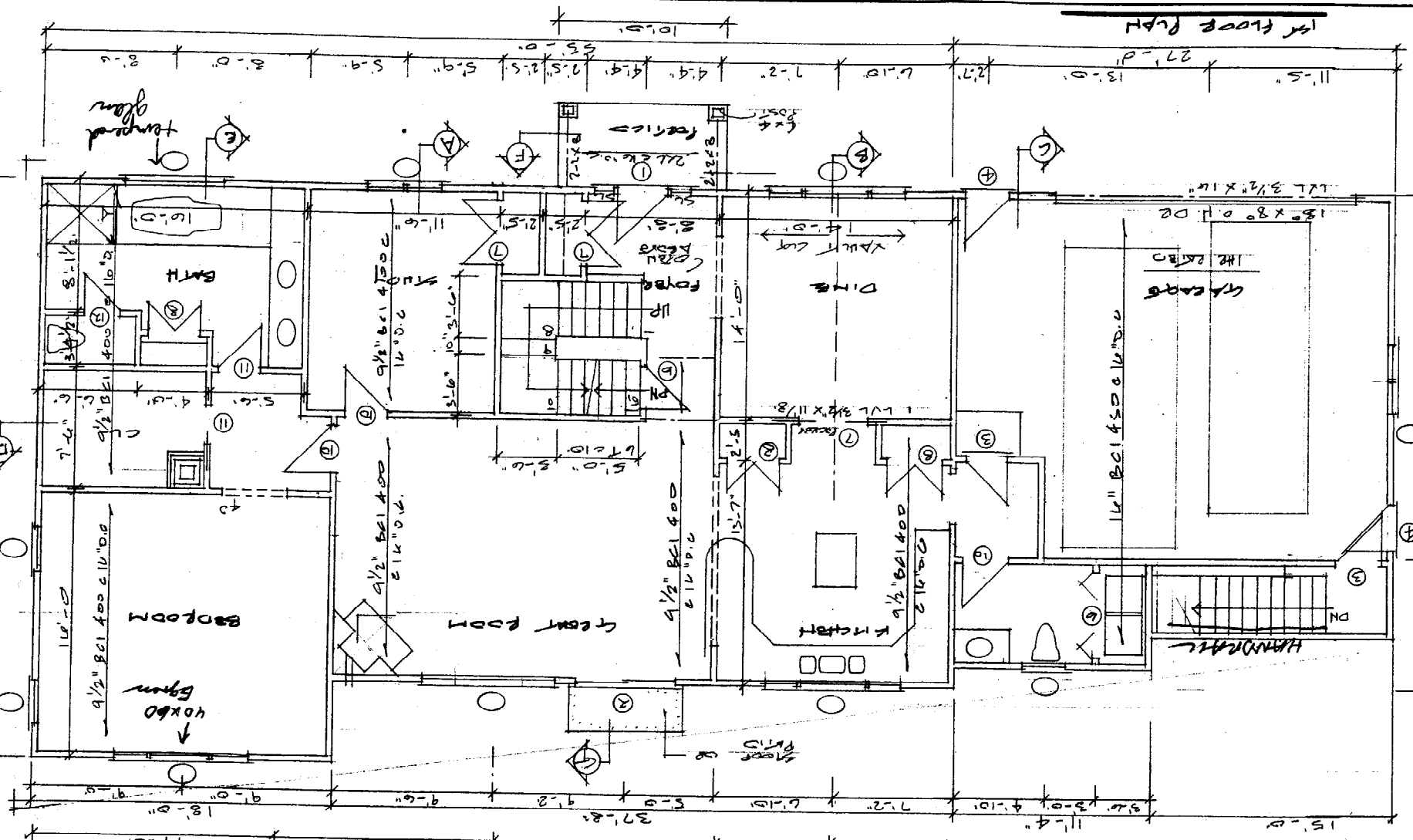
*Revised 4/25/02*

1	3'0" x 6'8"	EXTERIOR
2	6'0" x 6'8"	EXTERIOR
3	2'8" x 6'8"	WIDE HALL
4	2'8" x 6'8"	EXTERIOR
5	6'0" x 6'8"	EXTERIOR
6	5'0" x 6'8"	EXTERIOR
7	4'0" x 6'8"	EXTERIOR
8	3'0" x 6'8"	EXTERIOR
9	2'8" x 6'8"	EXTERIOR
10	2'6" x 6'8"	EXTERIOR
11	2'4" x 6'8"	EXTERIOR
12	2'0" x 6'8"	EXTERIOR
13	1'6" x 6'8"	EXTERIOR
14	1'3" x 6'8"	EXTERIOR
15	1'0" x 6'8"	EXTERIOR
16		
17		
18		

