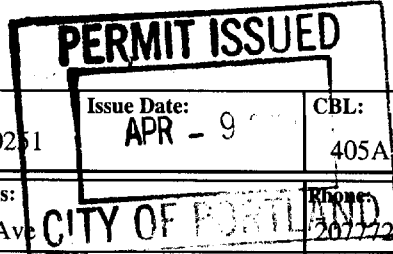


**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0251	Issue Date: APR - 9	CBL: 405A D016001
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Location of Construction: 124 Penn Ave	Owner Name: Pines Of Portland Inc	Owner Address: 426 Forest Ave	Phone: 2077722127
Business Name: n/a	Contractor Name: Pines of Portland	Contractor Address: 426 Forest Avenue Portland	Phone: 2077722127
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone: R3

Past Use: vacant land	Proposed Use: single family home with attached garage and deck. Minor/Minor Site Plan	Permit Fee: <del>804.00</del> \$0.00	Cost of Work: \$140,000.00	Area 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B	

Proposed Project Description: 28' x 39' single family w/ attached 26' x 26.6' garage & 11.6' x 16' deck	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jodinea	Date Applied For: 03/28/2001	<b>Zoning Approval</b>	
-----------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.  <i>mail when ready</i>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>panel 2 zone X</i> <input type="checkbox"/> Subdivision <i>N/A</i> <input checked="" type="checkbox"/> Site Plan <i># 2001-0046</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with</i> Date: <i>completing 4/3/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	--	--	--

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

*[Signature]*  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 124 Penn Ave (Lot 8 Pines)

Total Square Footage of Proposed Structure: 2200 sq ft; Square Footage of Lot: 12000

Tax Assessor's Chart, Block & Lot Number: Chart# 405A Block# D Lot# 16; Owner: Pines of Portland, Inc.; Telephone#: 772-2127

Lessee/Buyer's Name (If Applicable): N/A; Owner's/Purchaser/Lessee Address: 426 Forest Ave. Portland; Cost Of Work: \$140,000; Fee: \$150

Current use: VACANT Lot; Proposed use: single family home with attached garage

Project description: Construction of single family home, deck, + garage (attached)

Contractor's Name, Address & Telephone: Pines of Portland, Inc. 426 Forest Ave. Portland; 7722127; Rec'd By:

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:

- 4 copies of the site/plot plan
1 copy of the building/construction plan on 32" x 48"
1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17"
Amy will call 300, 834 1134

On all commercial permits the following must be submitted:

- 1 copy of the site/plot plan
1 copy of the building/construction plan on 32" x 48"
1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**A PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow: Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <i>[Handwritten Signature]</i> <i>Owner of Portland Inc.</i>	Date: <i>3/27/01</i>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

BUILDING PERMIT REPORT

DATE: 30 March 2001 ADDRESS: 124 Penn Ave. CBL: 405AD-016

REASON FOR PERMIT: Single Family dwelling attached garage/deck

BUILDING OWNER: Pines of Portland

PERMIT APPLICANT: CONTRACTOR Pines of Portland

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$140,000.00 PERMIT FEES \$864.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

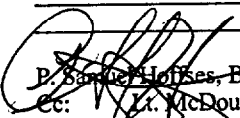
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1 \*2 \*3 \*4 \*6 \*7 \*8 \*9, \*11, \*13, \*14, \*15, \*16, \*20, \*27, \*28, \*29, \*30, 32, \*33, \*34, \*35, \*36

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
\*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
\*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
\*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
\*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
\*6. Precaution must be taken to protect concrete and masonry.
\*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
\*8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
\*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
\*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
\*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
\*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
\*15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
\*16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

3/20

- \*20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- \*27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- \*28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- \*29. All requirements must be met before a final Certificate of Occupancy is issued.
- \*30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- \*31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All Requirements & Conditions on The Attached Development Review Sheets shall be met.*
- \*33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- \*34. Bridging shall comply with Section 2305.16.
- \*35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- \*36. All flashing shall comply with Section 1406.3.10.
- \*37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- \*38.

  
 P. Barker-Hoffses, Building Inspector  
 cc: L. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

Applicant: Pines of Portland

Date: 4/3/01

Address: 124 Penn Ave (ct #2)

C-B-L: 405A-D-016

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot - cor. Liberty Way

Proposed Use/Work - construct 1st flr dwelling with attached garage and rear deck  
26 x 39 1 car 21.5 x 2  
16' x 11.5'

Sewage Disposal - City

Lot Street Frontage - 56' min - 120' shown

Front Yard - 25' min - 25' shown to porch

Rear Yard - 25' min - 26' shown to rear deck

Side Yard - 20' req on side of side - 40' shown  
14' req on left side - 30' shown  
2 story

Projections - front porch - front stairs into front setback ok (not more than 50' shown)  
no bulkhead

Width of Lot - 75' min - 120' shown

Height - 35' MAX - 2 story shown - 30' to ridge shown

Lot Area - 6,500 sq ft min - 12,000 sq ft shown

Lot Coverage Impervious Surface - 25% on 3,000 sq ft MAX

Area per Family - 6,500 sq ft

Off-street Parking - 2 req.

Loading Bays - N/A

Site Plan - minor/minor  
# 2001-0046

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - Zone X

26 x 39 = 1014  
21.5 x 26 = 559  
11.5 x 16 = 184

1757 sq ft

**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$140,000.00 Plan Review # 301/2001

Fee: \$864.00 Date: 30 MARCH 2001

Building Location: 124 Penn Ave. CBL: 405A-D-016

Building Description: Single Family dwelling/attached garage.

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5-B

\*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued	111.0 118.0
2.	All lot lines shall be clearly marked before calling for a foundation inspection.	111.0
3.	Foundation drains shall comply with section M3.5.3	1817.5.3
4.	Foundation anchors shall comply with sec. 1813.0	1813.0
5.	Waterproofing & damp proofing shall comply with sec. 1813.0	1813.0
6.	Protection of concrete & masonry shall comply with sec. 1908.0 thru 1908.10 / 2111.3 - 2111.4	1908.0 2111.0
7.	Flashing shall comply with sec. 1406.3.10	1406.3.10
8.	Chimney, fireplaces & vent shall comply with NFPA 211	211
9.	Guardrails shall comply with sec. 1022.0	1022.0
10.	Handrails shall comply with sec. 1021.0	1021.0
11.	Stair Const. shall comply with sec. 1014.0	1014.0
12.	Sleeproom room egress or rescue windows shall comply with section 1010.4	1010.4
13.	Min. Corridor shall comply with sec. 1011.3 (36")	1011.3
14.	Smoke detectors shall comply with sec. 920.3.2	920.3.2
15.	Ventilation of attic & crawl spaces shall comply with sec. 1210.0 - 1211.0	1210.0 1211.0
16.	All fasteners shall comply with Table 2305.2	Table 2305.2
17.	Boring, Cutting & Notching shall comply with	

REV: PSH 4-7-00

Correction List		
NO:	Description	Code Section
17.	sections 2305.3 Thru 2305.5.1	2305.3 2305.5.1
18.	Bridging shall comply with section 2305.12	2305.12
19.	Glass & glazing shall comply with Chapter 24 (Safety glazing 2406.0)	
20.		

rev:PSII 6-28-98



**Foundations (Chapter 18)**

**Wood Foundation (1808)**

~~N/A~~ Design  
~~N/A~~ Installation

**Footings (1807.0)**

- ~~X~~ Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.
- ~~X~~ Insulated footing provided
- ~~X~~ Soil bearing value (table 1804.3)
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) .3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Foundation Walls**

- ~~X~~ Design (1812.1)
- ~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~SA~~ Water proofing and damp proofing Section 1813
- ~~X~~ Sill plate (2305.17)
- ~~SA~~ Anchorage bolting in concrete (2305.17)
- ~~X~~ Columns (1912)
- ~~SA~~ Crawl space (1210.2) Ventilation
- ~~SA~~ Crawl opening size (1210.2.1)
- ~~SA~~ Access to crawl and attic space ( 1211.0 )
- \_\_\_\_\_

**Floors (Chapter 16-23)**

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SI~~ Bridging (2305.16)
- ~~SI~~ Boring and notching (2305.5.1)
- ~~SI~~ Cutting and notching (2305.3)
- ~~SI~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SI~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SI~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SI~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NR~~ Roof trusses (2313.3.1)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~X~~ Approved materials (1404.1)
- ~~|~~ Performance requirement (1505)
- ~~|~~ Fire classification (1506)
- ~~|~~ Material and installation requirements (1507)
- ~~|~~ Roof structures (1510.0)
- ~~|~~ Type of covering (1507)

