

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMIT

PERMIT ISSUED

Please Read Application And Notes, if Any, Attached

Permit Number: 100171

MAR 26 2010

This is to certify that Madd, LLC/Len Anderson/Madd, LLC/Anderson
has permission to New 4 bedroom, 3.5 bath Colonial Single Family w/2 car garage
AT 39 LIBERTY WAY City of Portland
CB 405ADD010001

provided that the person or persons, firm or corporation acquiring this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Janne Bourke 3/24/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0171	Issue Date:	CBL: 405ADD010001
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Location of Construction: 39 LIBERTY WAY	Owner Name: Madd, LLC / Len Anderson	Owner Address: 543 Allen Ave	Phone: 207-233-1715
Business Name:	Contractor Name: Madd, LLC / Len Anderson	Contractor Address: 543 Allen Ave Portland	Phone: 2072331715
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family Home - 4 bedroom, 3.5 bath Colonial Single Family w/ 2 car garage	Permit Fee: \$2,035.00	Cost of Work: \$194,000.00	CEO District: 4
Proposed Project Description: New 4 bedroom, 3.5 bath Colonial Single Family w/ 2 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRL-2003 Signature: JMB 3/24/10	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 02/24/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>per 12-ZenX</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2010-0003</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/conditions</i> Date: <i>2/25/10 ABM</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
	<p>PERMIT ISSUED</p> <p>MAR 26 2010</p>		

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0171	Date Applied For: 02/24/2010	CBL: 405ADD010001
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Location of Construction: 39 LIBERTY WAY	Owner Name: Madd, LLC / Len Anderson	Owner Address: 543 Allen Ave	Phone: 207-233-1715
Business Name:	Contractor Name: Madd, LLC / Len Anderson	Contractor Address: 543 Allen Ave Portland	Phone: (207) 233-1715
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - 4 bedroom, 3.5 bath Colonial Single Family w/ 2 car garage	Proposed Project Description: New 4 bedroom, 3.5 bath Colonial Single Family w/ 2 car garage
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 02/25/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		
<ol style="list-style-type: none"> The basement is NOT approved as habitable space as 2nd stair (egress) goes directly into the garage. A separate permit is required showing code compliance for occupancy of this space. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process. Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery. 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 03/24/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone, or wetlands. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) 			

Location of Construction: 39 LIBERTY WAY	Owner Name: Madd, LLC / Len Anderson	Owner Address: 543 Allen Ave	Phone: 207-233-1715
Business Name:	Contractor Name: Madd, LLC / Len Anderson	Contractor Address: 543 Allen Ave Portland	Phone: (207) 233-1715
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

3/19/2010-jmb: Left vmsg for Dan A. For review items on the checklist. Dan called and he will submit the details as noted on the review checklist

3/22/2010-jmb: Dan A. Submitted the specs on the engineered beams and the plan sheet for the other details. Left Dann A. A vmsg about the occupancy of the basement being restricted due to the non-compliant egress. The 2nd egress is the stair into the garage, which is not allowed. Ok to issue pending planning approval.

3/24/2010-amachado: Received revised siteplan from Phil. No changes to zoning.

3/24/2010-jmb: Received email from DRC for approval

39 Liberty Way 405A D D 010

10-0171

3/17/10

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) <i>maybe some ledge.</i>		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	7 '	OK (1)
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	7 '	OK (2)
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A basement egress access thru garage -	OK
Anchor Bolts/Straps, spacing (Section R403.1.6)	7 '	OK (3)
Lally Column Type (Section R407)	3 1/2 conc/steel	OK
Girder & Header Spans (Table R 502.5(2))	7 = 0	OK
Built-Up Wood Center Girder Dimension/Type	5 1/4 x 9 1/4 parallel	Condition OK
Sill/Band Joist Type & Dimensions	2x10 - 2x6 PT.	OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" oc @ 14'	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" oc. @ 14' Garage open ft trusses 16" oc. @ 26'	OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Truss @ 24" O.C.	OK

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8'12 Truss @ 24'OC. H Clips / 12'12 + 4.39'12	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4" + 4G, ^{Contr.} Specs, 5/8"	OK
Fastener Schedule (Table R602.3(1) & (2))	Per IRC -	OK
Private Garage (Section R309) Living Space? (Above or beside)		
Fire separation (Section R309.2)	5/8" all around	OK
Opening Protection (Section R309.1)	Fire Door	
Emergency Escape and Rescue Openings (Section R310)	All Bedrooms Egress	OK
Roof Covering (Chapter 9)	Asphalt	OK
Safety Glazing (Section R308)	Shown - not required in Bales	OK
Attic Access (Section R807)	22x32	OK
Chimney Clearances/Fire Blocking (Chap. 10)	N/A looks like FP insert HVAC Specs.	OK
Header Schedule (Section 502.5(1) & (2))	170 Int load bearing 2-3 1/2 x 9 1/2 7 over pocket doors 2nd Floor any beam	Condition OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19, R-21, R 38 Windows .31	OK

Type of Heating System	? FHW (Propane)	Baxi Luna	(S)
Means of Egress (Sec R311 & R312) Basement	Yes - but through garage not habitable w/o	direct to outside	(S)
Number of Stairways	4		
Interior	3		
Exterior	1		
Treads and Risers (Section R311.5.3)	7 ⁹ / ₁₆ " , 7 ¹ / ₄ "		
Width (Section R311.5.1)	3'8"		
Headroom (Section R311.5.2)	6'8"		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	34" - 38" continuous		
Smoke Detectors (Section R313) Location and type/Interconnected	Per code shown	condition	
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	N/A		
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A		
Deck Construction (Section R502.2.1)	N/A stairs to grade - no detail guards etc -		OK (S)

guards etc -

Jeanie Bourke - 39 Liberty Way - Site Plan Review

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 3/24/2010 9:47 AM
Subject: 39 Liberty Way - Site Plan Review

Hi all, this project meets minimum DRC site plan requirements for the issuance of a building permit. Please see UI for sign off.

Thanks.

phil



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>39 Liberty Way</u>		
Total Square Footage of Proposed Structure/Area <u>2484 SF</u>	Square Footage of Lot <u>9611 SF</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>405A</u> Block# <u>DD</u> Lot# <u>10</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Madd LLC/Len Anderson</u> Address <u>543 Allen Ave.</u> City, State & Zip <u>Portland, Me 04103</u>	Telephone: <u>207-233-1715</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>194,000</u> C of O Fee: \$ <u>75</u> + Site <u>300</u> Total Fee: \$ <u>2335</u>
Current legal use (i.e. single family) <u>Vacant land</u> Number of Residential Units <u>1</u>		
If vacant, what was the previous use? <u>Vacant Land</u>		
Proposed Specific use: <u>New Single family home</u>		
Is property part of a subdivision? <u>Yes</u> If yes, please name <u>The pines</u>		
Project description: <u>New single family home with 4 Bedrooms and 3.5 Baths. A 2 car attached garage. Home to be built is a colonial.</u>		
Contractor's name: <u>Len Anderson</u>		
Address: <u>543 Allen Ave.</u>		
City, State & Zip <u>Portland, Maine 04103</u>		Telephone: <u>233-1715</u>
Who should we contact when the permit is ready: <u>Len Anderson</u>		Telephone: <u>233-1715</u>
Mailing address: <u>543 Allen Ave. Portland, Maine 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
FEB 24 2010
Inspections Division

Signature: [Signature] Date: 2/24/10

This is not a permit; you may not commence ANY work until the permit is issue

Applicant: ~~39 Liberty Way~~ MADD, LLC (Len Anderson) Date: 2/25/10

Address: 39 Liberty Way C-B-I: 405A DD 010
permit # 10-0171

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new single family

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build 2 story 28' x 32' single family home w/ 26' x 26' garage (attached)

Sewage Disposal - city

Lot Street Frontage - 50' min. - 100' scaled.

Front Yard - 25' min. - 25' to step (OK)

Rear Yard - 25' min. - 26' to corner (OK) - 24.5' steps - ok section 14-425 - $7.33 \times 2.5 = 18.325$ < 50' - extend 2.5' < 6'

Side Yard - 2 stories, - min - 14' - 15' 6" on right
26.4' on left

Projections - porch 6' x 32' step, 7' x 1'; 5' x 28' chimney; rear steps, 7.33' x 2.5'

Width of Lot - 65' min. - 100' scaled.

Height - 35' max. - 24' scaled.