DOOR SCHEDULE



Section & Frame Door



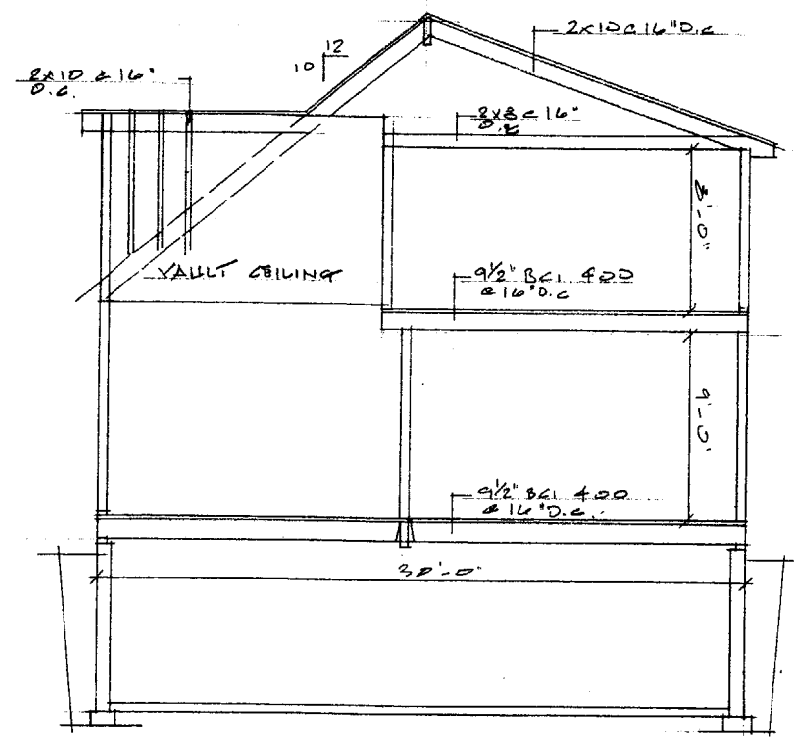
Of Sheets  
Sheet 2  
Job  
Date  
Scale 1/4"

LOT 11, THE PINES  
DEVELOPER: GREG MCCORMACK  
PLANNING / DESIGN ASSOCIATES  
35 PANTRIDGE ROAD, PO BOX 51, WINDHAM, N.H. 03083 603-3266

