

**City of Portland, Maine – Building or Use Permit Application**, 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 92 Penn Ave (Lot #3)		Owner: A & G Associates		Phone: 772-2127		Permit No: 981122	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: A & G Assoc.		Address: 426 Forest Ave Ptd, ME 04101		Phone: 772-2127		Permit Issued: OCT 2 1998	
Past Use: Vacant Land		Proposed Use: 1-fam		COST OF WORK: \$ 120,000.00		PERMIT FEE: \$ 620.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type: B	
Proposed Project Description: Construct Single Family Dwelling				Signature:		Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: MG		Date Applied For: 28 Sept 98				Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit


SIGNATURE OF APPLICANT		ADDRESS:		DATE: 29 Sept 98		PHONE:	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE						PHONE:	

**CEO DISTRICT**

2

COMMENTS

PO - 9-98 I talked to Sam about what he wants to see when talking about The Requirements Look through the plans  
 12/28/98 - Never Rec'd Call for pre-pour insp. (Owner Claims they called 12/24/98 - afternoon - We were Closed 12/24/PM) - footing & foundation were in stripped forms, backfill started on left (west-garage) side.  
 - footing, drains ok - approved site plan shows E & W sides of bldg right on 14' setback line - no lot line markers out - Spoke w/ Amy Mulkeen, developer, told her I needed foundation placement verified by an R.P.S. - Amy stated that they have added 30' to the lot but HAVE NOT YET FILED A REVISED SITE PLAN. I told Ms Mulkeen that I could not approve backfill until either the new site plan is approved OR placement is verified by an R.P.S. @  
 12/30/98 - Amy M. called Mike N. - She acknowledges that they had NOT made the Pre-Cast/Pre-pour calls. Also - They are NOT changing lot size @ this time. A.M. stated that a surveyor verification of proper foundation placement will be delivered to this office today @ - Foundation Verification Rec'd. @ 12/31/98

2/9/99 - ADVISED AMY MULKERN THAT 1ST FLOOR FRAMING FAILS TO COMPLY W/ CABO SPANS - 2x10'S - 16.0. C. 17' SPAN.  COMMUNITY

Type

Date

Foundation: \_\_\_\_\_

Framing:     \_\_\_\_\_

Plumbing: 2/16 Failed-\_\_\_\_\_

Final: \_\_\_\_\_

Other: \_\_\_\_\_

2/9-2/16

2/9/99 - w/ Kevin C - Inadequate nailing on gambrel end supports / 2x10's spanning 17' on one section in bsmt - rangers not adequately nailed tm. - Addressed issues w/ Greg McCormick - Told him not to close in.

16

Project Name: \_\_\_\_\_  
Project Address: \_\_\_\_\_

Inspection Date	Type of Inspection	Remarks - prints - page #
2/16/99 done ① done ② done ③ ④	talked to builder about framing - will add gussets on gable end framing - need to add carrying beam on 11' span in bsmnt - Need lally column under 20' span - (3-2x12's max 10'-3") Measured winders - min. 6" on int. part of bread- per section 1014.6.3 of BOCA - builder will alter this to meet code. 12" out need 10"	
2/16/99	Drainage test - lost air white on prep. - Failed test.	
2/16	Called Greg McCormick - discussed all the above - also need to file ammendment for fire box on side (right) of house - box is in setback. Relayed this to Greg McCormick	
4/14/99 9 1/2"   9 3/4"   4 1/4" spacing - Bsmnt - Cherting - Need nosing -	Garage - mud garage - garage stairs. Ballusters Cherting - outlet cover	Rear Stairs - Risers Deck - nail hangers 32 1/2" guard around front. 871-8695 fax

Post-it® Fax Note	7671	Date	4/22/99	# of pages	▶ 1 of 1
To	AMY MULKERIN	From	KEVIN CARROLL		
Co./Dept.	A&G ASSOC	Co.	City of Portland		
Phone #	772-2127	Phone #	874-8708		
Fax #	871-8695	Fax #	874-8716		