Lot Area - 6500 sq ft min. - 9611 sq ft

Lot Coverage Impervious Surface - 35% = 3363.85 sq ft

Area per Family - 6500 sq ft (OK)

Off-street Parking - 2 spaces required - 5 spaces 22' x 22' (OK)

Loading Bays - N/A

Site Plan - minor minor 2010-2003

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - zone X

28 x 32 = 896
6 x 32 = 192
22 x 26 = 572
4' x 23' = 92
1 x 7 = 7
5 x 2 = 10
7.33 x 2.5 = 18.325

1787.325 OK

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2010-0003

Application I. D. Number

Marge Schmuckal

2/24/2010

Application Date

Madd Lic

Applicant

543 Allen Ave , Portland , ME 04103

Applicant's Mailing Address

Len Anderson

Consultant/Agent

Agent Ph: (207)233-1715

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

39 - 39 Liberty Way, Portland, Maine

Address of Proposed Site

405ADD010001

Assessor's Reference: Chart-Block-Lot

Single Family Home

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
---	-----------------	---	--------

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoresland | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 2/24/2010

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that **DWIGHT P. BAKER** of Portland, Maine, for consideration paid, grant to **MADD, LLC**, a Maine limited liability company with a place of business in Portland, Maine, and a mailing address of 543 Allen Avenue, Portland, Maine 04103, with **WARRANTY COVENANTS**, the land in Portland, County of Cumberland and State of Maine, bounded and described as follows:

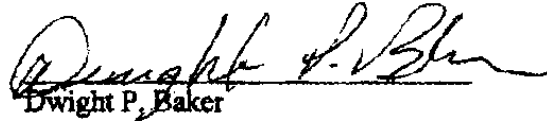
A certain lot or parcel of land with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, and being Lot #10 as shown on plan entitled "The Pines of Portland, Maine" made for The Pines of Portland, Inc. by Survey, Inc., dated July, 1999 and recorded in the Cumberland County Registry of Deeds in Plan Book 200, Pages 19 and 20 as revised by plan entitled "The Pines Section II" recorded May 3, 2000 at said Registry of Deeds in Plan Book 200, Page 206.

Being the same premises conveyed to the Grantor herein by Deed from The Pines of Portland, Inc. dated February 2, 2001 and recorded in the Cumberland County Registry of Deeds in Book 16002, Page 212.

MAINE REAL ESTATE TAX PAID

IN WITNESS WHEREOF, the said Dwight P. Baker has set his hand this 29 day of January, 2010.



Witness


Dwight P. Baker

STATE OF MAINE
COUNTY OF CUMBERLAND

January 29, 2010

Then personally appeared before me the above named Dwight P. Baker, and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Notary Public/Attorney-at-Law

Thomas Jenev
Printed name of person taking
acknowledgment

Received
Recorded Register of Deeds
Feb 02 2010 03:57:40P
Cumberland County
Pamela E. Lovie

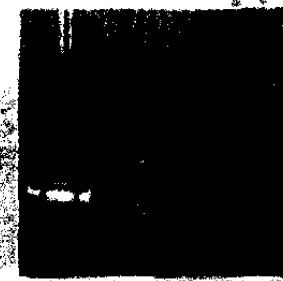
ENGINEERED WOOD PRODUCTS

35111

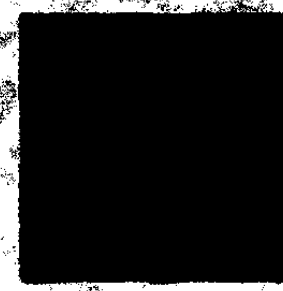
VED

2.2.2010

2010-02-22



USER'S GUIDE



TECHNICAL DATA
FOR CPI, NORDIC,
NASCOR & OPEN JOINTS
AND
CP-LAM, ROXBORO
HEADERS & BEAMS



Be independent of the dealer we supply

2.0E CP-LAM DESIGN PROPERTIES

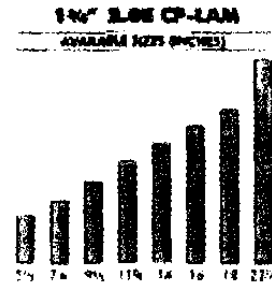
ALLOWABLE DESIGN PROPERTIES - 1 1/2" 2.0E CP-LAM

Depth	Maximum Vertical Shear (lbs)			Maximum Bending Moment (ft-lbs)			ES (x 10 ³ lbs-in ²)	Weight (pcf)
	100%	115%	125%	100%	115%	125%		
5 1/2"	1829	2100	2266	2664	3064	3230	49	2.50
7 1/2"	2411	2775	3012	4380	5037	5475	111	3.30
9 1/2"	3159	3653	3948	7123	8184	8907	250	4.22
11 1/2"	3945	4541	4936	10647	12245	13309	486	5.40
14"	4635	5353	5819	14390	16468	17908	800	6.26
16"	5326	6178	6650	18210	20942	22763	1197	7.77
18"	5985	6983	7481	22111	25888	28139	1701	8.18
20"	6738	7929	8523	26128	30043	32734	2369	10.81

2.0E CP-LAM Allowable Design Stresses

Modulus of Elasticity	E = 2,000,000 psi ²
Bending	F _b = 3,100 psi ²
Horizontal Shear (joints)	F _v = 285 psi
Compression Perpendicular to Grain (joist)	F _{c⊥} = 850 psi ²
Compression Parallel to Grain	F _c = 2,750 psi

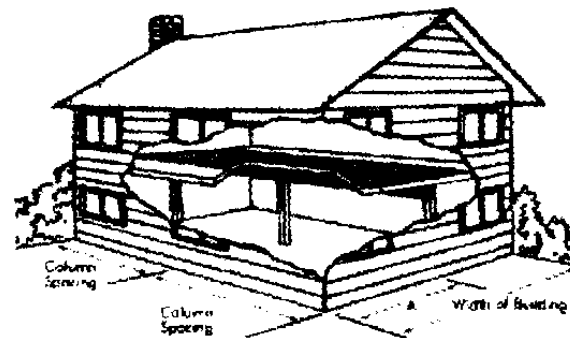
- These allowable design stresses apply to dry service conditions.
- No increase is allowed for load duration.
- Multiply by $(12/d)^{1/4}$ where d = depth of member (in).
- A factor of 1.04 may be applied for repetitive members as defined in the National Design Specification³ for Wood Construction.



For additional grades and sizes, please visit our Web site at www.coastalforestproducts.com

2.0E CP-LAM FLOOR BEAMS

This table provides CP-LAM beam sizes for center support of one level of floor framing over various column spacings. Where floor joists are continuous over the beam, this table applies only when the "A" span is between 45% and 55% of the building width.



1 1/2" x 2.0E CP-LAM

Width of Building (ft)	Column Spacing									
	11'	12'	13'	14'	15'	16'	17'	18'	19'	20'
20'	2 - 11 1/2"	2 - 11 1/2"	2 - 11 1/2"	2 - 14"	2 - 14"	2 - 16"	2 - 16"	2 - 16"	2 - 18"	2 - 18"
22'	3 - 9 1/2"	3 - 9 1/2"	3 - 11 1/2"	3 - 11 1/2"	3 - 14"	3 - 14"	3 - 14"	3 - 16"	3 - 16"	3 - 18"
24'	3 - 9 1/2"	3 - 11 1/2"	3 - 11 1/2"	3 - 14"	3 - 14"	3 - 16"	3 - 16"	3 - 18"	3 - 18"	3 - 18"
26'	3 - 11 1/2"	3 - 11 1/2"	3 - 14"	3 - 14"	3 - 16"	3 - 16"	3 - 18"	3 - 18"	3 - 18"	3 - 18"
28'	3 - 11 1/2"	3 - 14"	3 - 14"	3 - 16"	3 - 16"	3 - 18"	3 - 18"	3 - 18"	3 - 18"	3 - 18"
30'	3 - 14"	3 - 14"	3 - 16"	3 - 16"	3 - 18"	3 - 18"	3 - 18"	3 - 18"	3 - 18"	3 - 18"

SEE NOTE 3

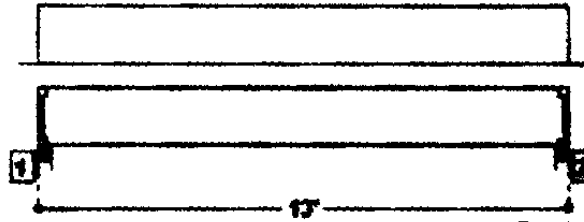
Notes:

- CP-LAM beam sizes are listed as the number of 1 1/2" thick pieces by the beam depth, e.g. 2 - 9 1/2" indicates two 1 1/2" pieces by 9 1/2" deep.
- All CP-LAM beams require support across their full width.
- The minimum required end and intermediate bearing lengths (based on 850 psi) are 3" and 2 1/2" respectively unless the symbol shows a bearing length. 4" and 3 1/2" end and intermediate bearing lengths are required.
- CP-LAM beam sizes are based on residential floor loading of 40 psf live load and 10 psf dead load. The roof framing must be trusses supported at the exterior walls only.
- Deflection is limited to L/360 at live load and L/240 at total load.
- CP-LAM beam sizes are based on continuous floor joist spans and simple or continuous beam spans. If the floor joists are not continuous, it is permissible to consider a "Width of Building" dimension that is equal to 0.8 times the actual width of the building.