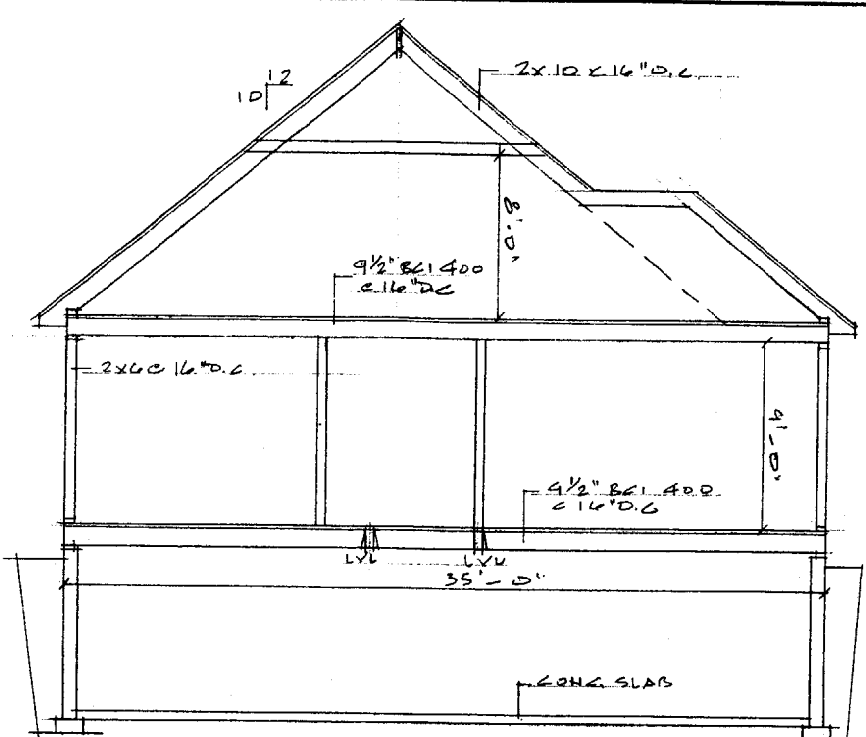
REVISIONS BY



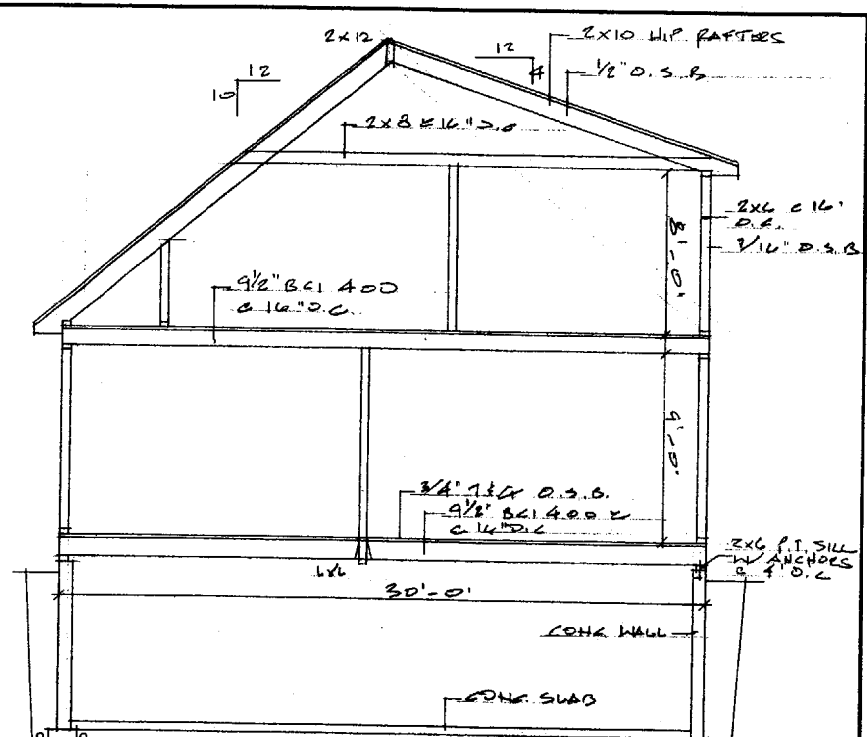
REVISIONS	BY



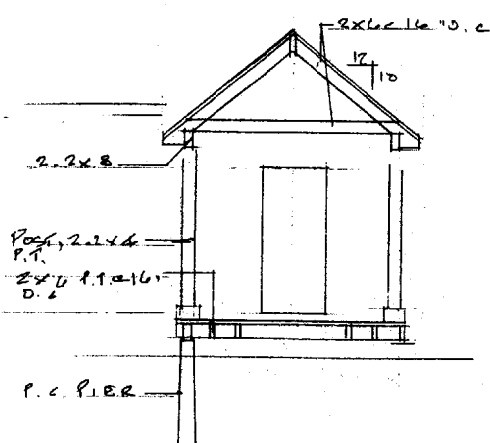
**'B' SECTION**



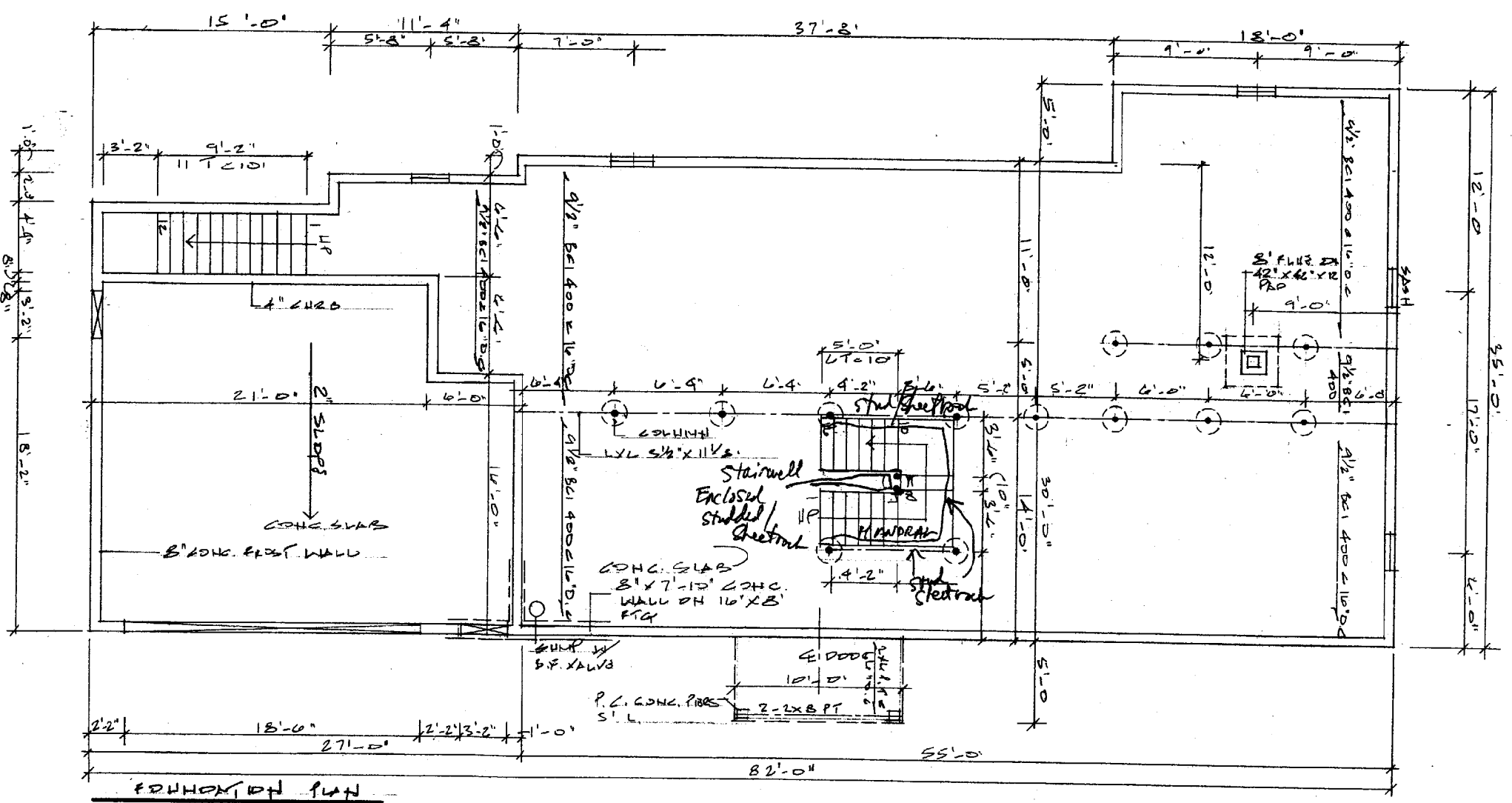
**'E' SECTION**



**'A' SECTION**



**'F' SECTION**



**FOUNDATION PLAN**

**FRAME SPECIFICATIONS**

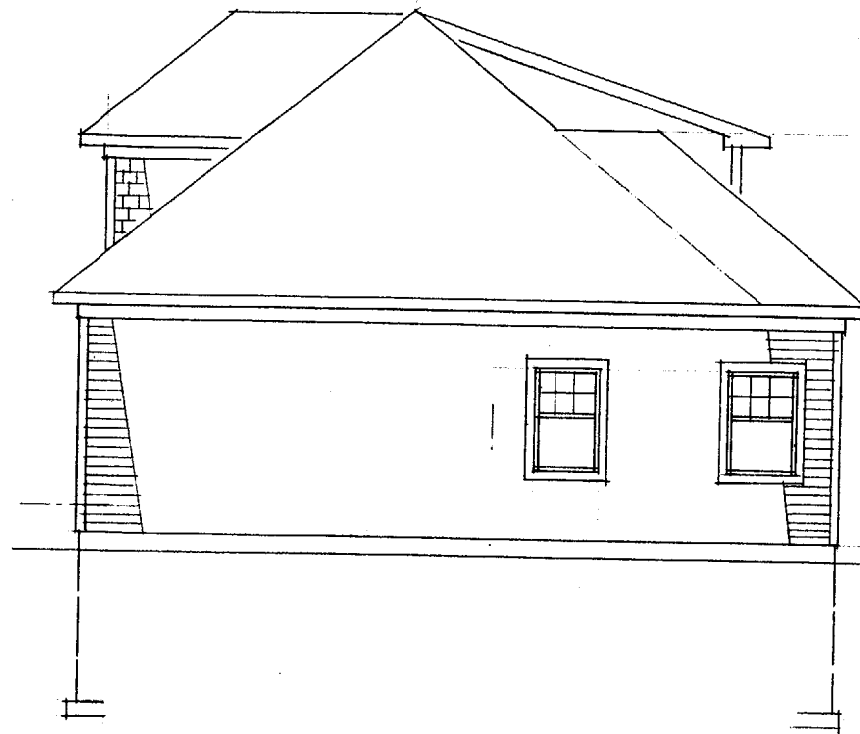
- FLOOR SYSTEM**
  - JOISTS AS INDICATED
  - BRIDGING AT CENTER