## MEMORANDUM

**TO:** Code Enforcement  
Kandi Talbot, Planner

**FROM:** Jim Wendel, PE, Development Review Coordinator

**DATE:** April 6, 1999

**RE:** Request for Certificate of Occupancy  
92 Penn Avenue (Lot 3)

On April 5, 1999 the site was reviewed for compliance with the conditions of approval dated 9/29/98. My comments are:

- Done @ 4/20*
1. The street number must be placed on the house.
  2. The final site work could not be completed due to the time of year. This work must be completed by May 30, 1999.
  3. A MeDEP NRPA Tier 1 and Army Corps permit for wetland filing has been granted; however, the erosion control provisions of the permit have not been complied with. This work must be completed immediately and for the two lots that were granted the permit. The City approval also requires the use of erosion control measures.
- outstanding  
4/22/99 @ \**
- Done @ 4/20*

It is my opinion that no certificate of occupancy should be granted until items 1 and 3 have been properly completed.



CITY OF PORTLAND  
Planning and Urban Development Department

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MEMORANDUM

**TO:** Code Enforcement  
**FROM:** Jim Wendel, Development Review Coordinator  
**DATE:** April 14, 1999  
**SUBJECT:** Request for Certificate of Occupancy  
92 Penn Avenue (lot 3)

On April 9, 1999 I reviewed the site for completion of conditions outlined in a memo to code enforcement and Kandi Talbot, dated April 6, 1999, with regard to a request for a Certificate of Occupancy. My comments are:

1. Item 3 of the referenced memo has been satisfactorily completed.

It is my opinion that when **item 1 of the referenced memo is completed a temporary Certificate of Occupancy could be granted** assuming Code Enforcement has no outstanding issues.

10:30

- 4/14/99
- ① Seal penetrations in Garage ceiling OK
  - ② Garage stairs - max  $7\frac{3}{4}$ " rise  
( $9\frac{1}{2}$ " +  $9\frac{3}{4}$ " now) OK
  - ③  $4\frac{1}{4}$ " spacing on balusters on int. stairs OK
  - ④ Smoke det. chirping in bsmnt. OK
  - ⑤ Need  $3\frac{1}{4}$ " to  $1\frac{1}{4}$ " nosing on bsmnt stairs. OK
  - ⑥ Junction box cover missing - bsmnt NO
  - ⑦ Provide risers on rear deck stairs SO
  - ⑧ Finish nailing hangers on rear deck. OK
  - ⑨  $32\frac{1}{2}$ " guard on front stairs - needs to  
be  $36$ " OK
  - ⑩ Provide graspable handrail on rear deck. OK

92 Penn.  
all but # 6 OK  
4/20/99

TAMMY

Greg Mc Cormick

Re: 92 Pen Ave

772-2127

He had a message on my  
Voice Mail after you left  
He called at 1:30 for a  
framing insp. — ???

I left a message for  
him to call you —  
Mike also talked w/ Amy M.

R

# PLUMBING APPLICATION

Department of Human Services  
Division of Health Engineering

405-A-C-032

## PROPERTY ADDRESS

Town Or Plantation: Portland  
Street Subdivision Lot #: 92 Penn Av #3

## PROPERTY OWNERS NAME

Last: Mulkerin First: Amy  
Applicant Name: James Cedaro  
Mailing Address of Owner/Applicant (if Different): 28 Tenney Ln Scarborough Me

**Caution: Permit Required**

PORTLAND  
Date Permit Issued: 2/16/99 PERMIT # 6767 STATE COPY  
\$ 60 FEE  If Double Fee Charged  
L.P.I. # 0124  
Local Plumbing Inspector Signature: \_\_\_\_\_

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.  
[Signature] 2-16-99  
Signature of Owner/Applicant Date

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature \_\_\_\_\_

Date Approved \_\_\_\_\_

## PERMIT INFORMATION

This Application is for	Type Of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>17632</u>