C P - L A M 2.0E DESIGN PROPERTIES & FLOOR BEAMS

5 1/4" x 9 1/2" 2.0E Parallam® PSL

THIS PRODUCT MEETS OR EXCEEDS THE SET DESIGN CONTROLS FOR THE APPLICATION AND LOADS LISTED



Product Diagram is Conceptual.

LOADS:

Analysis is for a Drop Beam Member. Tributary Load Width: 13'
 Primary Load Group - Residential - Living Areas (pdf): 40.0 Live at 100 % duration, 12.0 Dead

SUPPORTS:

	Input	Bearing	Vertical Reactions (lbs)	Detail	Other	
	Width	Length	Live/Dead/Up/RT/Total			
1	Stud wall	3.50"	2.01"	3380 / 1115 / 0 / 4495	L1: Blocking	1 Ply 1 1/4" x 9 1/2" 1.3E TimberStrand® LSL
2	Stud wall	3.50"	2.01"	3380 / 1115 / 0 / 4495	L1: Blocking	1 Ply 1 1/4" x 9 1/2" 1.3E TimberStrand® LSL

-See iLevel® Specifier's/Builder's Guide for detail(s): L1: Blocking

DESIGN CONTROLS:

	Maximum	Design	Control	Result	Location
Shear (lbs)	4380	-3746	9843	Passed (39%)	Rt. end Span 1 under Floor loading
Moment (Ft-Lbs)	13870	13870	18565	Passed (71%)	MID Span 1 under Floor loading
Live Load Defl (in)		0.428	0.422	Passed (L/357)	MID Span 1 under Floor loading
Total Load Defl (in)		0.566	0.633	Passed (L/269)	MID Span 1 under Floor loading

-Deflection Criteria: STANDARD(LL:L/360,TL:L/240).

-Bracing(Lu): All compression edges (top and bottom) must be braced at 13' o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.

ADDITIONAL NOTES:

-IMPORTANT! The analysis presented is output from software developed by iLevel®. iLevel® warrants the sizing of its products by this software will be accomplished in accordance with iLevel® product design criteria and code accepted design values. The specific product application, input design loads, and stated dimensions have been provided by the software user. This output has not been reviewed by an iLevel® Associate.

-Not all products are readily available. Check with your supplier or iLevel® technical representative for product availability.

-THIS ANALYSIS FOR iLevel® PRODUCTS ONLY! PRODUCT SUBSTITUTION VOIDS THIS ANALYSIS.

-Allowable Stress Design methodology was used for Building Code UBC analyzing the iLevel® Distribution product listed above.

PROJECT INFORMATION:

OPERATOR INFORMATION:

Rob Curtis
 Hillside Lumber Inc.
 781 County Rd.
 Westbrook, ME 04092
 Phone : (207) 838-2575
 Fax : (207) 775-3837
 rob.curtis@hillsideLumber.com



By Windows only:
 J-Beam® 6.20 Serial Number
 Jan: 1 10/30/2005
 Page 2 Engine Version: 6.20.14

5 1/4" x 9 1/2" 2.0E Parallam® PSL

THIS PRODUCT MEETS OR EXCEEDS THE SET DESIGN CONTROLS FOR THE APPLICATION AND LOADS LISTED

Load Group: Primary Load Group

	^ 12' 0.00' ^	
Max. Vertical Reaction Total (lbs)	4495	4495
Max. Vertical Reaction Live (lbs)	3380	3380
Required Bearing Length in	2.01(W)	2.01(W)
Max. Unbraced Length (in)	156	

Loading on all spans, LDF = 0.90 , 1.0 Dead

Shear at Support (lbs)	929	-929
Max Shear at Support (lbs)	1087	-1087
Member Reaction (lbs)	1087	1087
Support Reaction (lbs)	1115	1115
Moment (Ft-Lbs)	3441	

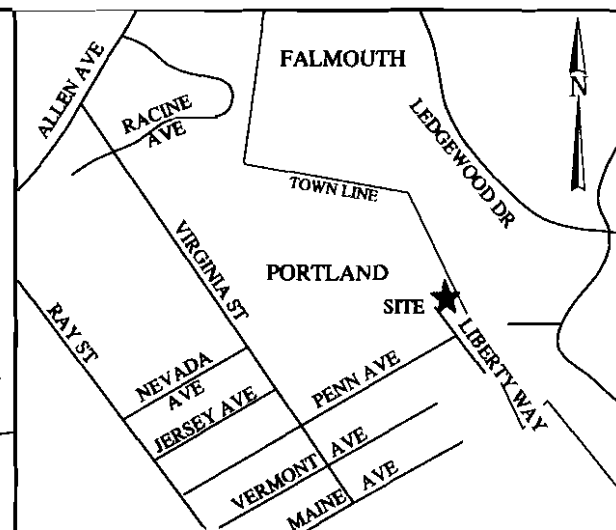
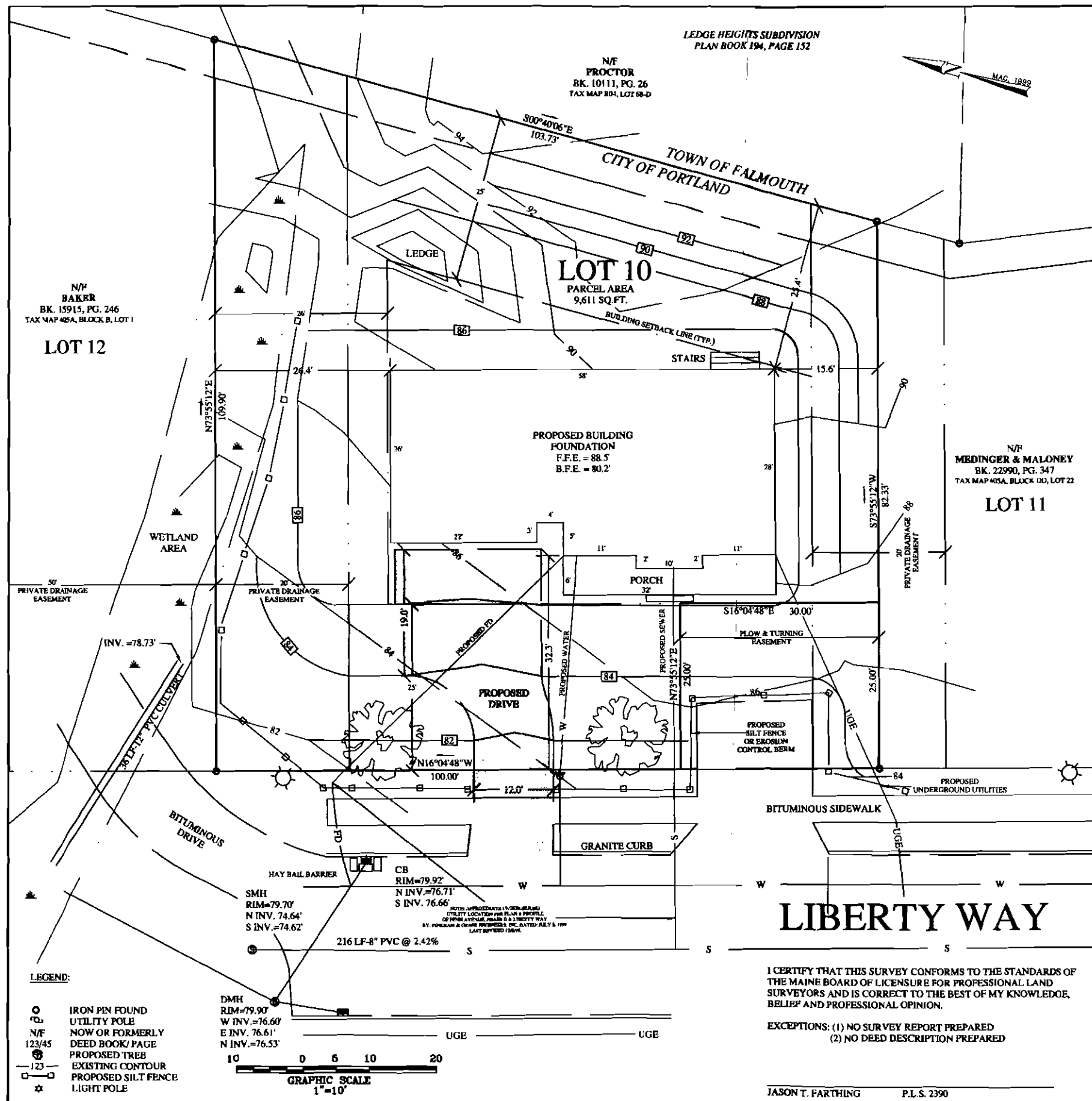
Loading on all spans, LDF = 1.00 , 1.0 Dead + 1.0 Floor