  - 2X6 FT SILL W/ SEALER
  - SUBFLOOR AS INDICATED
- EXTERIOR WALLS**
  - 2X6 STUDS AS INDICATED
  - SHEATHING AS INDICATED
  - AIR INFILTRATION WRAP
  - VAPOR BARRIER
  - SIDING/FINISH AS INDICATED
- INTERIOR WALLS**
  - 2X4 STUDS AT 16" OC
  - GYPSOBOARD AS INDICATED
- ROOF SYSTEM**
  - RAFTERS/ TRUSSES AS INDICATED
  - SHEATHING AS INDICATED
  - 15# UNDERLAYMENT
  - ICE SHIELD AT EAVES/VALLEYS
  - 215# SHINGLES AS INDICATED
- INSULATION**
  - EXTERIOR WALLS-R19
  - ATTIC CAP-R18
  - SILLS-R19
  - FROST WALL-2" RIGID
- VENTILATION**
  - SOFFIT- 2" CONT. STRIP
  - RIDGES-CONT. SHINGLE
  - CIRCULATION VENTS BETWEEN RAFTERS/TRUSSES
- BEAMS/HEADERS**
  - 3-2X6 MAX. 40' SPAN
  - 3-2X8 MAX. 80' SPAN
  - BEAMS AS INDICATED
  - MIN 4" BEARING ALL BEAMS
- INTERIOR FINISHES**
  - 1/2" GYPSOBOARD OR AS INDICATED-WALLS/CEILING
  - FLOORING AS INDICATED
  - PAINT/STAIN AS INDICATED