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.  PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	<u>2</u>	Hosebibb / Sillcock	<u>1</u>	Bathtub (and Shower)
		Floor Drain	<u>1</u>	Shower (Separate)
		Urinal	<u>1</u>	Sink
		Drinking Fountain	<u>4</u>	Wash Basin
		Indirect Waste	<u>3</u>	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	<u>1</u>	Clothes Washer
		Grease / Oil Separator	<u>1</u>	Dish Washer
		Dental Cuspidor	<u>1</u>	Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
<b>OR</b>  TRANSFER FEE [\$6.00]	<b>Fixtures (Subtotal) Column 2</b>		<u>13</u>	<b>Fixtures (Subtotal) Column 1</b>
			<u>2</u>	<b>Fixtures (Subtotal) Column 2</b>
			<u>15</u>	<b>Total Fixtures</b>
			\$	<b>Fixture Fee</b>
			\$	<b>Transfer Fee</b>
		\$	<b>Hook-Up &amp; Relocation Fee</b>	
		\$ <u>60.</u>	<b>Permit Fee (Total)</b>	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



where the bottom riser adjoins a sloping public way, walk or driveway which has an established grade and serves as a landing, a variation in the height of the bottom riser shall not exceed 3 inches (76 mm) in every foot (914 mm) of stairway width.

in stairways serving as aisles in assembly seating, where necessitated by changes in the gradient of adjoining seating areas to maintain adequate sightlines, the maximum nonuniformity of riser heights within a flight and the nonuniformity between adjacent risers shall not exceed 3/16 inch (5 mm). Where a nonuniformity exists between adjacent risers, the exact location of the nonuniformity shall be indicated with a distinctive marking stripe on each tread at the nosing or leading edge adjacent to the nonuniform risers.

Dimensional uniformity in the design and construction of stairways contributes to safe stairway use. In ascending or descending a stair, a user sets a natural pace or rhythmic movement based on the unconscious expectation or "feel" that each step taken will be at the same height and that each step will land in approximately the same balanced position on the tread as the previous steps in the pattern. Any substantial change in tread or riser dimensions in a flight of stairs can break the rhythm and cause a misstep, stumbling or undue physical strain which may result in a fall or serious injury. In emergency situations, building occupants tend to use stairs at a faster pace than under normal conditions, increasing the risk to the user. Therefore, this section limits the dimensional variations that can occur between adjacent treads or risers to a nominal 3/16 inch with an overall tolerance of 3/8 inch

between the largest and smallest riser or tread dimension in a flight of stairways (see Figure 1014.6.2).

For special conditions of construction and as a practical matter, this section allows some greater variations in stairway tread and riser dimensions than the general limitations specified above. Exception No. 1 addresses the situation where the bottom riser of a flight of stairways meets a sloped landing such as a public way, walk or driveway. Exception No. 2 addresses conditions where the seating in assembly facilities is on a sloping gradient (for sightline purposes) and the stairways become an integral part of the aisle arrangement (see Section 1012.4). In situations where such nonuniformity exists, the nosing of the tread must be clearly marked in either a special pattern marking or distinctive lighting strip to enable the user to identify the location of the step.

**1014.6.3 Winders:** Winders shall not be permitted in required means of egress stairways except in occupancies in Use Group R-3 and stairways serving a single dwelling unit. Such winders shall have a tread depth of not less than 9 inches (229 mm) at a point not more than 12 inches (305 mm) from the side where the tread is narrower and the minimum tread depth shall not be less than 6 inches (152 mm).

■ This section specifies the minimum dimensional requirements for the construction of stairway winders. Winders are used to form a bend in a flight of stairways to change the direction of the run.

The risk of injury in the use of stairways constructed with winders is greater than for stairways constructed as straight runs. This is particularly true in emergency situations where the rate of travel up or down a stairway is increased from the pace set under normal conditions of stairway use.