Shear at Support (lbs)	3746	-3746
Max Shear at Support (lbs)	4380	-4380
Member Reaction (lbs)	4380	4380
Support Reaction (lbs)	4495	4495
Moment (Ft-Lbs)	13870	
Live Deflection (in)	0.426	
Total Deflection (in)	0.566	

PROJECT INFORMATION:

OPERATOR INFORMATION:

Rob Curtis
 Hillside Lumber Inc.
 781 County Rd.
 Westbrook, ME 04092
 Phone : (207) 839-2575
 Fax : (207) 775-3537
 rob.curtis@hillsideLumber.com



NOTES:

- (1) PROPOSED SITE CHANGES TO LOT 10 OF "THE PINES, SECTION II, DATED APRIL 2000" APPROVED BY THE CITY OF PORTLAND. RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 206 (C.C.R.D.).
- (2) DEED REFERENCE: DEED BOOK 27571, PAGE 94 CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
- (3) TAX MAP REFERENCE: CITY OF PORTLAND TAX MAP 405A, BLOCK DD, LOT 10
- (4) ZONING DISTRICT: (R-3) (SEC. 14-90) DIMENSIONAL REQUIREMENTS
MINIMUM YARD SETBACKS
FRONT & REAR: 25'
SIDES:
1 STORY: 8'
1 1/2 STORIES: 8'
2 STORIES: 14'
2 1/2 STORIES: 16'
- (5) MINIMUM BUILDING FINISH FLOOR ELEVATIONS, AS DEPICTED ON PLAN BOOK 200, PAGE 206 (C.C.R.D.).
MIN. 1ST FLOOR ELEVATION 88.5'
MIN. BASEMENT GRADE 79.5'
- (6) BUILDING SETBACKS AND EXISTING TOPOGRAPHY PER PLAN BOOK 200, PAGE 206 (C.C.R.D.)
- (7) THE WETLANDS WILL NOT BE DISTURBED, GRADED, OR FILLED, AND THAT A VEGETATIVE BUFFER WILL BE MAINTAINED.
- (8) REVISION:
1. PROPOSED UTILITIES, CONTOURS & FINISH FLOORS - 03.02.10
WETLANDS, UGE, AND NOTE 7 - 03.16.10

SITE PLAN
LOT 10
39 LIBERTY WAY
PORTLAND, ME
FOR:
MADD, LLC.
543 ALLEN AVENUE
PORTLAND, ME 04103
(OWNER OF RECORD)

SURVEY BY: **SURVEY, INC.**
P.O. BOX 210
WINDHAM, ME 04062
(207) 892-2576 (207) 892-2577 FAX
INFO@SURVEYINCORPORATED.COM

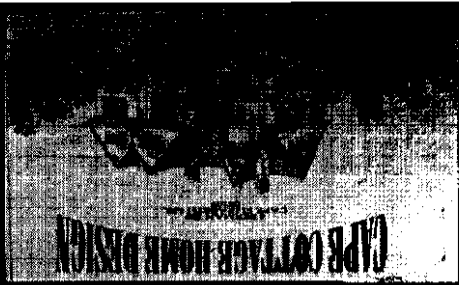
PLAN BY: MLC@SURVEY, INC.

DATE: FEBRUARY 16, 2010 **JOB NO.** 10-007

I CERTIFY THAT THIS SURVEY CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL OPINION.

EXCEPTIONS: (1) NO SURVEY REPORT PREPARED
(2) NO DEED DESCRIPTION PREPARED

JASON T. FARTHING P.L.S. 2390



THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FROM THE CONSTRUCTION OF THIS PROJECT. MATERIALS, DESIGN AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

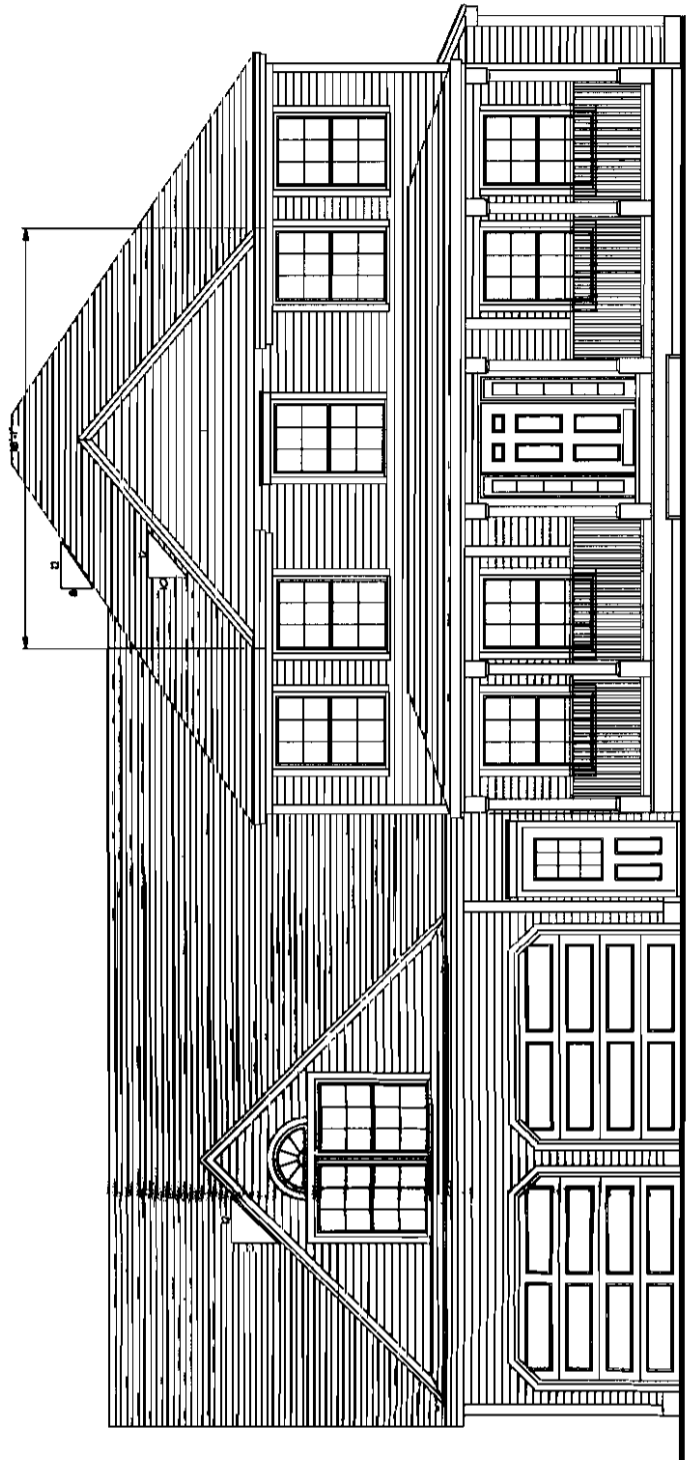
MADD INC

CONTRACTOR:

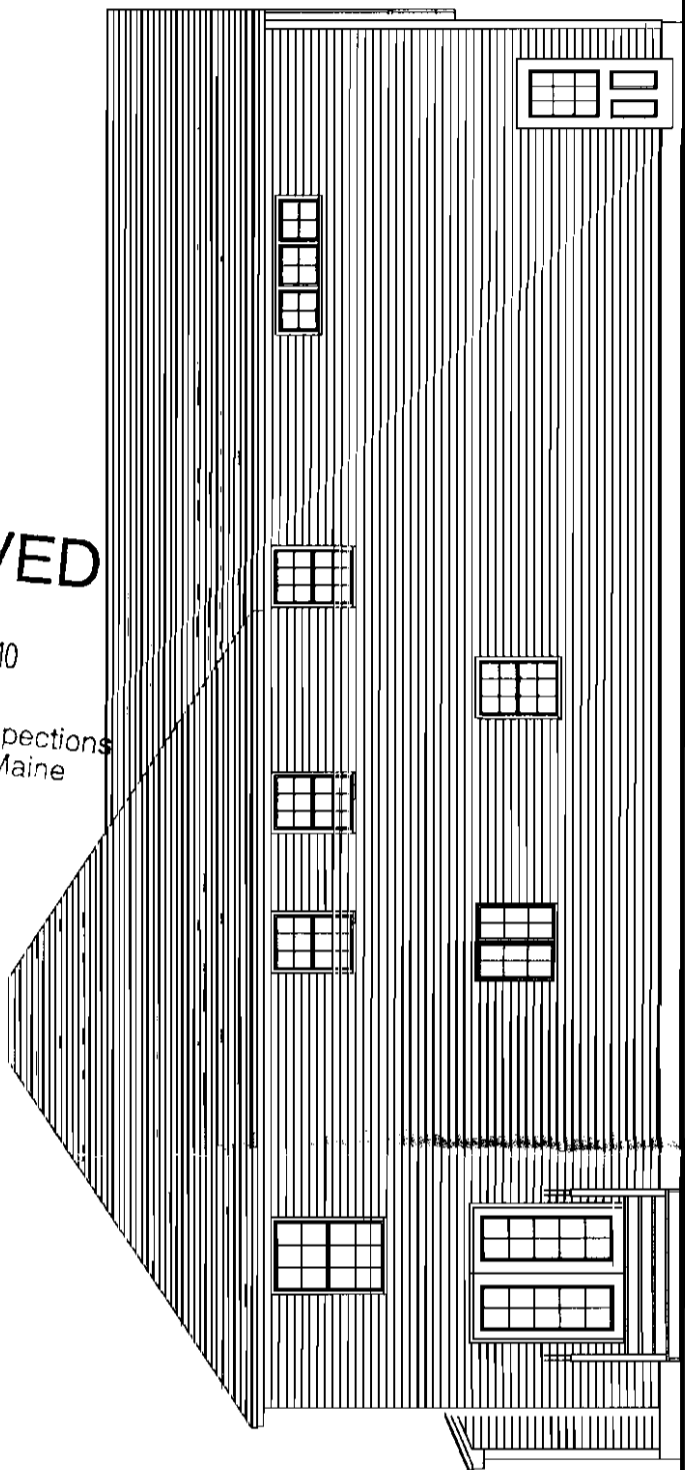
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PROJECT NAME:

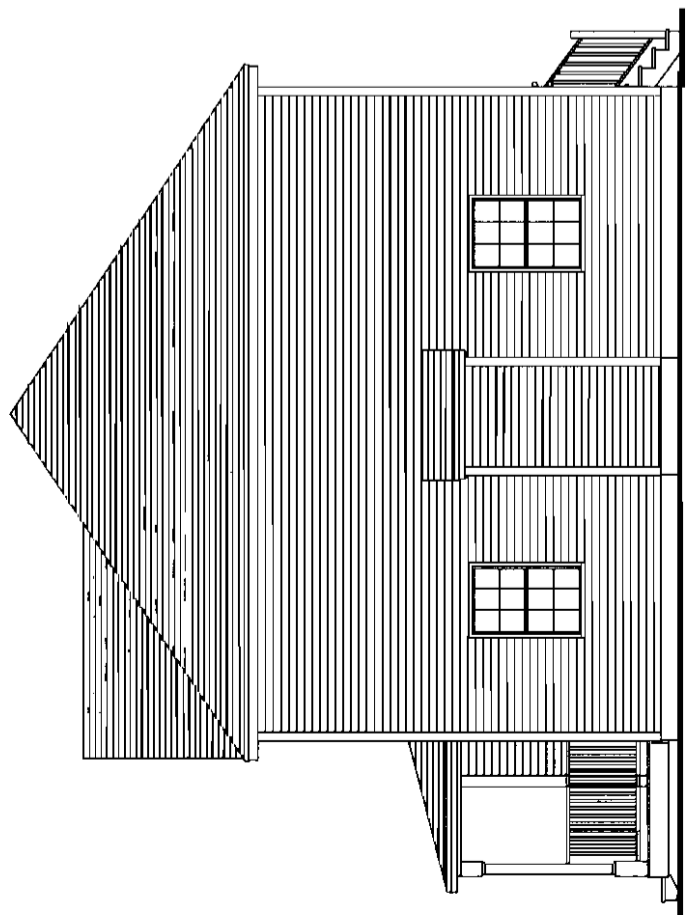
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DATE	1/29/10
SCALE	1/4" = 1'-0"
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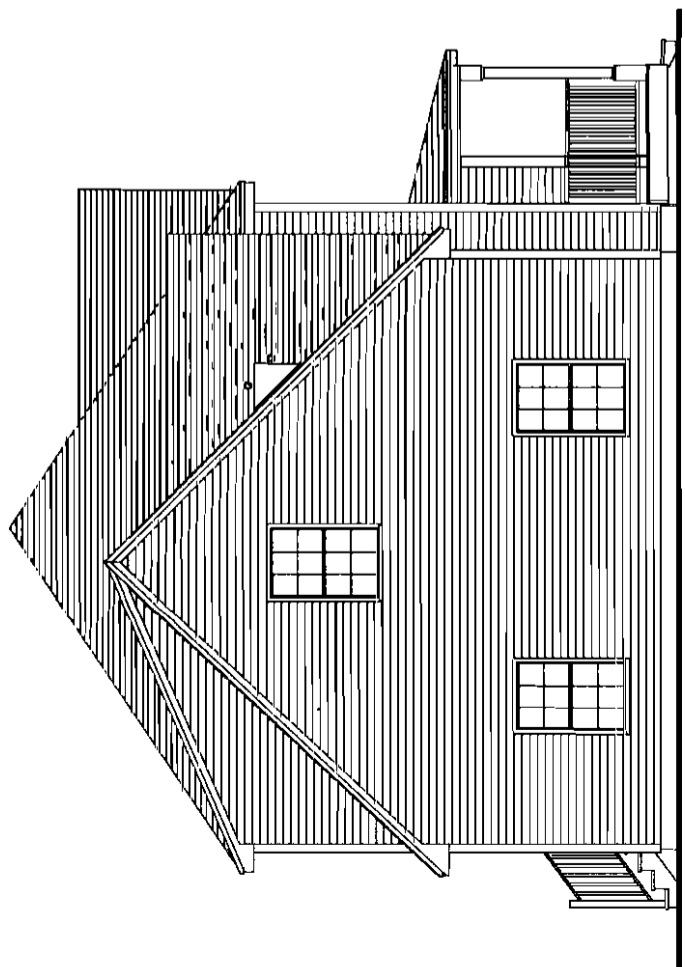
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 FEB 24 2010
 Dept. of Building Inspections
 City of Portland Maine



REAR ELEVATION



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. TRADES SHALL OBTAIN PERMITS FROM THE CITY OF PALMDALE AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE.