**Chimneys and Fireplaces  
 BOCA Mechanical/1993**

- ~~SA~~ Masonry (1206.0)
- ~~SA~~ Factory - built (1205.0)
- ~~SA~~ Masonry fireplaces (1404)
- ~~SA~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical  
 1993 BOCA Mechanical Code**

\_\_\_\_\_  
 \_\_\_\_\_  
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**Load Design Criteria**

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u><del>40</del> PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

**Glazing (Chapter 24)**

<u>SA</u>	Labeling (2402.1)
_____	Louvered window or jalousies (2402.5)
_____	Human impact loads (2405.0)
_____	Specific hazardous locations (2405.2)
_____	Sloped glazing and skylights (2404)
_____	
_____	
_____	
_____	

**Private Garages (Chapter 4)**

<u>SA</u>	General (407)
_____	Beneath rooms (407.3)
_____	Attached to rooms (407.4)
_____	Door sills (407.5)
_____	Means of egress (407.8)
_____	Floor surface (407.9)
_____	
_____	

**Egress (Chapter 10)**

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SR~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SR~~ Stairways (1014.3) 36" W
- ~~SR~~ Treads (1014.6) 10" min.
- ~~SR~~ Riser (1014.6) 7 3/4" max.
- ~~SR~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SR~~ Handrails (1022.2.2.) Ht.
- ~~SR~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SR~~ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Smoke Detectors (920.3.2)**

- ~~SR~~ Location and interconnection
- ~~SR~~ Power source

**Dwelling Unit Separation  
Table 602**

*NA*

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

2001-0046  
Application I. D. Number  
  
03/27/2001  
Application Date  
  
124 Penn Avenue, S/F  
Project Name/Description

Pines Of Portland Inc  
Applicant  
  
426 Forest Ave, Portland, ME 04101  
Applicant's Mailing Address  
  
Greg McCormack  
Consultant/Agent  
Applicant Ph: (207) 772-2127 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

124 - 124 Penn Ave, Portland, Maine  
Address of Proposed Site  
405A D016001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) garage, deck

2,200 s.f. Proposed Building square Feet or # of Units Acreeage of Site Zoning  
R-3

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review
- Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification
- Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$400.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: 03/27/2001

**Insp Approval Status:**

- Approved  Approved w/Conditions See Attached  Denied Reviewer Marge Schmuckal

Approval Date 04/03/2001 Approval Expiration 04/03/2002 Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance Marge Schmuckal  
signature 04/03/2001  
date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issued	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2001-0046**

Application I. D. Number

**03/27/2001**

Application Date

**124 Penn Avenue, S/F**

Project Name/Description

**Pines Of Portland Inc**

Applicant

**426 Forest Ave, Portland, ME 04101**

Applicant's Mailing Address

**Greg McCormack**

Consultant/Agent

**Applicant Ph: (207) 772-2127      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**124 - 124 Penn Ave, Portland, Maine**

Address of Proposed Site

**405A D016001**

Assessor's Reference: Chart-Block-Lot

---

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
  - 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
-

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2001-0046  
Application I. D. Number

03/27/2001  
Application Date

124 Penn Avenue, S/F  
Project Name/Description

Pines Of Portland Inc  
Applicant

426 Forest Ave, Portland, ME 04101  
Applicant's Mailing Address

Greg McCormack  
Consultant/Agent

Applicant Ph: (207) 772-2127      Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

124 - 124 Penn Ave, Portland, Maine  
Address of Proposed Site

405A D016001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building     Building Addition     Change Of Use     Residential     Office     Retail  
 Manufacturing     Warehouse/Distribution     Parking Lot     Other (specify) garage, deck

2,200 s.f.      R-3  
Proposed Building square Feet or # of Units      Acreage of Site      Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid:    Site Plan \$400.00    Subdivision \_\_\_\_\_    Engineer Review \_\_\_\_\_    Date 03/27/2001

**DRC Approval Status:**

Reviewer Jay Reynolds *JR*

- Approved       **Approved w/Conditions**  
See Attached       Denied

Approval Date 04/05/2001      Approval Expiration 04/05/2002      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance      Jay Reynolds      04/05/2001  
signature      date

Performance Guarantee     Required\*     Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0046  
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124 Penn Avenue, S/F

Project Name/Description

124 - 124 Penn Ave, Portland, Maine

Address of Proposed Site

405A D016001

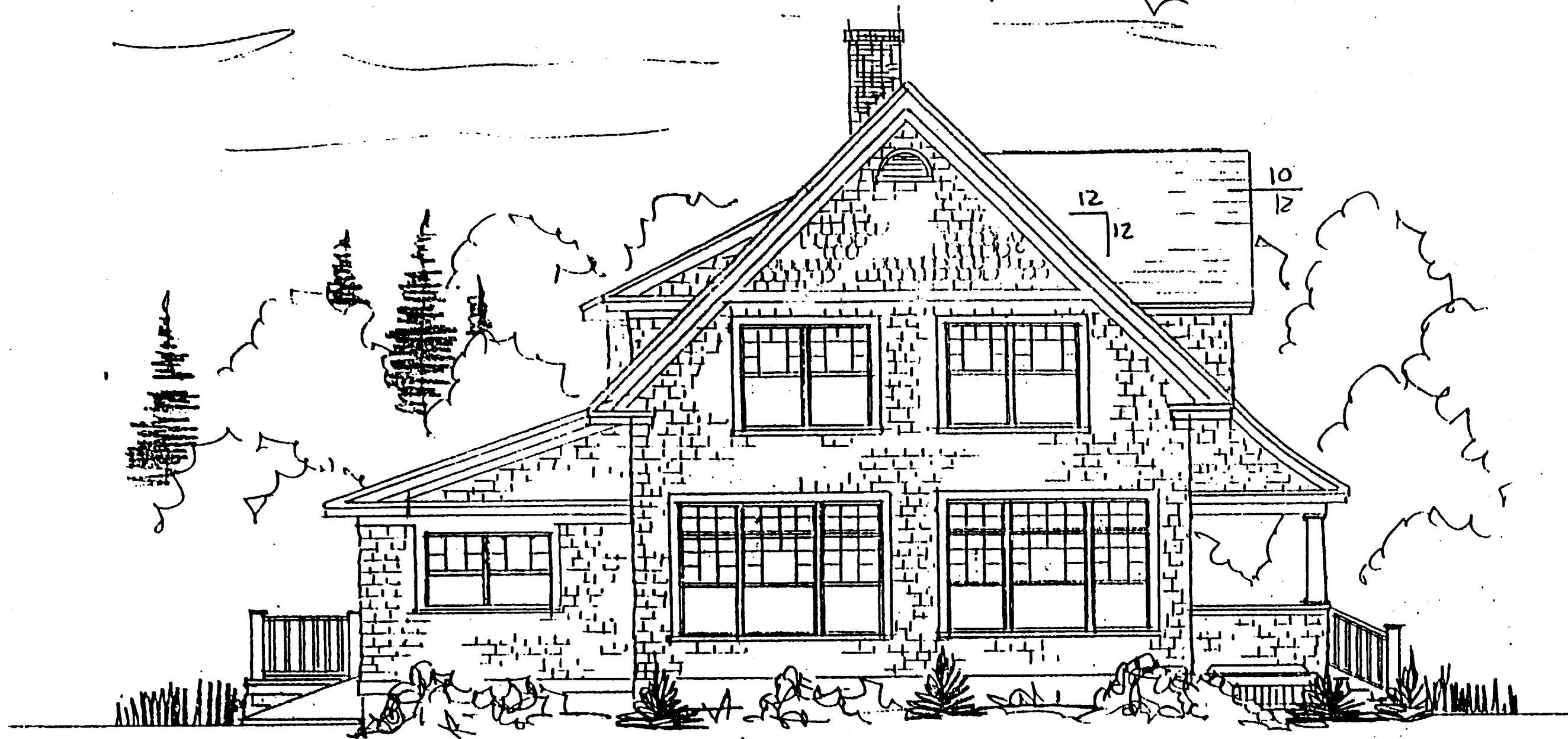
Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Insp**