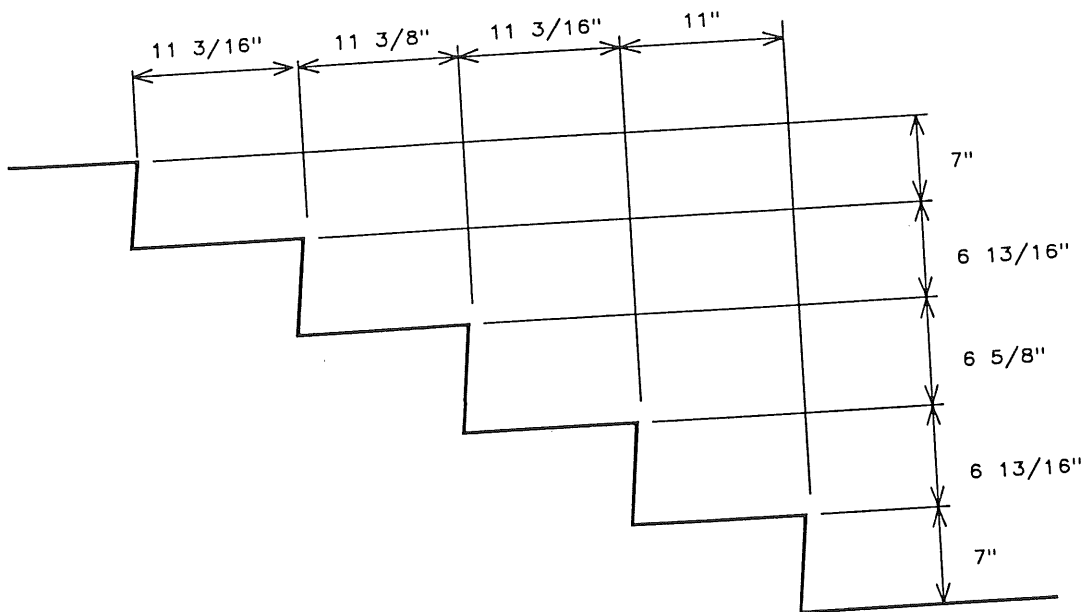


Figure 1014.6.2  
TYPICAL DIMENSIONAL TOLERANCES FOR RISER TREAD CONSTRUCTION

The employment of winders in stairway construction creates a special hazard because of the tapered configuration of the treads. For example, a person descending a straight flight of stairways will set up a natural cadence or rhythmic movement (see commentary, Section 1014.6.2). However, in a stairway constructed with winders, the rhythmic movement of descent is suddenly disturbed when the section of stairway with the winders is reached. Because of the tapered treads, the horizontal distance traveled by each of the footsteps nearest the radial center of the winding section is necessarily shorter than the distance that must be traveled by each if the footsteps are nearest the periphery or outer edge of the stairway (see Figure 1014.6.3). This condition sets up an eccentric movement. The hazard is further amplified because the inner footsteps (nearest to the radial center of the turn) must land on those portions of the tapered treads that are smaller in depth than the portions receiving the outer footsteps.

Because of the inherent dangers of stairways with winders, this section prohibits winders except in Use Group R-3 or stairways serving a single dwelling unit. This section does not prohibit winders from being used in stairways that are not a required means of egress.