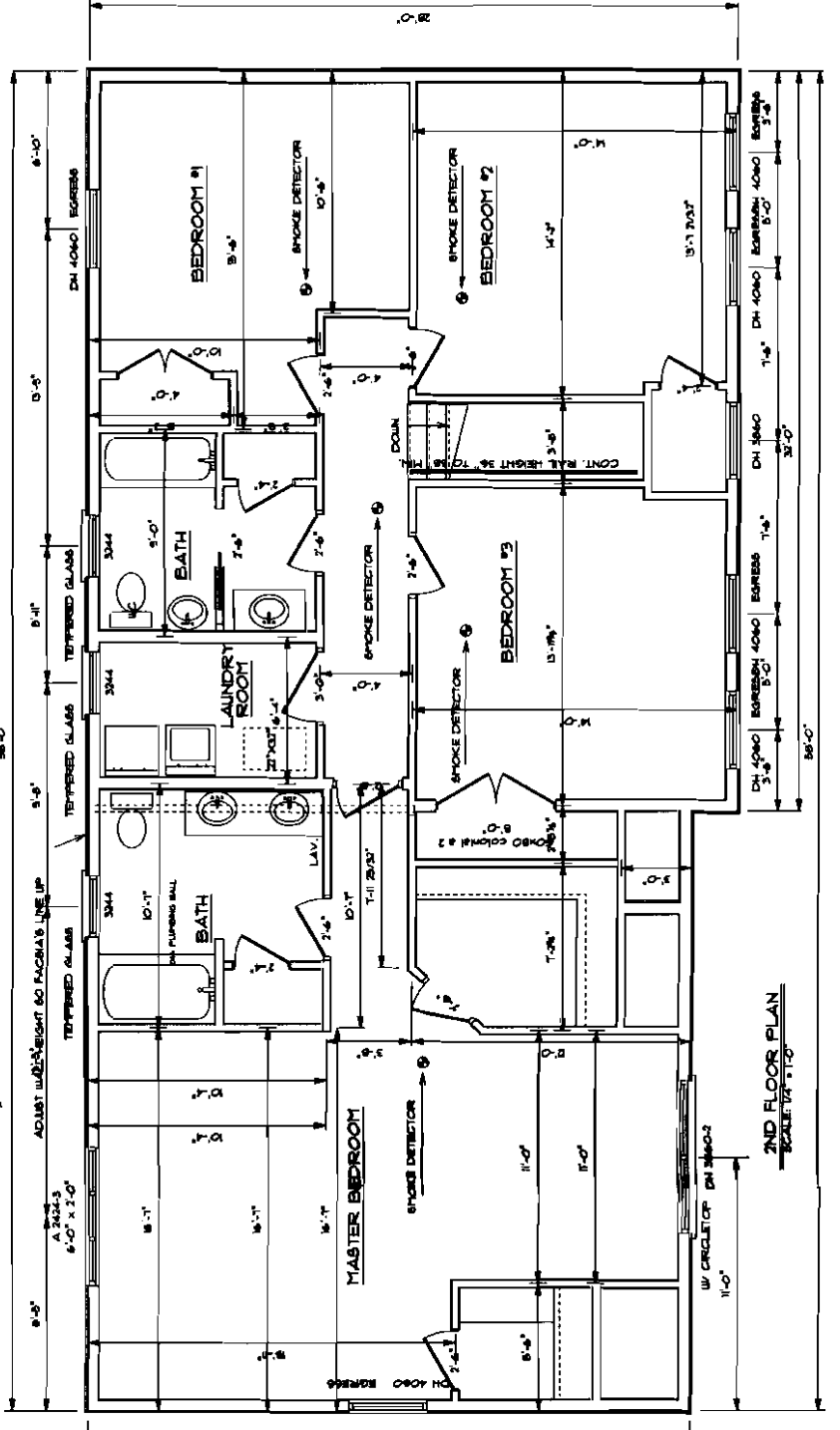
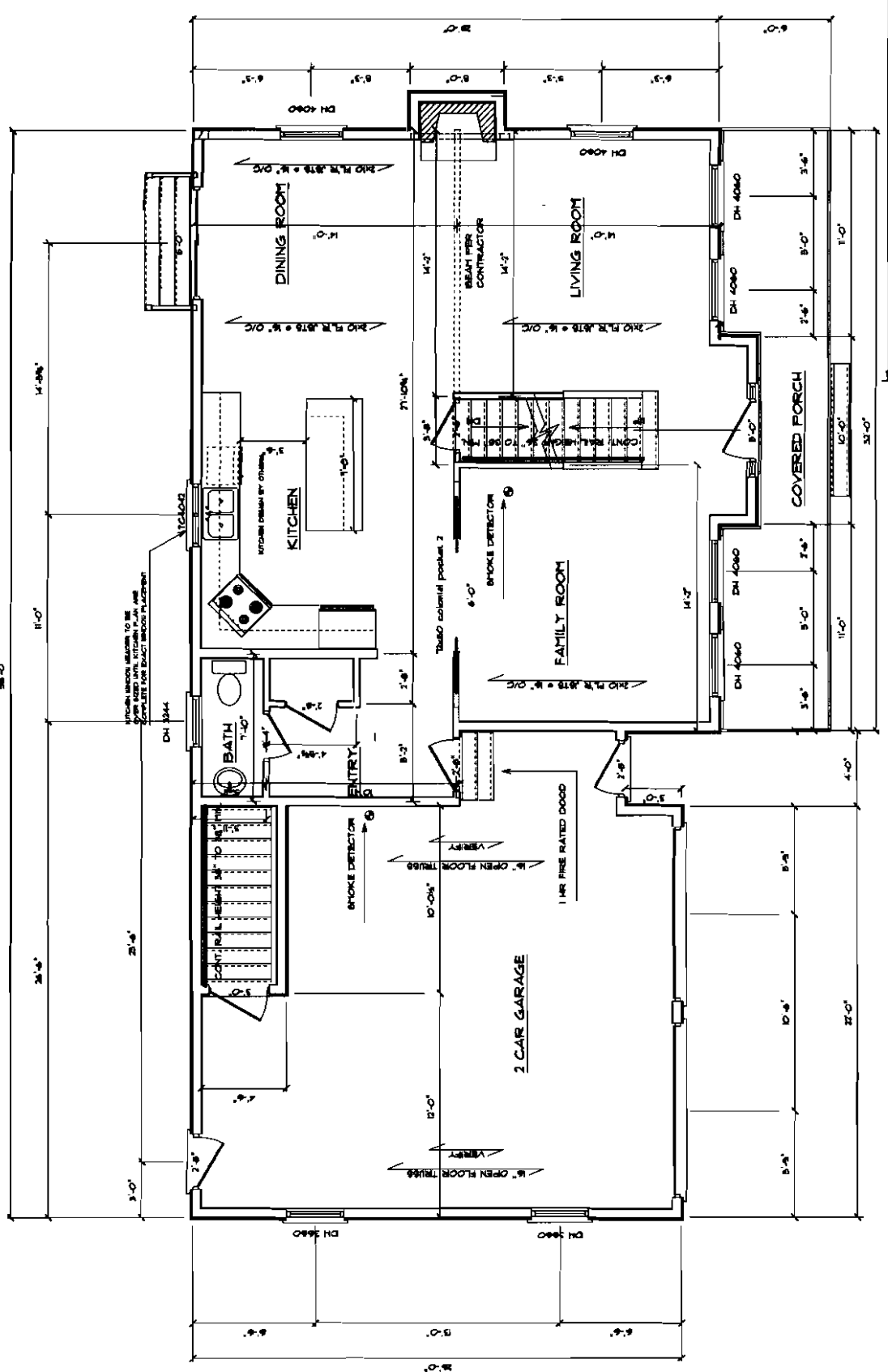
MADD INC

CONTRACTOR:

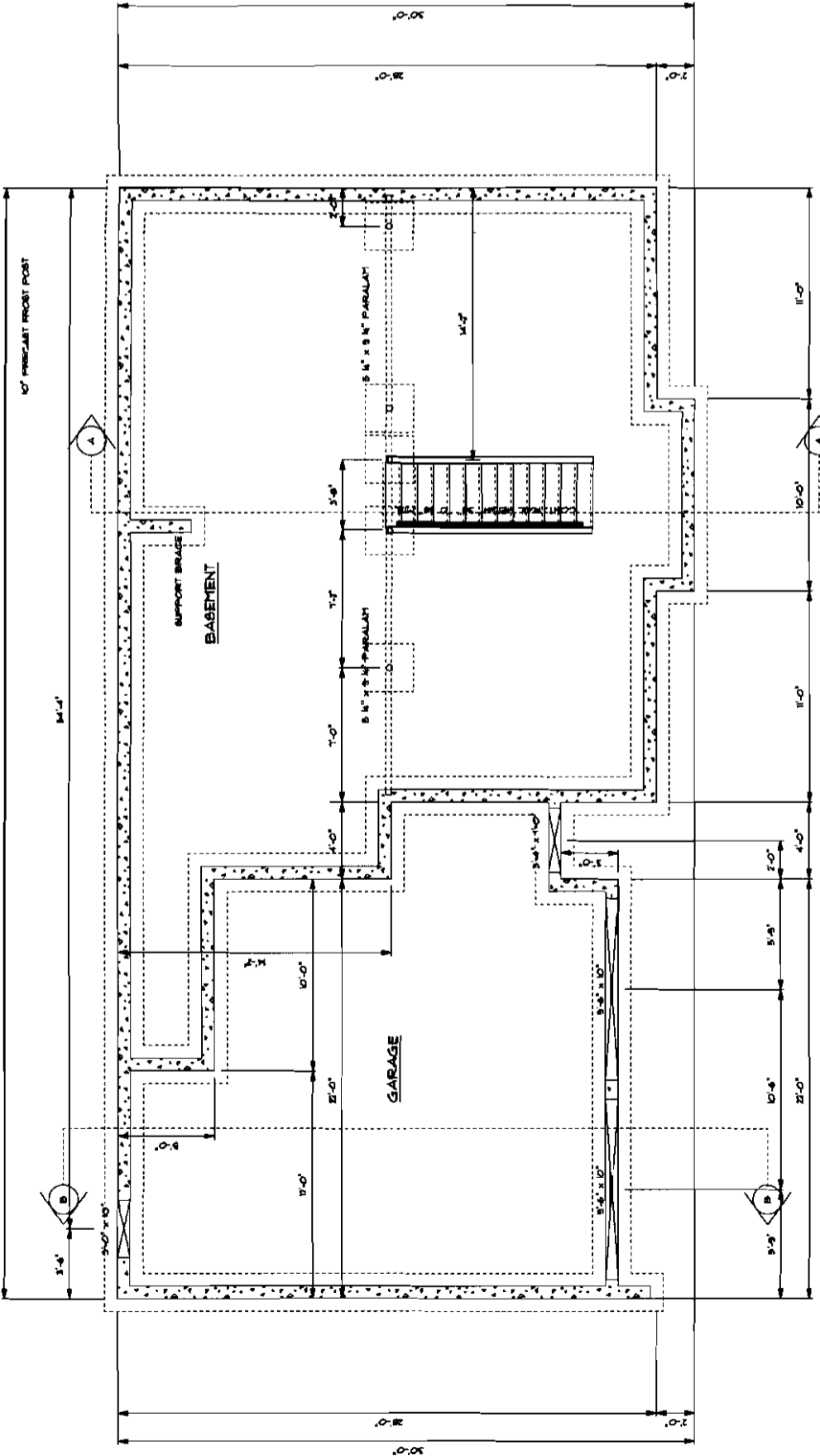
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PROJECT NAME:

NO.	DATE	BY

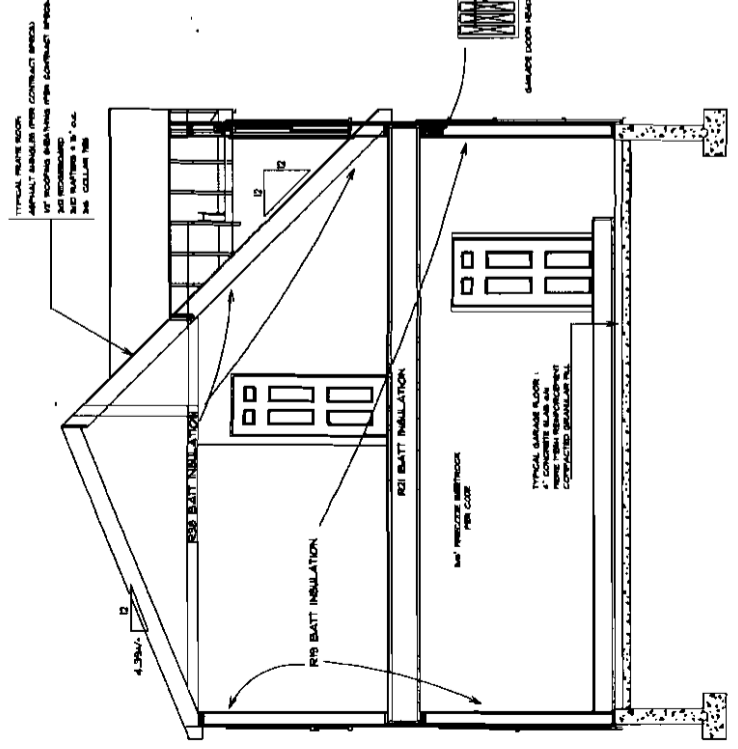


NOTE: ALL WINDOWS
U-FACTOR = .31

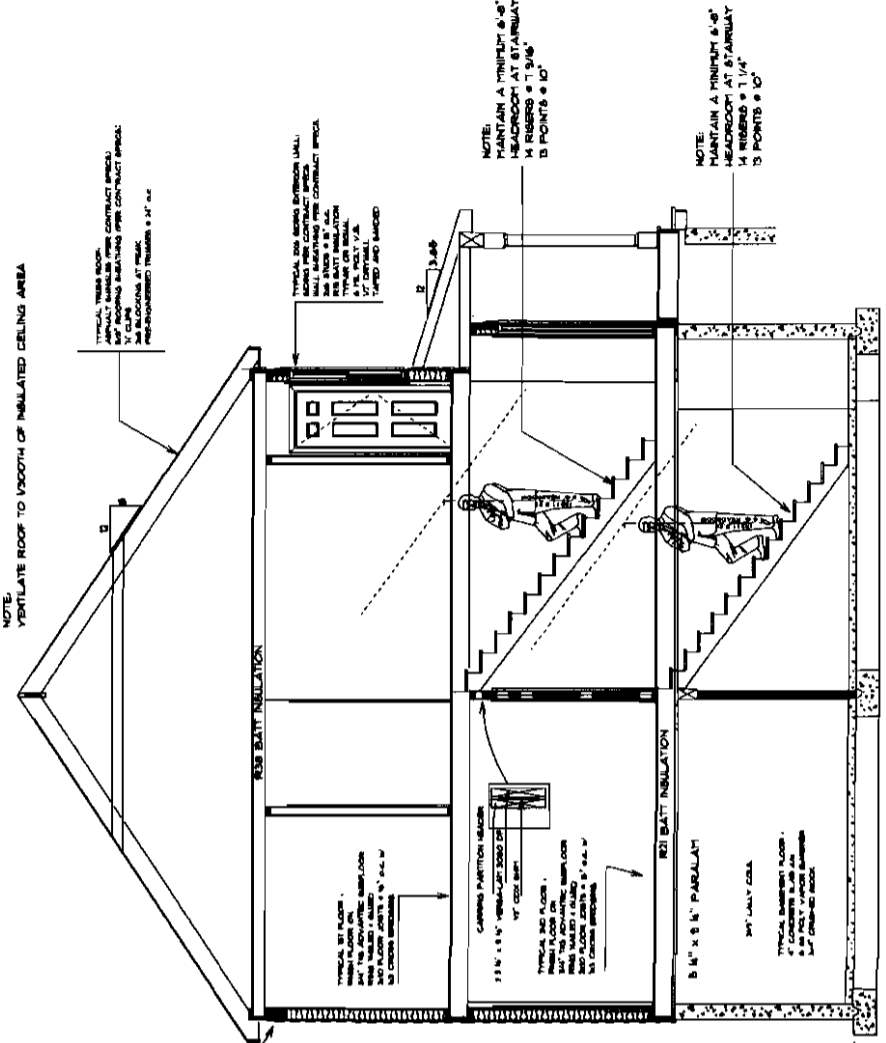


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE: VENTILATE ROOF TO VOOOTH OF INSULATED CEILING AREA



CROSS SECTION B-B
FRAMING DETAIL THE SAME AS
CROSS SECTION A-A UNLESS NOTED
SCALE: 1/4" = 1'-0"



CROSS SECTION A-A
SCALE: 1/4" = 1'-0"