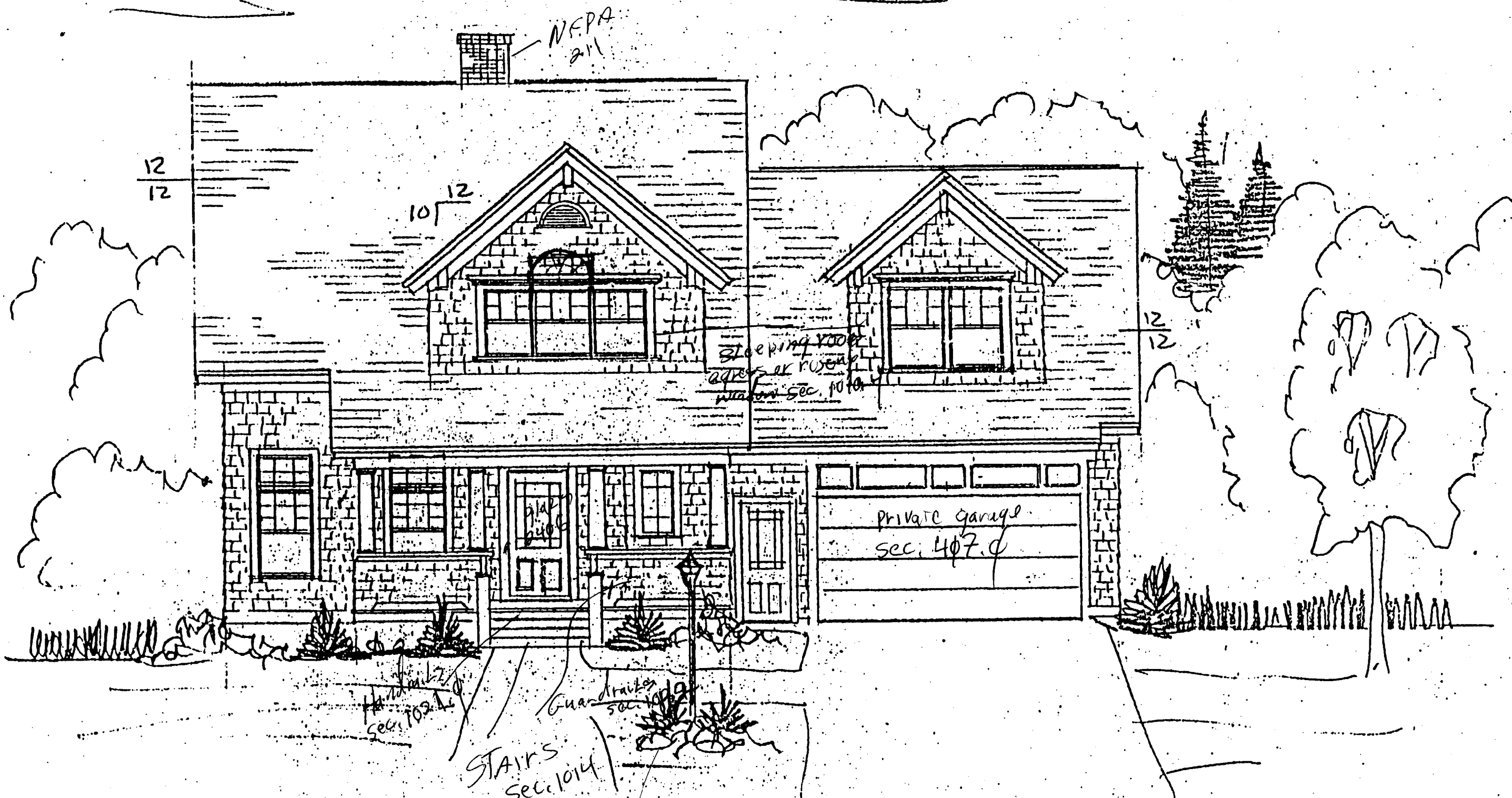
- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Your new street address is now \_\_\_\_\_, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy. # 124 Penn Ave.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 9 Silt fence shall be installed at the southwesterly corner of the lot prior to start of construction . . .