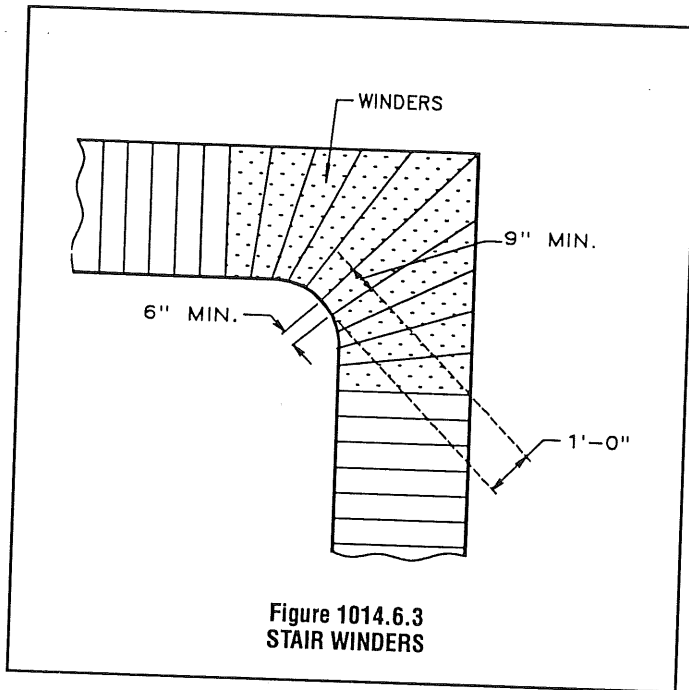


Figure 1014.6.3  
STAIR WINDERS

**1014.6.4 Spiral stairways:** Spiral stairways shall not be used as an element of a means of egress except: in occupancies in Use Group R-3; within a single dwelling unit; from a mezzanine area not more than 250 square feet (23.25 m<sup>2</sup>) in area which serves not more than five occupants; and in penal facilities from a guard tower, observation station or control room not more than 250 square feet (23 m<sup>2</sup>) in area. The minimum width of all spiral stairways shall be 26 inches (660 mm) with each tread having a 7½-inch (191 mm) minimum tread depth at 12 inches (305 mm) from the narrow edge. All treads shall be identical and the rise shall not be more than 9½ inches (241 mm). A minimum headroom of 6 feet 6 inches (1981 mm) shall be provided.

■ Spiral stairways are generally constructed with a fixed pole which serves as either the primary or the only support from which pie-shaped treads radiate to form a stairway.

The commentary to Section 1014.6.3 regarding the centrality of movement on stairways with winders also applies to spiral stairways. The nature of stairway construction that it does not serve well when used in emergencies that require immediate evacuation nor does a spiral stairway configuration permit the handling of a large occupant load in an efficient and safe manner. Therefore, this section allows only limited use of spiral stairways. They are permitted as a means of egress only in occupancies in Use Group R-3 and within single dwelling units. Spiral stairways are also permitted to be used as a means of egress from mezzanines or special penal security space areas of 250 square feet or less and serving not more than five occupants. Like stairways with winders, spiral stairways are not permitted to be used in any occupancy as long as such stairways are not a component of a required means of egress.

Spiral stairways are required to have dimensional uniformity. Treads must be at least 26 inches wide and the depth of the treads must not be less than 7½ inches measured at a point that is 12 inches out from the narrow edge (see Figure 1014.6.4). The heights are required to be the same throughout the stairway and are not to exceed 9½ inches. A minimum headroom of 6 feet 6 inches is required.

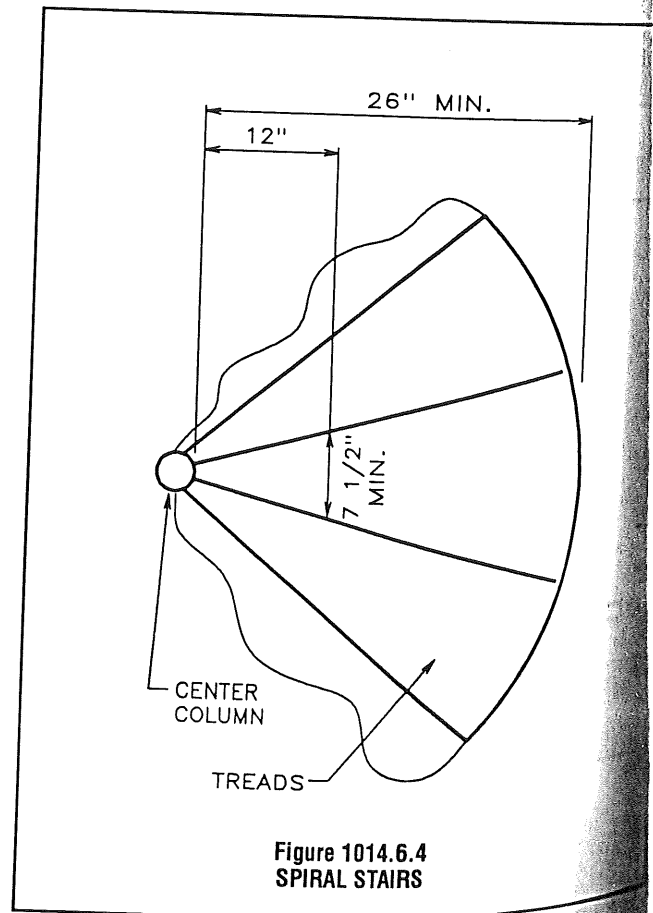


Figure 1014.6.4  
SPIRAL STAIRS

BUILDING PERMIT REPORT

DATE: 30 Sept. 98 ADDRESS: Penn Ave Lot #3 CBL 405A-C-030  
 REASON FOR PERMIT: To Construct a single Family Dwelling  
 BUILDING OWNER: A. & G. ASSOCIATES  
 CONTRACTOR: A & G.  
 PERMIT APPLICANT: ↑  
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