**FOUNDATION SPECIFICATIONS**

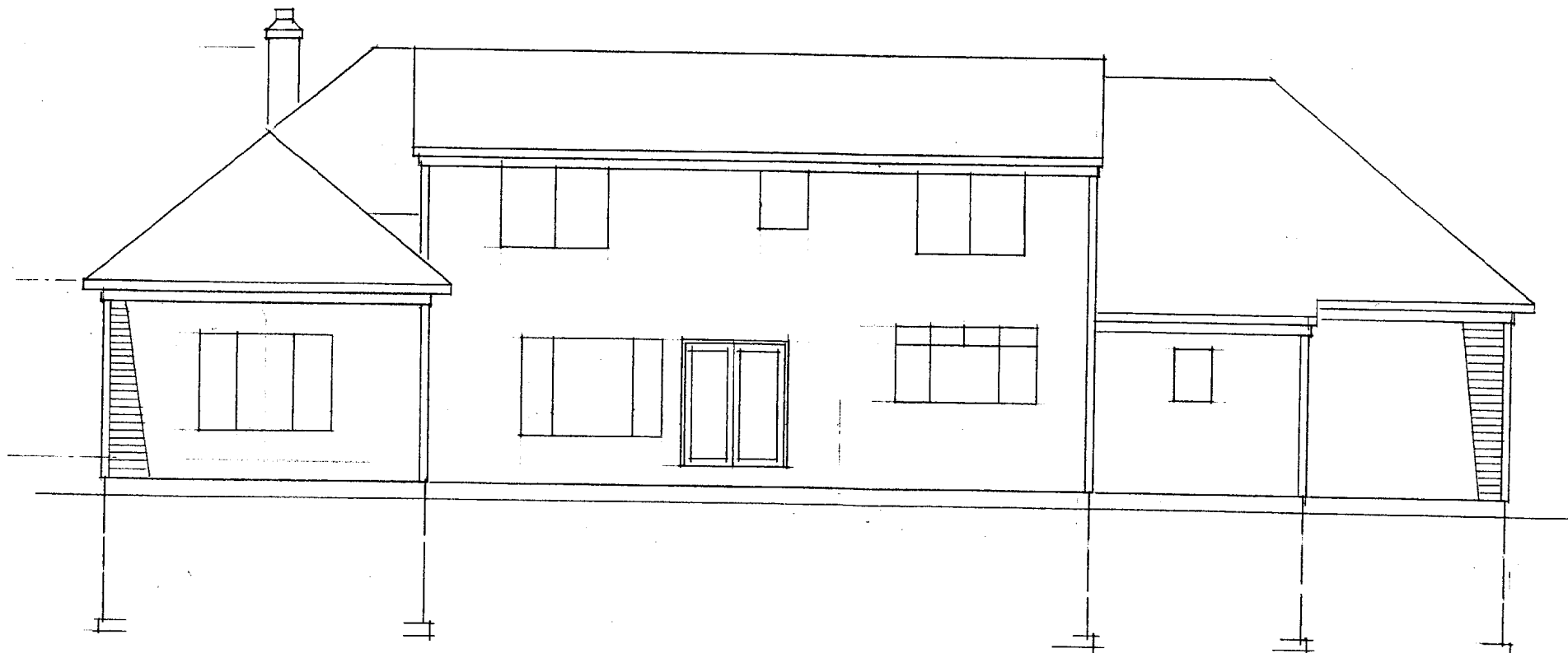
- CONCRETE WALLS AS INDICATED ON CONT.
- KEYED FOOTING
- ANCHORS AT CORNERS AND 4" OC
- CONCRETE-2500 PSI AT FOOTINGS
- 3000 PSI AT WALLS
- SOIL BEARING-2500 PSF
- ALL FOOTINGS TO FROST DEPTH
- 3 1/2" STEEL LALLY COLUMNS
- ON 14"x24"x12" FOOTINGS
- 4" CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON 8" MIN. GRAN. FILL
- 4" DIA. PERFORATED UNDERDRAIN PIPES BOTH SIDES OF WALL TO SUMP OR DAYLIGHT GRAVITY
- 4" DIA. PERFORATED RADON PIPES UNDER SLAB AT 20" MAX. OC. CONNECT TO UNDERDRAINS. PROVIDE STUBS AT 40" MAX. OC
- CONTROL JOINTS AT MAX. 30' OC WALLS AND SLABS
- ASPHALT PAINT EXTERIOR WALLS TO GRADE