SIDE ELEVATION



NEPA  
211

12  
12

10  
12

12  
12

Sleeping porch  
window sec. 1014

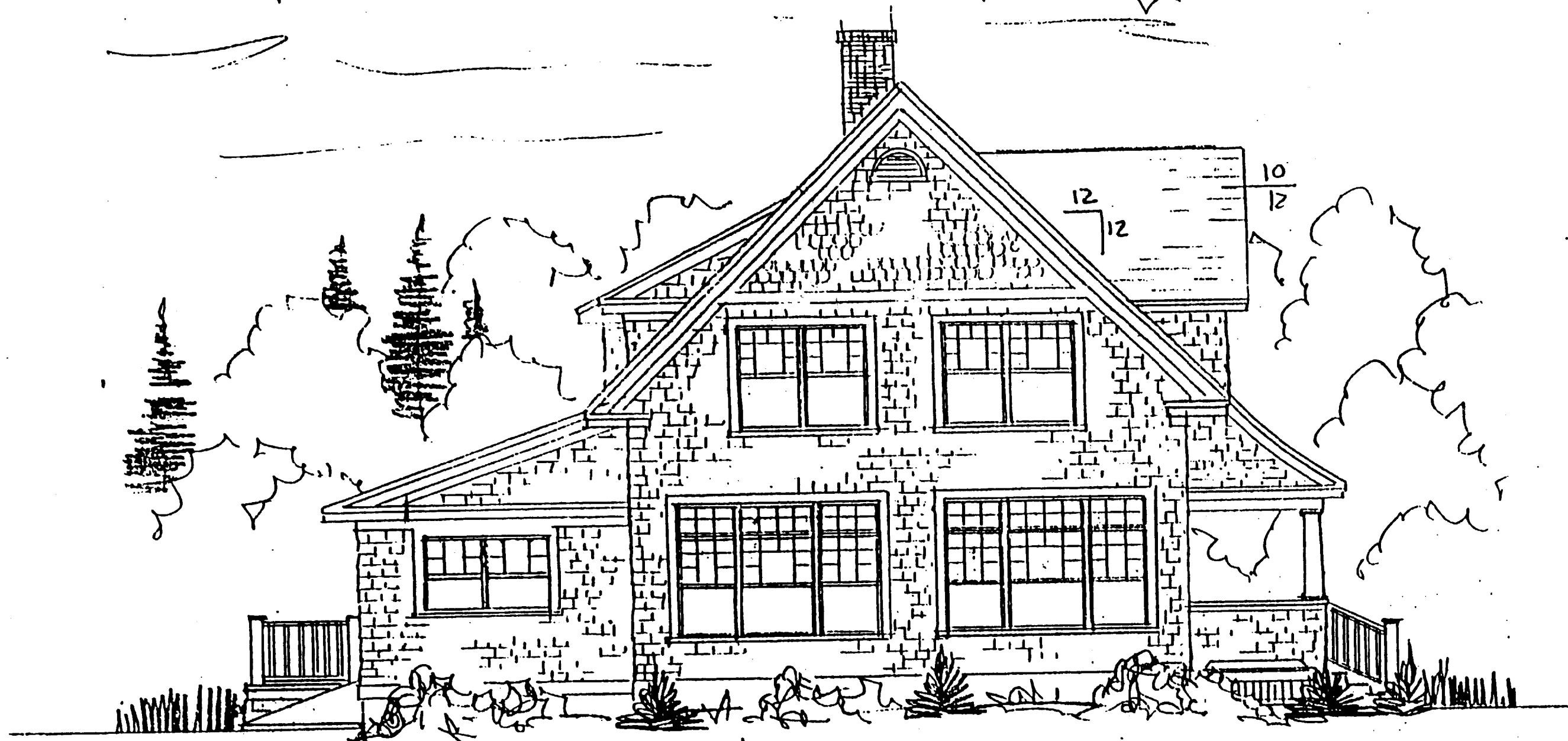
Private garage  
sec. 407.0

Handrails  
sec. 102.4

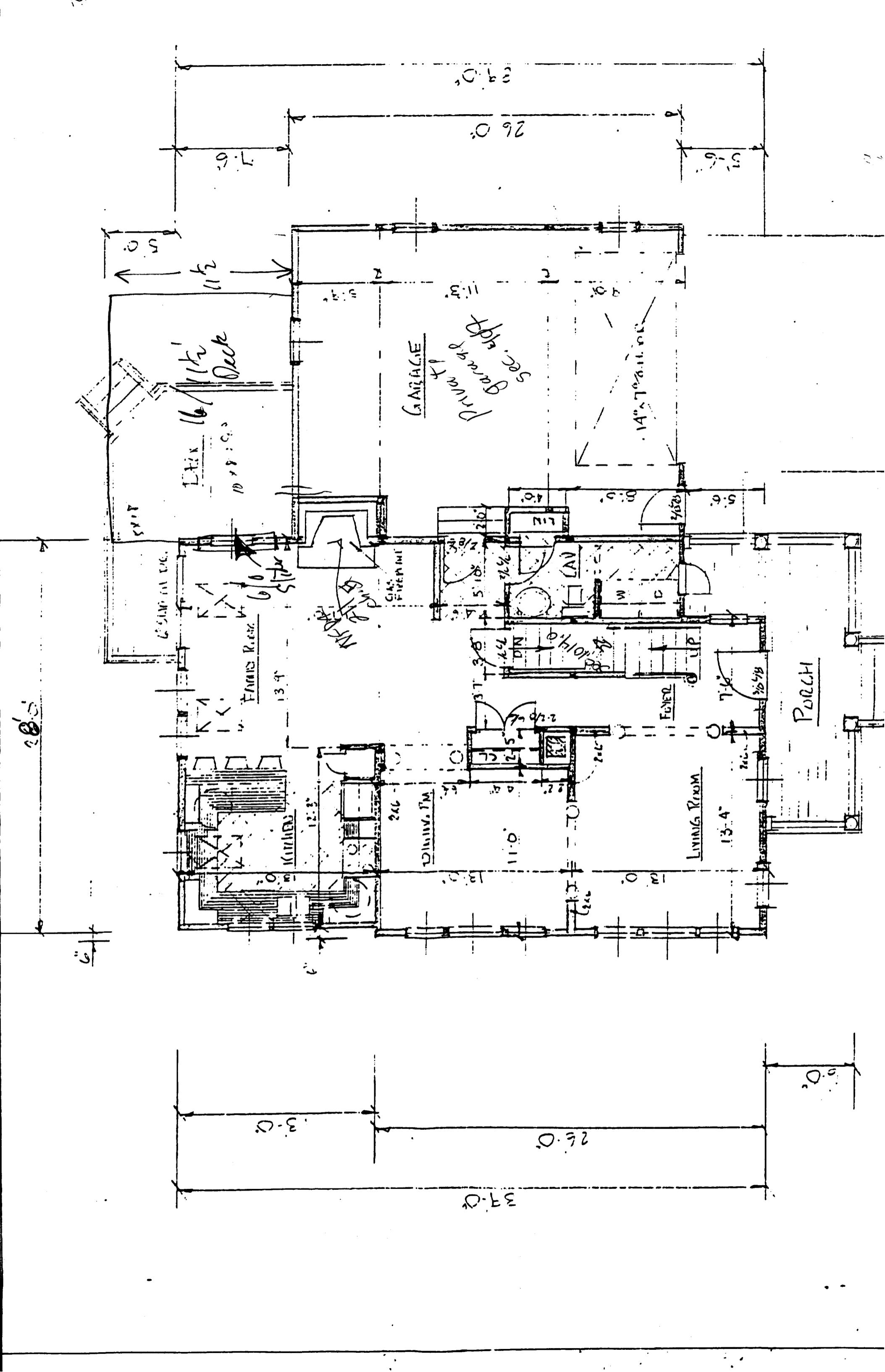
Guard rails  
sec. 1009

STAIRS  
sec. 1014

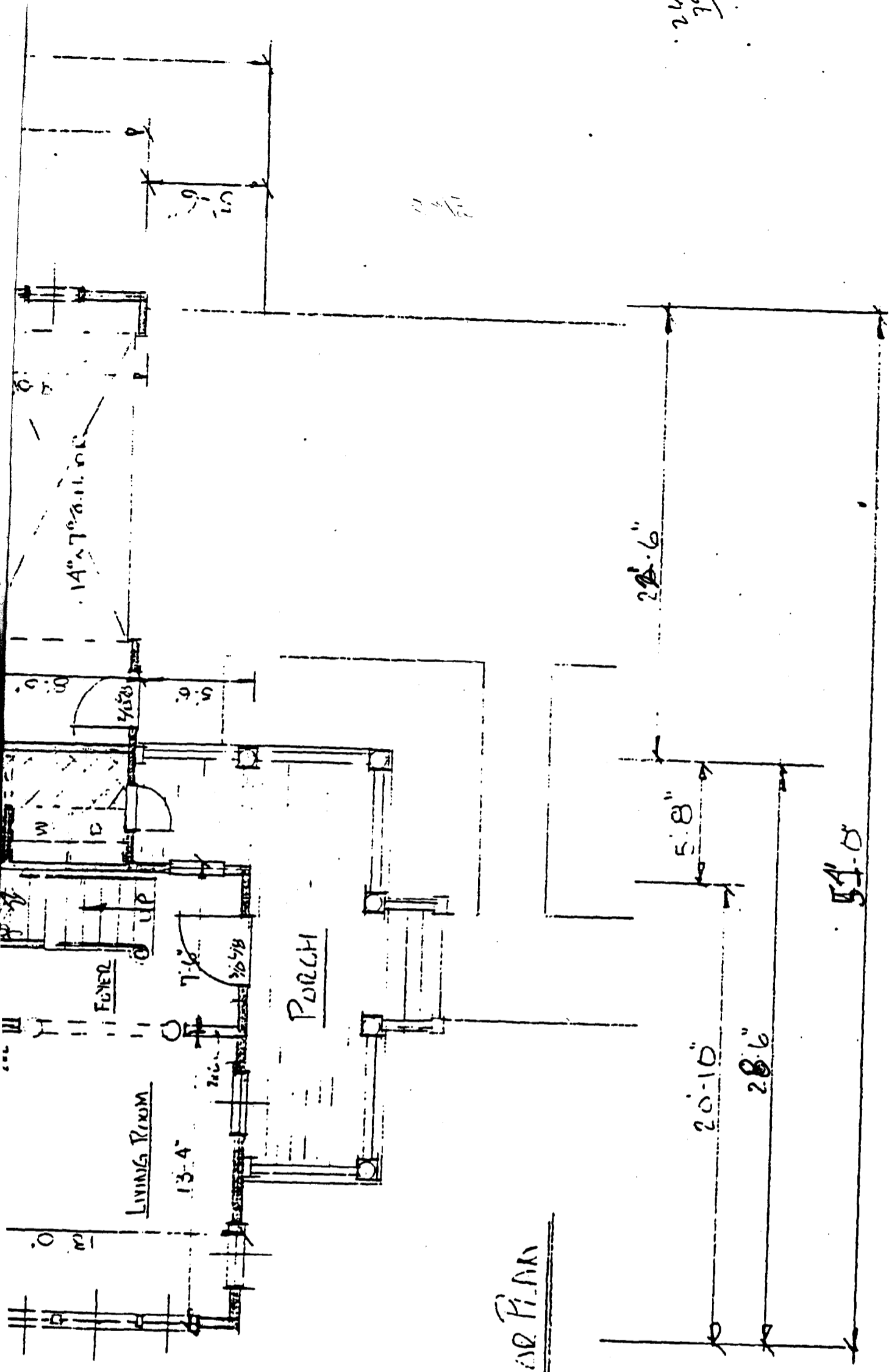
FRONT ELEVATION



SIDE ELEVATION



24  
79



FIRST FLOOR PLAN  
3/16/10

LIVING ROOM

13'-4"

FOYER

PORCH

14' x 7' BALCONY

20'-10"

28'-6"

5'-8"