**NOTE: ALL WINDOWS
U-FACTOR = .31**

DATE	PROJECT NAME
SCALE	CONTRACTOR
DRAWN	
CHECKED	
IN CHARGE	
PROJECT	

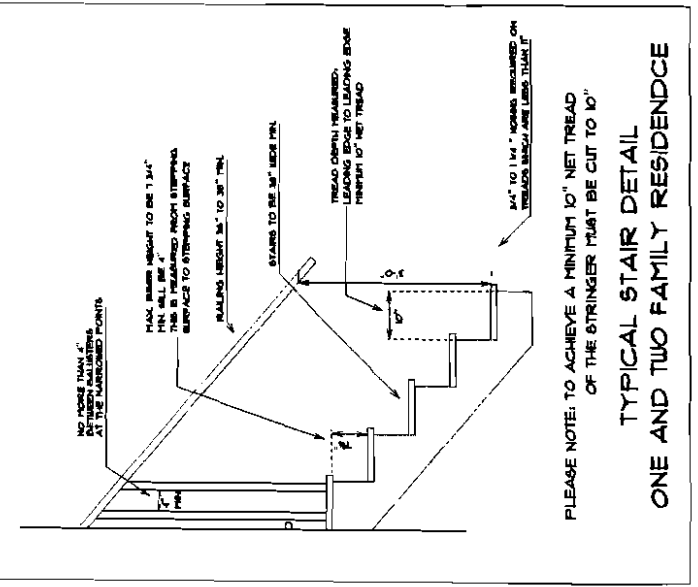
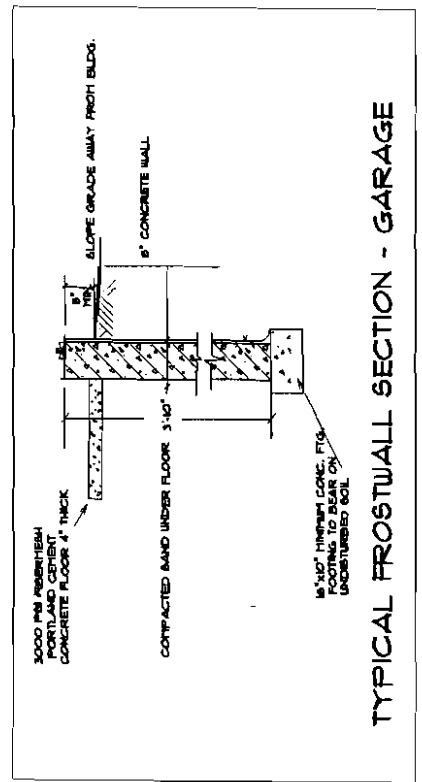
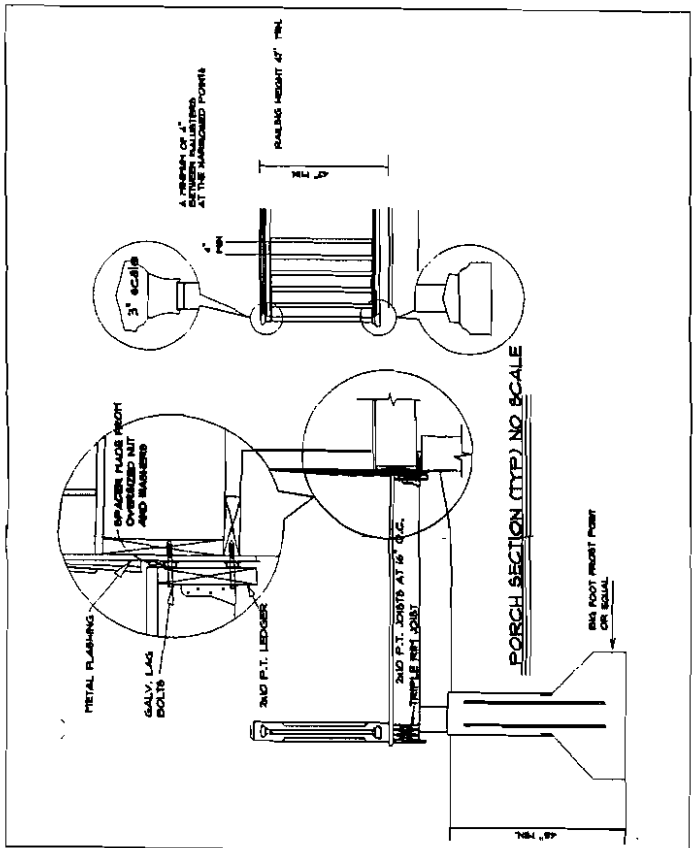
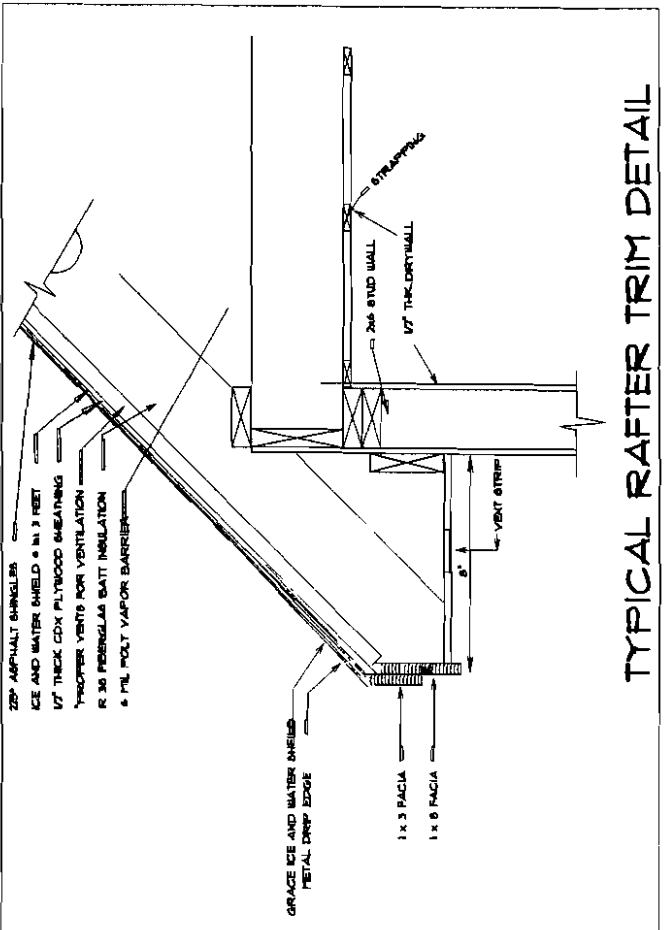
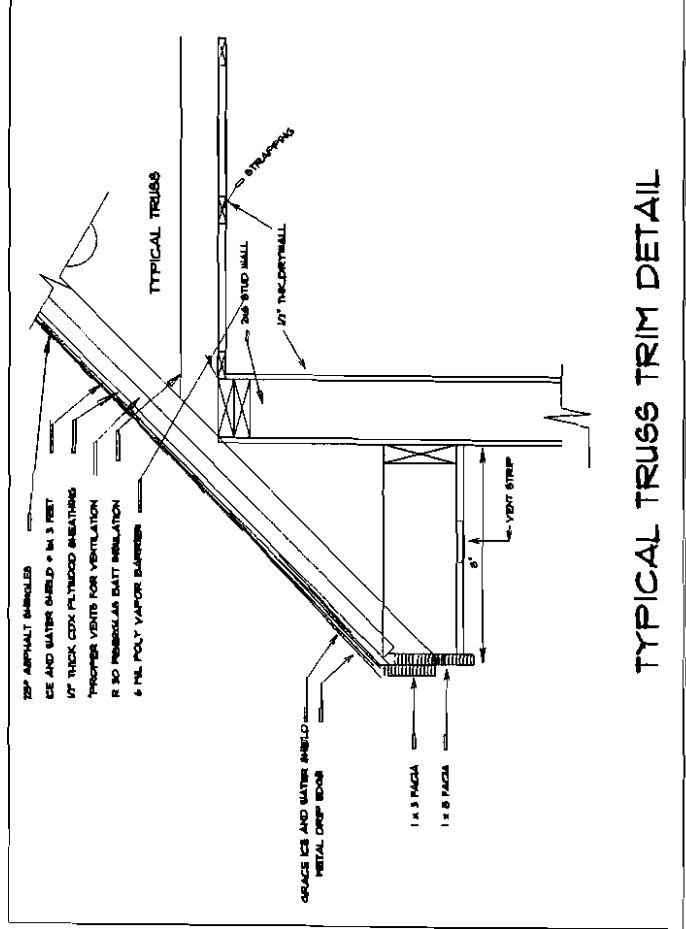
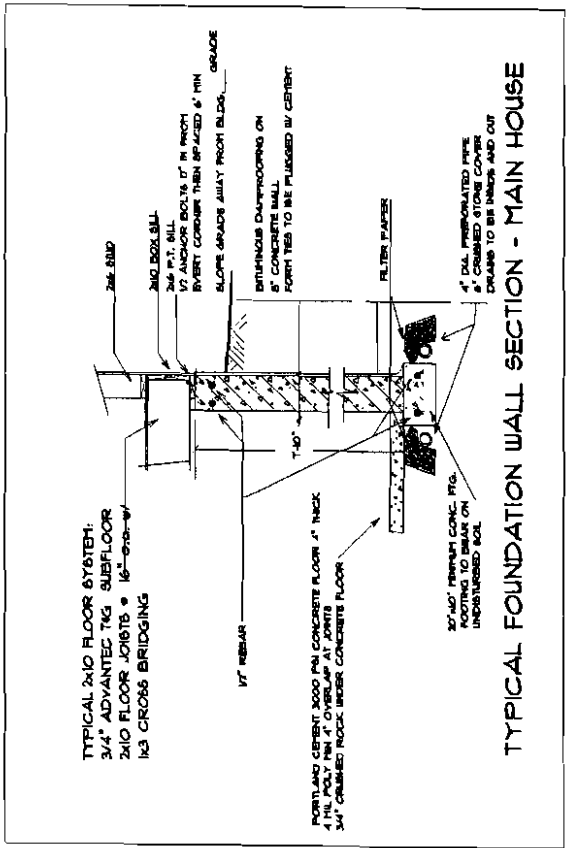
LIBERTY WAY

CONTRACTOR

MADD INC

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FOUNDATION NOTES

1. ALL FOUNDATION WALLS AND FOOTINGS SHALL BE CONSTRUCTED IN THE FIELD WITH CONTRACTOR.
2. ALL FOUNDATION WALLS AND FOOTINGS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4\"/>

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)	LOCATION	NOTE	CONNECTION
1. 1/4\"/>			

TYPICAL RAFTER TRIM DETAIL

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

Liberty
39 way
11x17
Detail

RECEIVED

MAR 22 2010

Dept. of Building Inspections
City of Portland Maine