**LOT 11, THE PINES**  
 DEVELOPER: GREG MCCORMACK  
 PLANNING/DESIGN ASSOCIATES  
 35 PARTING ROAD, PO BOX 351, WETHELM, ME 04662 895-3648

Date	
Scale	1" = 4'
Drawn	
Job	
Sheet	4
STRUCTURAL	
Of	Sheets



RIGHT ELEVATION



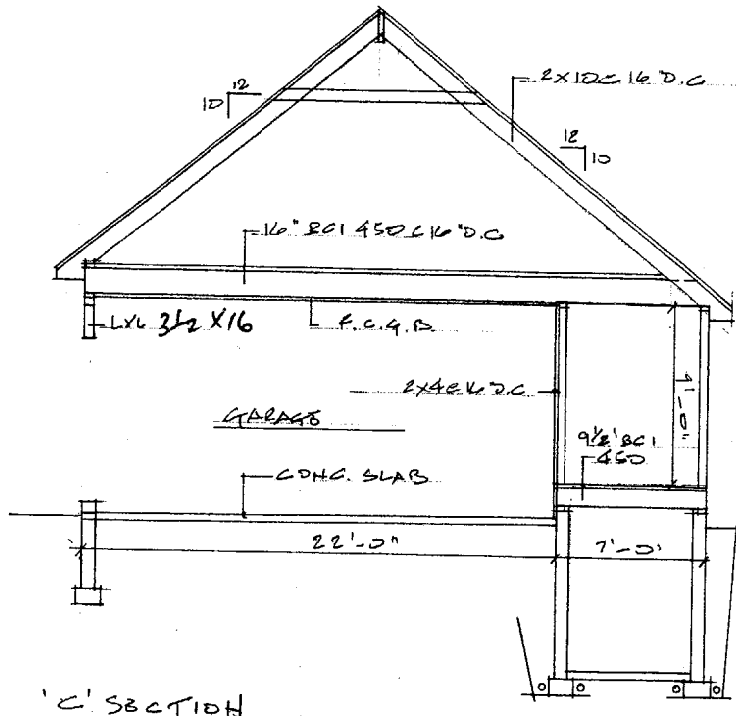
REAR ELEVATION

REVISIONS	BY

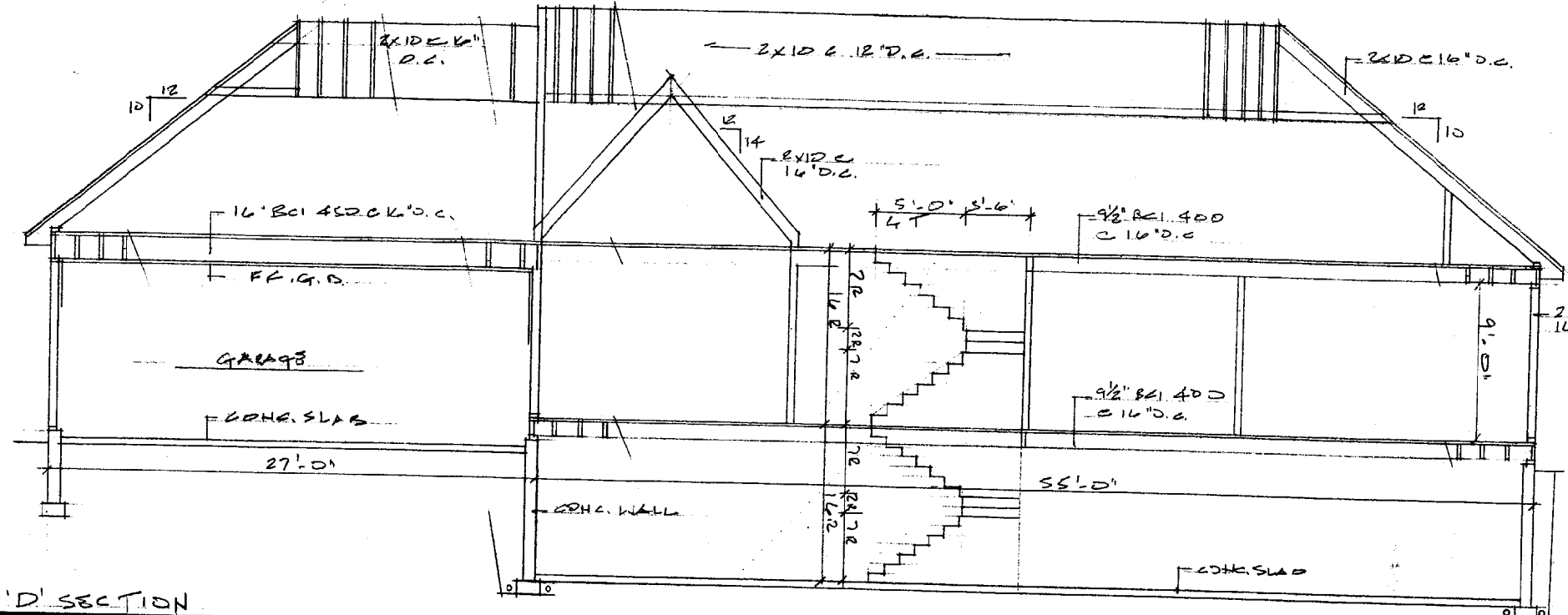
LOT 11, THE PINES  
 DEVELOPER: GREG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 35 PARTRIDGE ROAD, PO BOX 531, WINDHAM, NH 03093 897-5440