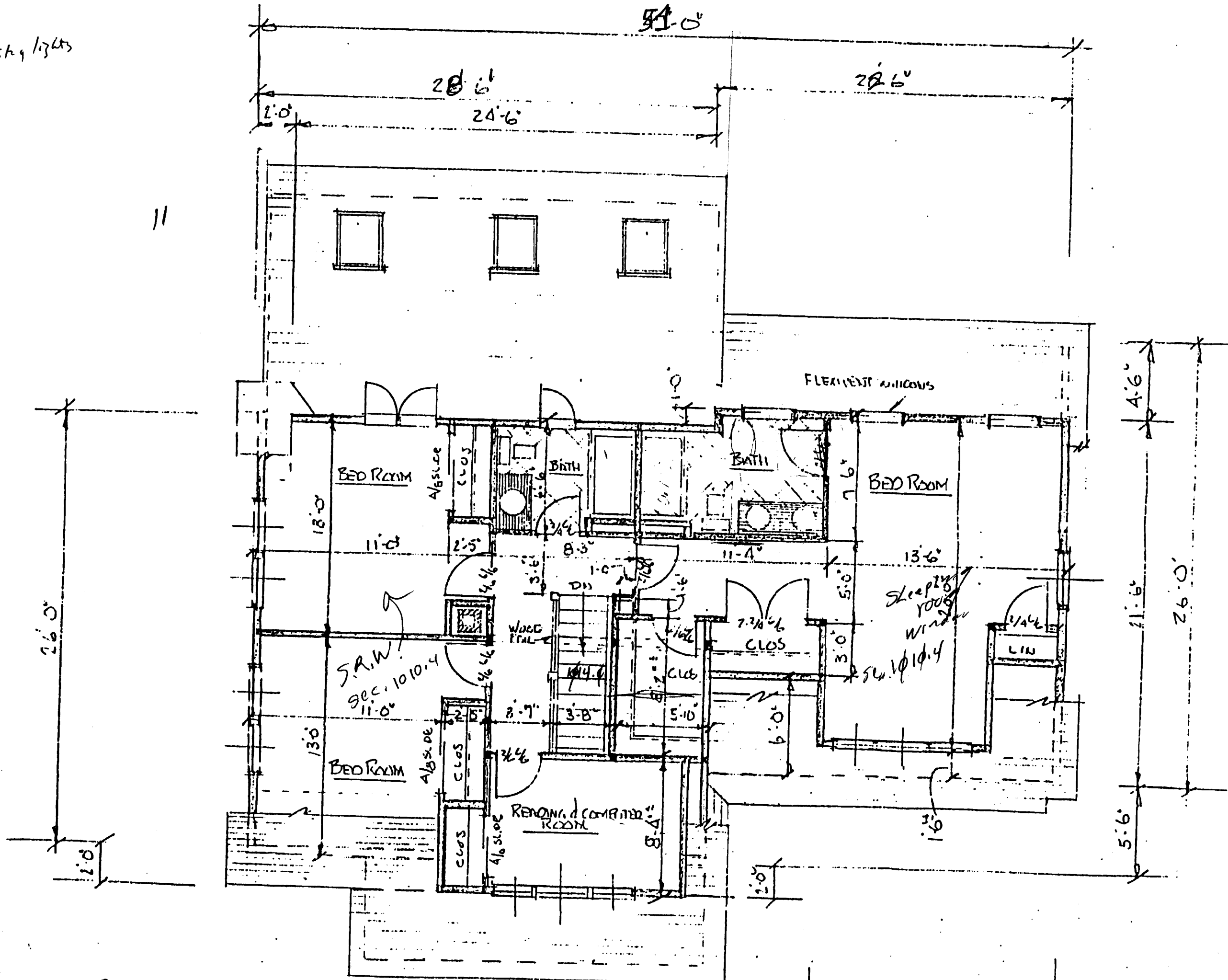
28'-6"

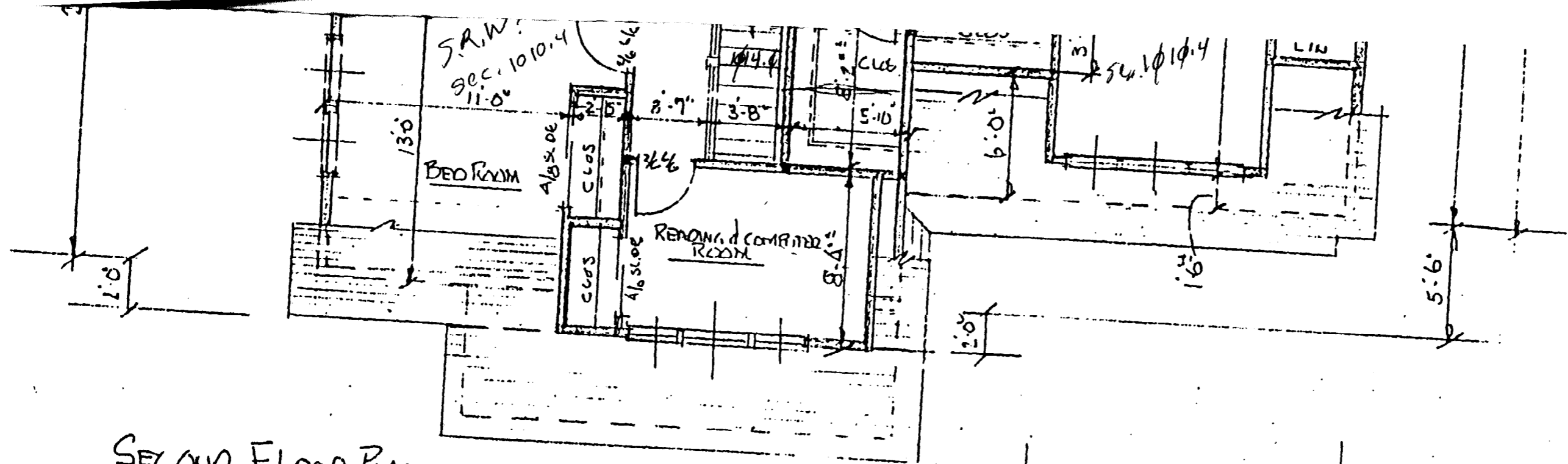
54'-0"

0'-0"