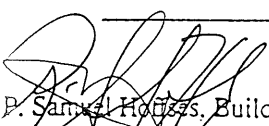
This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*2, \*2.5, \*2.6, \*5, \*6, \*8, \*9, \*10, \*11, \*12, \*16, \*23, \*24, \*25, \*26, \*27, \*29, \*30, \*31, \*32

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- \*2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1313.5.2
- \*2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" <sup>From</sup> ~~from~~ corners of foundation and a maximum 6'o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height

not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. ( Section 1018.6 )

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- \*16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 9.920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- \*23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- \*24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- \*25. All requirements must be met before a final Certificate of Occupancy is issued.
- \*26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- \*27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). ( Chapter M-16 )
28. Please read and implement the attached Land Use-Zoning report requirements.
29. *Before work begins, a statement of design must be submitted to this office for the proposed Lign Rooms or steel beams shown on you application plans*
- \*30. *Water proofing & damp proof shall be done in accordance with section 1813.0 of The bldg. Code*
- \*31. *Bridging shall be done in accordance with section 2305.16 of The Code*
- \*32. *Druidg, cutting and Notching shall meet the requirements of sections 2305.2.1, 2305.3 and 2305.4.4 of The bldg. Code.*
32. *Glass & glazing shall be done in accordance with chapter 24 of The bldg. Code.*

  
P. Samuel Hoffzys, Building Inspector

cc: Lt. McDougall, PFD  
Marge Schmuckal, Zoning Administrator



REPLY TO  
ATTENTION OF

DEPARTMENT OF THE ARMY  
NEW ENGLAND DISTRICT, CORPS OF ENGINEERS  
696 VIRGINIA ROAD  
CONCORD, MASSACHUSETTS 01742-2751

*M. Lee Nugent*

Regulatory Branch  
CENAE-CO-R-51

September 28, 1998

A & G Associates  
426 Forest Avenue  
Portland, Maine 04101

Gentlemen:

This letter concerns your development of a residential subdivision(s) off Virginia Street at Portland, Maine. I would like to explain Corps of Engineers jurisdiction and to insure that you do not perform any filling in wetlands or waters under Corps jurisdiction without first obtaining the necessary permits.

As you are no doubt aware, our regulatory jurisdiction in this area encompasses all activities involving the discharge of dredged or fill material below the ordinary high water mark in all waters of the United States. Waters of the United States include navigable waters, inland rivers, lakes and streams and their adjacent wetlands, and isolated wetlands.

The construction of Penn Street Extension and its crossing of an unnamed stream and adjacent wetland required a Corps permit. However, since less than 4300 square feet of wetland was filled for the crossing, this activity qualified for the non-reporting category of our Maine Programmatic General Permit (attached). I should note however, that our site visit revealed that you still need to install the 4'x 6' concrete box culvert referenced in your DEP application as soon as possible to minimize impacts to the stream.


We understand from the DEP that although the subdivision plan depicts lots in wetlands, you no longer propose the development of those lots. Only lots containing sufficient developable uplands will be developed. I believe that was a wise decision. You should be aware for future reference that the Corps does not generally permit the development of lots which are all or largely wetland. I recommend that you clearly identify all wetland boundaries on site and on your plans so that contractors and future homeowners are aware of these restrictions and do not find themselves in an enforcement situation.

We also understand from a concerned neighbor that you may pursue similar developments on the "paper streets" to the northeast. I **strongly** suggest that you schedule a meeting as soon as possible with us and the DEP to discuss your plans. It is in all of our interests to avoid piecemealing. Developing a comprehensive application avoids and minimizes wetland and waterway impacts to the maximum extent possible and reduces regulatory burdens on you.

I must point out that violations of the Clean Water Act are punishable by civil and/or criminal fines up to \$25,000 per day of violation (up to \$50,000 per day for criminal fines) and possible imprisonment. In addition, any unauthorized work or fill is subject to complete removal and restoration.

Should you have any questions, please contact me at 207-623-8367 at our Manchester, Maine Project Office.