Date
Scale
Drawn
Job
Sheet 2
ELEVATIONS
Of Sheets

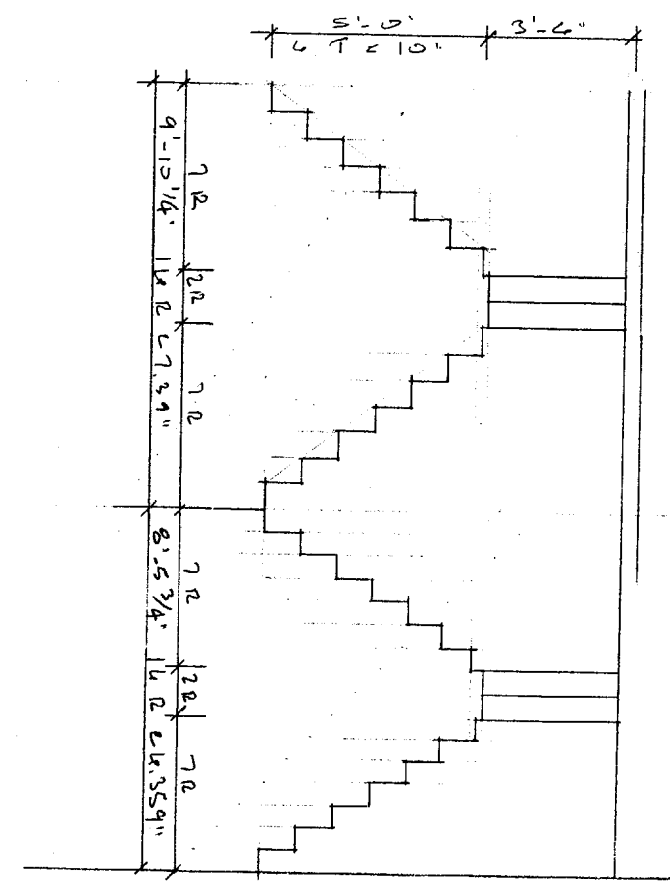
REVISIONS	BY



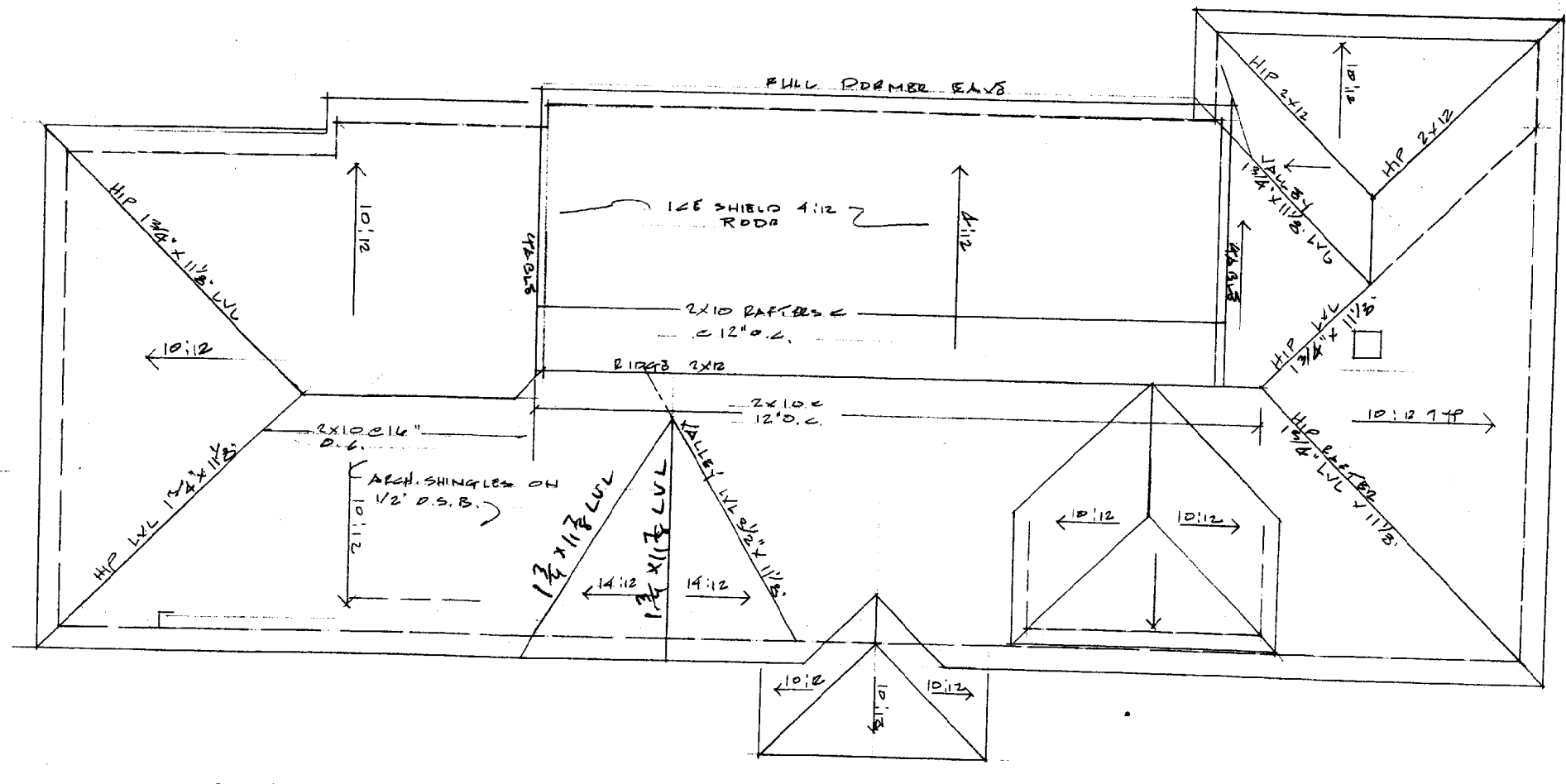
'C' SECTION



'D' SECTION



SECTION OF STAIRS



FLOOR PLAN

LOT 11, THE PINES  
 DEVELOPER: GREG MCCORMACK  
 PLANNING / DESIGN ASSOCIATES  
 35 PARTRIDGE ROAD, PO BOX 251, WINDHAM, ME 04093 893-2640  
 Date  
 Scale 1/4"  
 Drawn  
 Job  
 Sheet 5  
 ROOF  
 Of Sheets