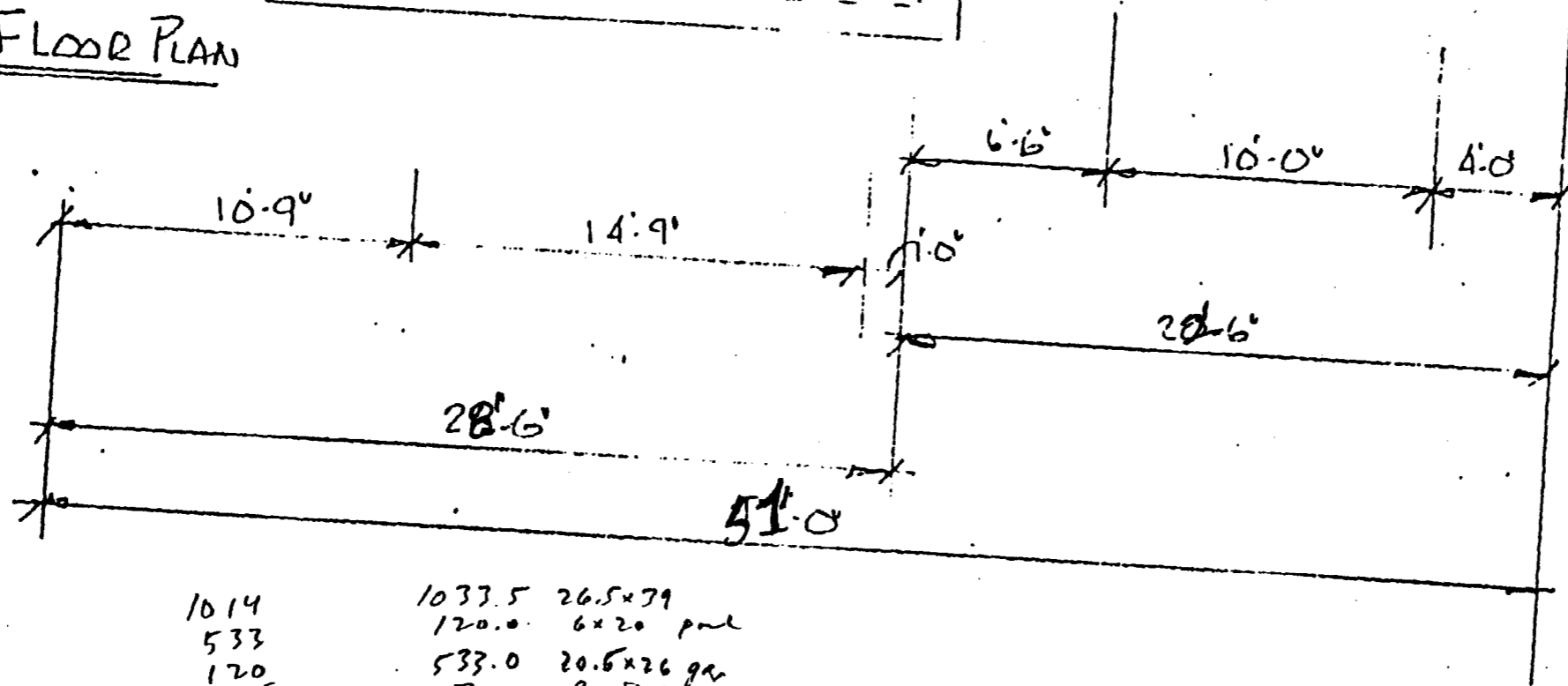
+ 35kg lights

11





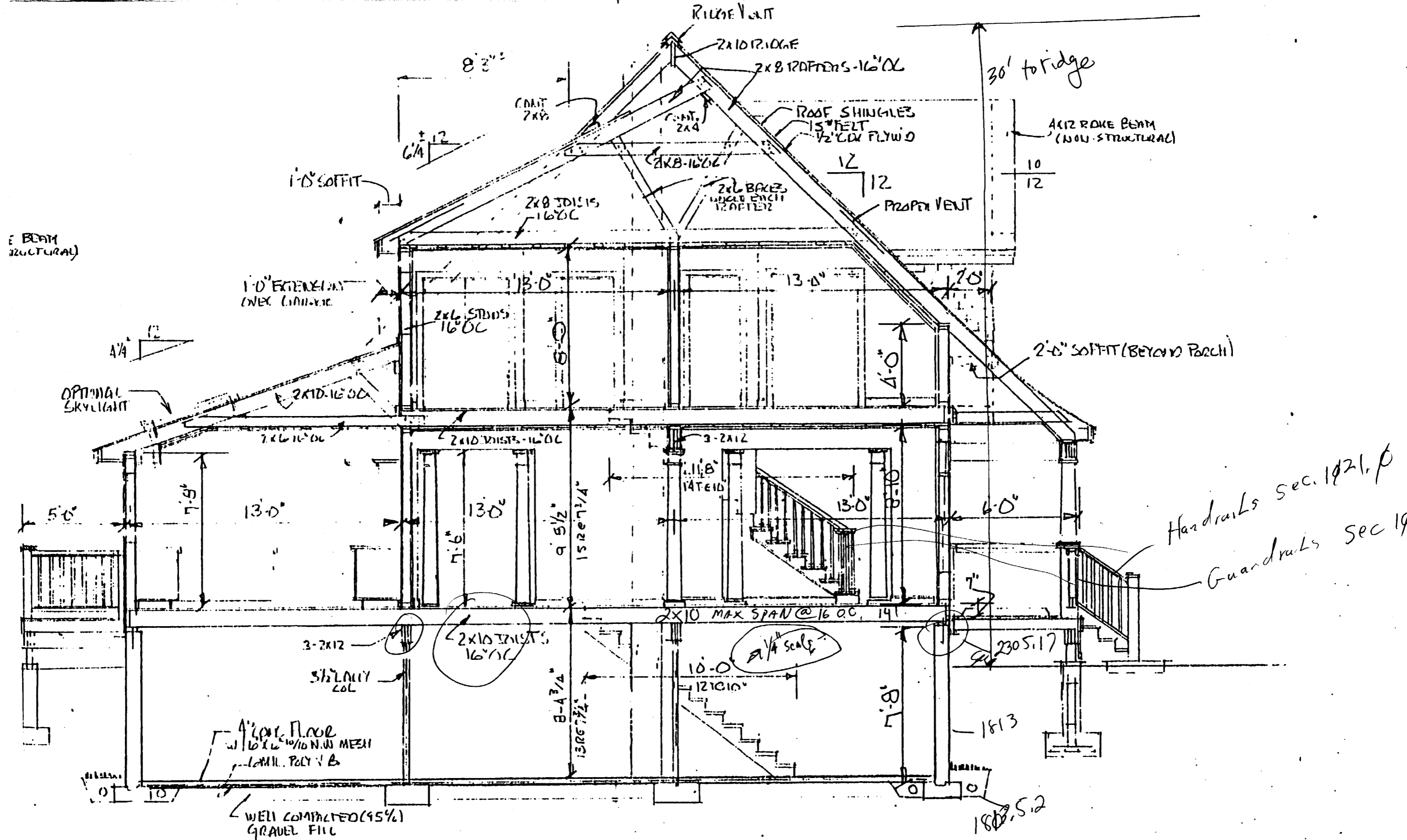
SECOND FLOOR PLAN  
 $\frac{3}{16}'' = 1'-0''$

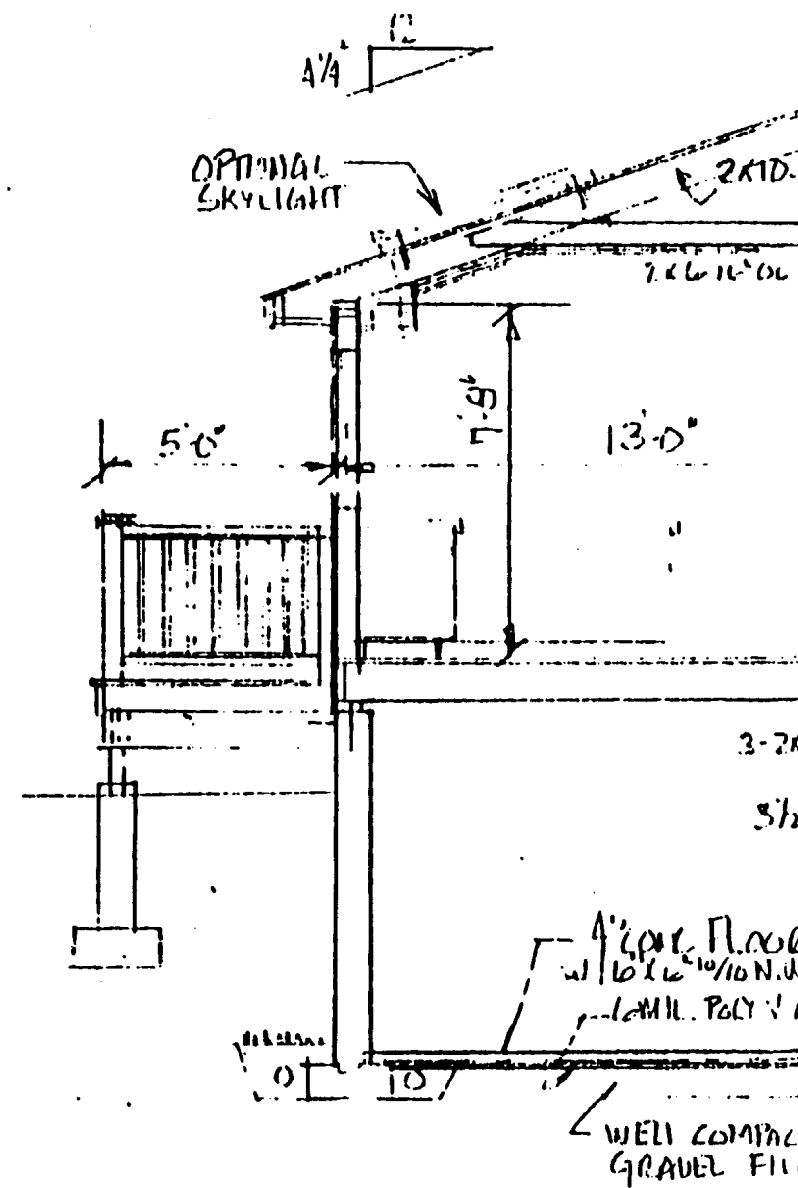
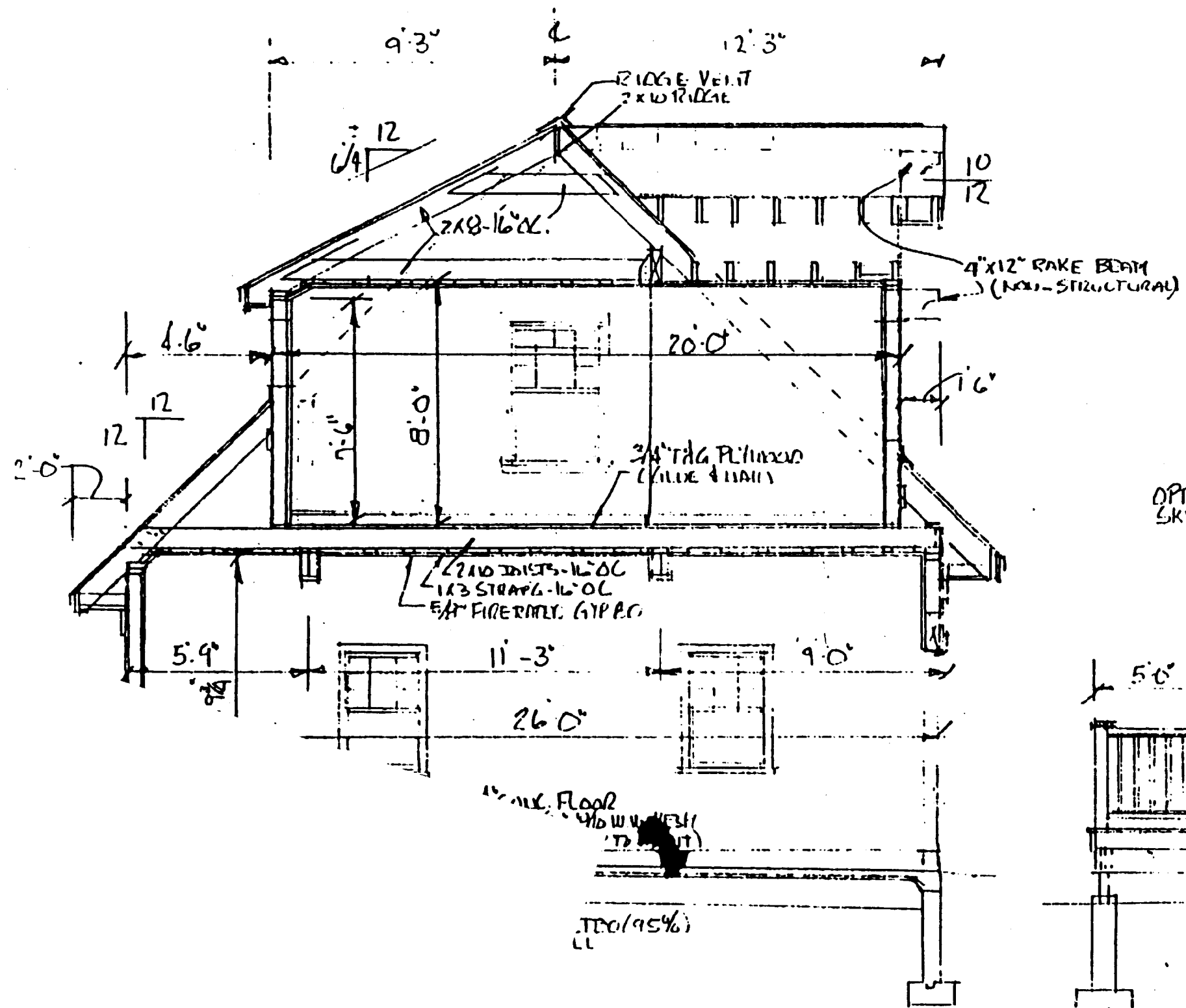