Sincerely,

  
Jay L. Clement  
Project Manager  
Maine Project Office

Copies Furnished:  
Office of Environ. Stewardship - USEPA  
Mike Clark/Dawn Hallowell - MEDEP  
Planning Dept. - City of Portland  
Jeffrey Langholtz



Inspection Services  
Michael J. Nugent  
Manager



CITY OF PORTLAND

page  
Kevin  
405A-C-032 (?)

STOP WORK NOTICE

July 27, 1998

AMY MULKERN  
A & G ASSOCIATES  
426 Forest Av  
Portland, Me., 04101

KTO Builders  
Tony Vance  
13 Varney Mill Rd  
Windham, ME 04062

Re: 92 Penn Av (405A-C-30)  
109 Huntington Ave (410-F-021)

Certified Mail Receipt # P 506 964 906

MS. MULKERN  
Dear Mr. Vance,

92 Penn Av on 12/28/98 @ 4:45 PM

An evaluation of your property at 109 Huntington Ave on 07/24/98 @ 12 Noon revealed that the structure fails to comply with Section 111.3 of the 1996 BOCA Code of the City of Portland.

SITE PLAN WORK

Pursuant to our telephone conversation @ 8:10 AM this date and our meeting in room 315 of Portland City Hall @ 9:40 AM this date you have:

4:45pm 12/28/98 you HAVE CHANGED the

- 1) roughed in a 2 1/2 story 26' x 34' structure while approved plans depict a 1 1/2 story 24' x 34' structure.
- 2) failed to provide this office with a list of all sub-contractors with addresses and telephone numbers in accordance with item #30 of the Building Permit Report which was attached to and is a requirement of permit #980506.

Both these actions are violations of Section 111.3 of the 1996 BOCA Code.

LOT SIZE ~~AND~~ <sup>ISA</sup> without Ammending The Approved Site PLAN

This is a **STOP WORK ORDER** pursuant to Section 117.1 of the Building Code (1996 BOCA). All construction activity must Stop immediately.

Therefore, you are required to submit amended ~~construction and site~~ <sup>plot</sup> plans to this office for review and approval. You must also submit a list of all subcontractors on the job with their addresses and telephone numbers. When you have received approval of the amended plans and submitted the requested subcontractor information you may request removal of the "STOP WORK" order.



Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. ss 4452.

This constitutes an appealable decision pursuant to Section 121.5 of the Code. Please feel free to contact me at 874-8693, if you wish to discuss the matter or have any questions.

Sincerely,

Kevin W. Carroll  
Code Enforcement Officer  
cc/Central File  
Joseph Gray

Applicant: Amy Mulken

Date: 10/1/98

Address: 92 Penn Ave (lot #3)

C-B-L: 40

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Street to be completed to City Standards prior to occupancy.

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct 2 story dwelling with 2 story Attached Garage

Sewage Disposal - City

Lot Street Frontage - 50 req - 90' shown

Front Yard - 25' req - 25'

Rear Yard - 25' req

Side Yard - 14' req

Projections - front porch - 10/1/98 side stairs to rear

Width of Lot - 75' req - 90' shown

Height - 2 story shown

Lot Area - 6,500<sup>sq</sup> req 9,000<sup>sq</sup> shown

Lot Coverage/ Impervious Surface - 25% = 2250<sup>sq</sup>

Area per Family - 6,500<sup>sq</sup>

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Zone C Panel 2

Handwritten calculations:

$$34 \times 30 = 1020$$

$$22 \times 30 = 660$$

$$1680^{sq}$$

BK13774PG212

024443

QUITCLAIM DEED

MAINE REAL ESTATE TAX PAID

KNOW ALL PERSONS BY THESE PRESENTS, that the City of Portland, a body politic and corporate in the County of Cumberland, State of Maine, in consideration of one dollar (\$1.00) and other valuable consideration paid by Amy K. Mulkerin and Gregory T. McCormack, tenants in common, of 426 Forest Avenue, Portland, County of Cumberland, State of Maine, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey and forever quitclaim to the said Amy K. Mulkerin and Gregory T. McCormack, their heirs, successors and assigns, a certain lot or parcel of land described in Schedule A, attached hereto and incorporated herein by reference

IN WITNESS WHEREOF, the said City of Portland has hereunto caused this instrument to be signed by Duane G. Kline, its duly authorized Director of Finance this 23th day of April, 1998.