= 1014  
 - 25  
 + 533 G.  
 + 120 porch.  
 + 25  
 + 25 Balthead.  
 + 120 Deck Rear  
 + 40  
 ---  
 160

1014	1033.5	26.5 x 79
533	120.0	6 x 20 porch
120	533.0	20.5 x 26 gr
25	176.0	Pen Ent
25		
120		1875 Allowed
40		
---		
1877	1856.50	
- 25		
---		
1852		

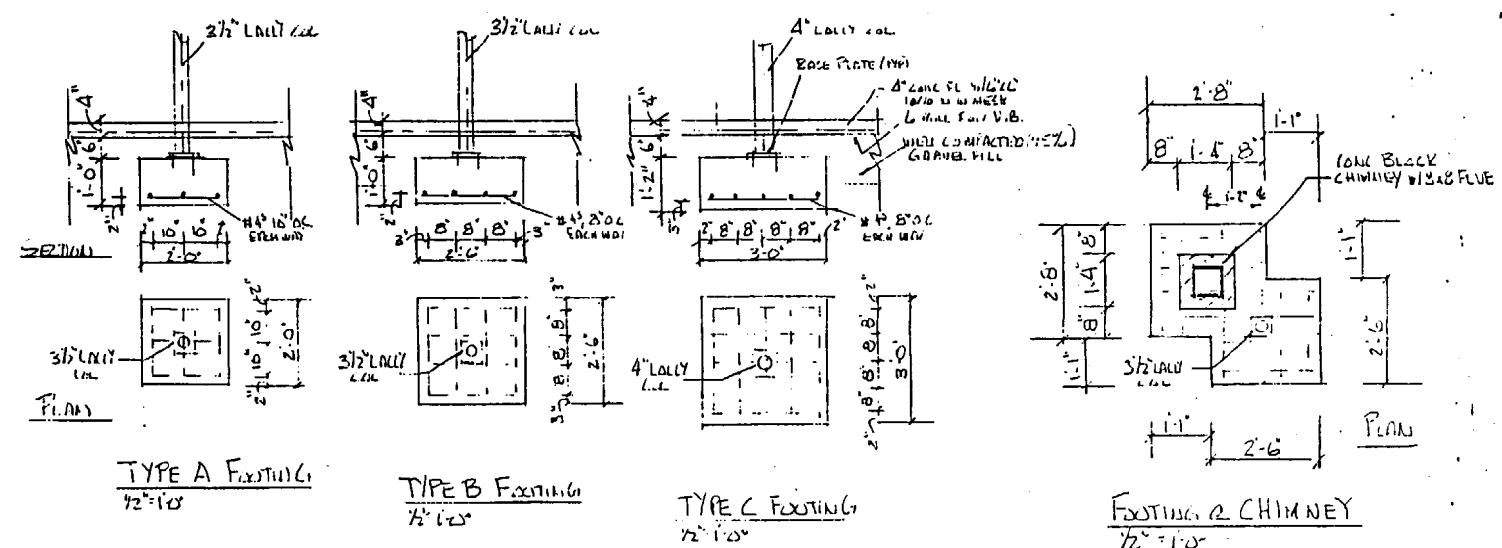
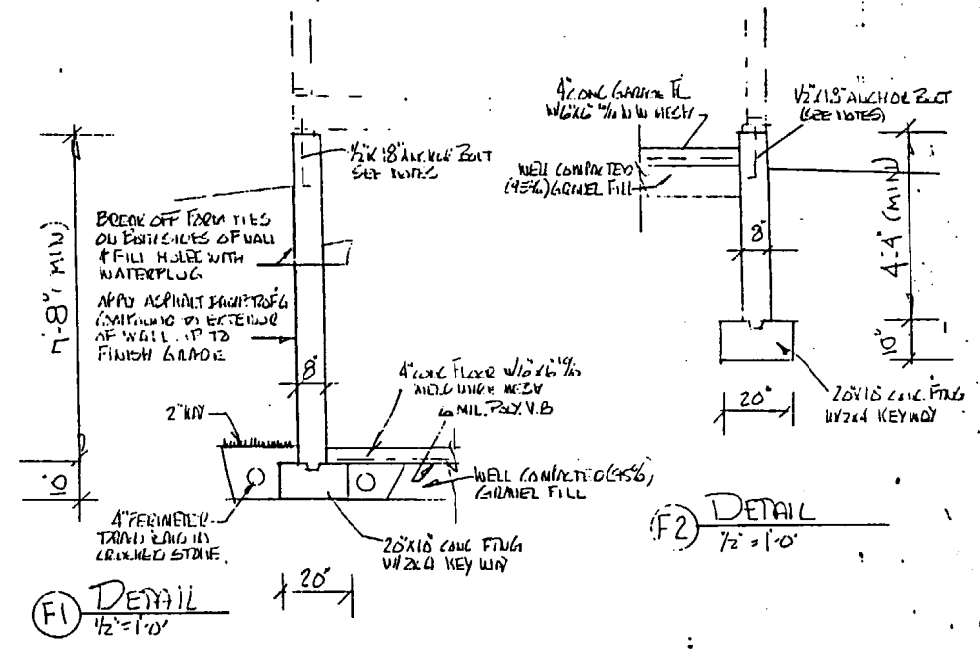
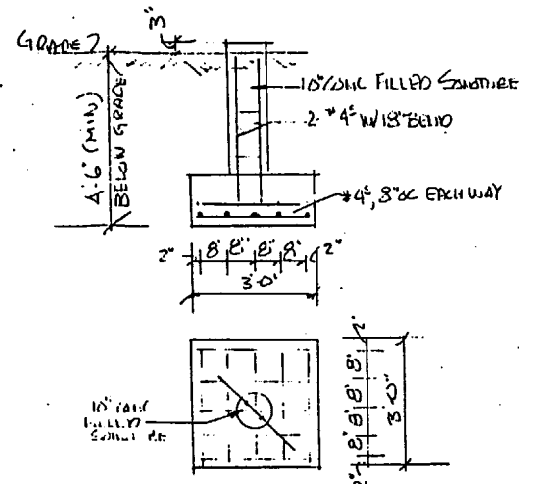
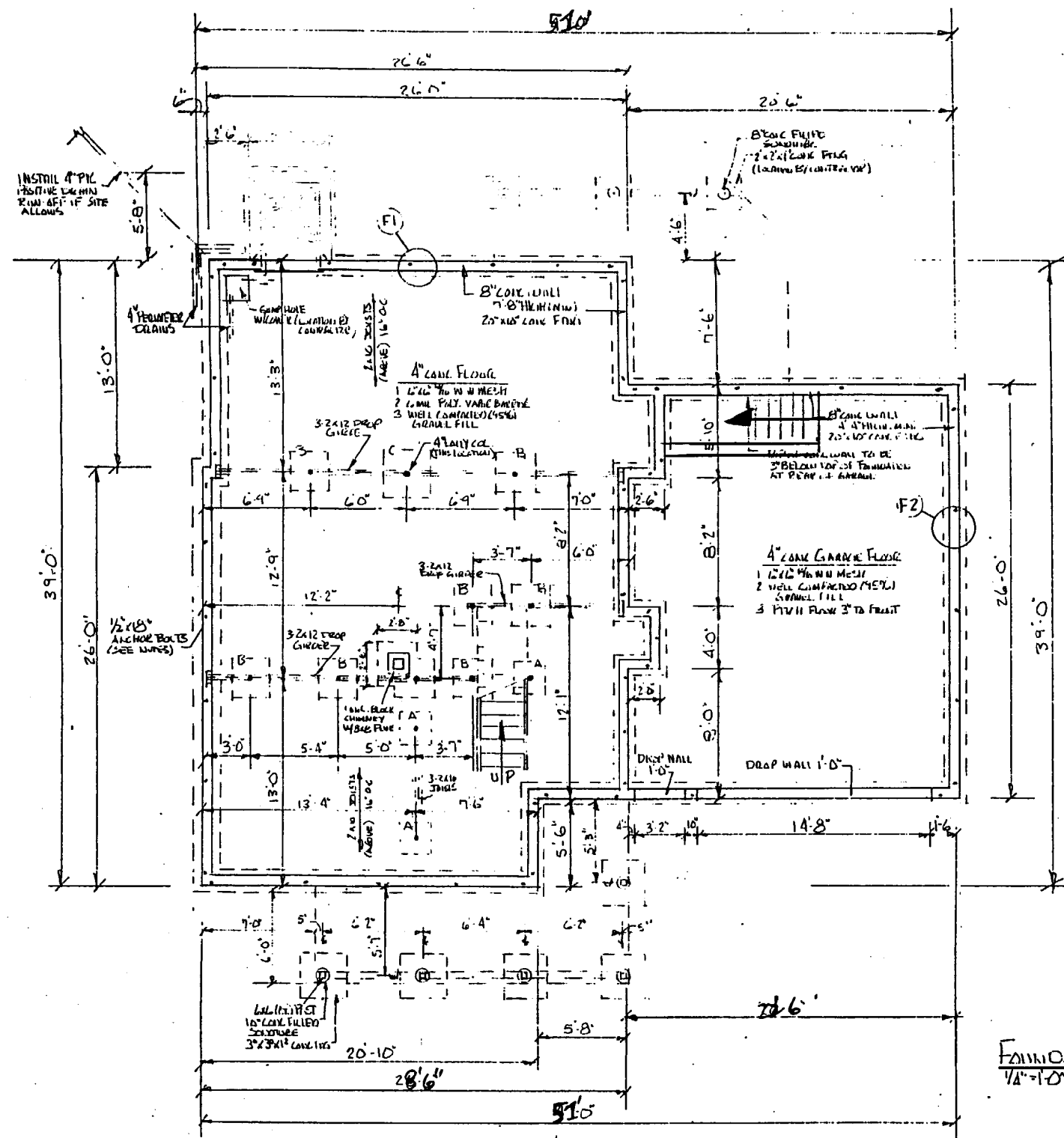


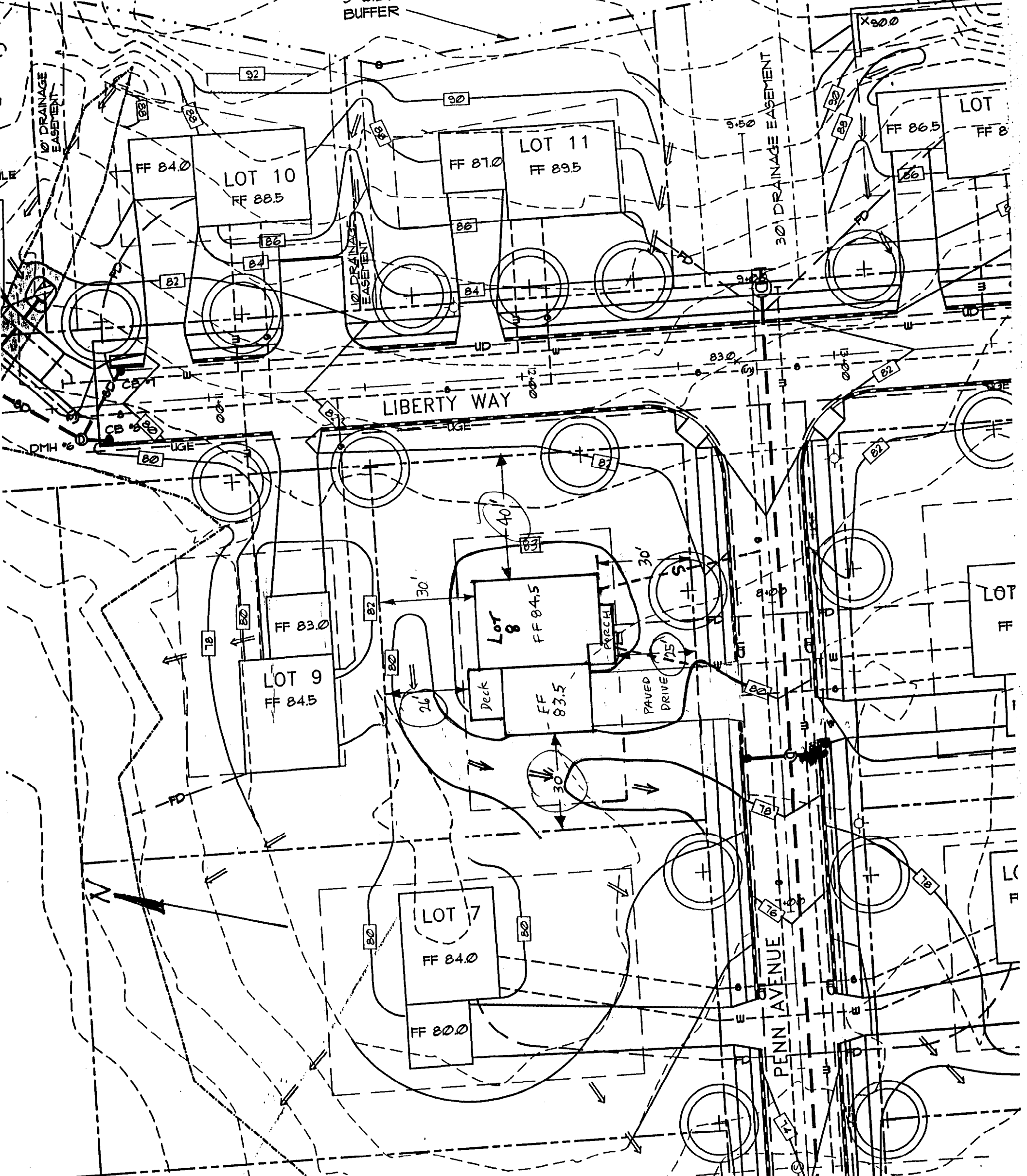




**NOTES.**

1. INSTALL  $\frac{1}{2}$ " ANCHOR BOLTS W/ 3" THREADED PROTECTORS AND 3" BARS 12" O.C. (MAXIMUM) AND 1" FROM CONCRETE. SECURE C/W HEX NUT AND WASHER.
2. MINIMUM SOIL BEARING PRESSURE IS ASSUMED TO BE 3000 LBS PER SQ FT. REINFC. TO BE INSTALLED IN FOUNDATION UNLESS SOIL CONDITIONS DICTATE.
3. FOOTINGS TO BE LOCATED BELOW FROST LINE AND BE ON STRUCTURALLY SOUND & UNDISTURBED SOILS.
4. CELLAR GIRTH UNLESS LOCATIONS TO BE DETERMINED BY CONTRACTOR. INSTALL 3 (MINIMUM) 2" DIA. SPACED @ 12" O.C.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AT 3000 PSI.
6. CONCRETE SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 5% OR MORE THAN 7%.





MONTANA ST.

LOT 8 PINES (124 Penn Ave)  
 MINOR SITE PLAN  
 PREPARED BY GREG MCCORMACK  
 MARCH 25, 2001  
 REFERENCE: CONCEPTUAL GRADING  
 PLAN BY PINKHAM + GREER,  
 NOTE: TWO TREES TO BE PLANTED  
 OR CONSERVED

DRAINAGE