CITY OF PORTLAND

[Signature]  
Witness

By [Signature]  
Duane G. Kline  
Director of Finance

STATE OF MAINE  
CUMBERLAND, ss

April 25, 1998

Personally appeared the above-named Duane G. Kline in his capacity as the Director of Finance of the City of Portland, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of the City of Portland.

Before me,

[Signature]  
Notary Public/Attorney at Law  
JENNIFER L. BABCOCK  
Notary Public, Maine  
~~My Commission Expires 6-28-03~~

SEAL

Printed Name

025100231101010

BX 1377490213

SCHEDULE A

Certain lots or parcels of land located in the City of Portland as shown on the maps of the Tax Assessor for the City of Portland for the fiscal year 1998 on file in the office of the Tax Assessor, said lots acquired by virtue of the foreclosure of real estate tax liens. Meaning and intending to convey the lots described as follows:

<u>Lot #</u>	<u>Tax Lien Recorded in:</u>
400A 20-25 & 39-47	Book 9595 Page 197
	Book 10116 Page 269
	Book 10750 Page 321
	Book 11472 Page 157
	Book 11949 Page 38
	Book 12568 Page 172
404F 11-22 & 27-28	Book 13159 Page 76
	Book 9595 Page 206
	Book 10116 Page 278
	Book 11750 Page 349
	Book 11472 Page 166
	Book 11949 Page 47
404F 29-38	Book 12568 Page 181
	Book 13141 Page 223
	Book 9595 Page 207
	Book 10116 Page 279
	Book 10751 Page 1
	Book 11472 Page 167
404H 7-8, 23-24	Book 11949 Page 48
	Book 12568 Page 182
	Book 13141 Page 224
	Book 9595 Page 209
	Book 10116 Page 281
	Book 10731 Page 7
	Book 11472 Page 169
	Book 11949 Page 50
	Book 12568 Page 184
	Book 13141 Page 226

09/15/98 02:44 FAX

04

EX 13774PG214

<u>Lot #</u>	<u>Tax Lien Recorded in:</u>
404I 1-31	Book 9595 Page 211 Book 10116 Page 233 Book 10751 Page 13 Book 11472 Page 171 Book 11949 Page 121 Book 12568 Page 186 Book 13141 Page 223
404L 1-14	Book 9595 Page 213 Book 10116 Page 233 Book 10751 Page 19 Book 11472 Page 173 Book 11949 Page 123 Book 12568 Page 183 Book 13141 Page 230
405A B1-13	Book 9595 Page 213 Book 10116 Page 233 Book 10751 Page 19 Book 11472 Page 173 Book 11949 Page 123 Book 12568 Page 183 Book 13141 Page 230
405A C8-10 & 27-30	Book 9595 Page 227 Book 10116 Page 239 Book 10751 Page 55 Book 11472 Page 187 Book 11949 Page 137 Book 12568 Page 202 Book 13141 Page 244
405A F8-19	Book 9595 Page 227 Book 10116 Page 239 Book 10751 Page 55 Book 11472 Page 187 Book 11949 Page 137 Book 12568 Page 202 Book 13141 Page 244

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19980127  
I. D. Number

**A & G Associates**

Applicant

426 Forest Ave, Portland, ME 04101

Applicant's Mailing Address

**Amy Mulkerin**

Consultant/Agent

772-2127                      871-8695

Applicant or Agent Daytime Telephone, Fax

9/28/98

Application Date

92 Penn Ave (Lot #3)

Project Name/Description

Address of Proposed Site

405a-C-030+

Assessor's Reference: Chart-Block-Lot

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**DRC Conditions of Approval**

Approved subject to Site Plan Review (Addendum) Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 92 Penn Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on-site. Silt fence shall be placed along the down gradient disturbed area. The brook must be protected.

A swale shall be constructed along the westerly property line. It must slope to the rear of the property since the proposed grade of the road is higher than the lot.

The approval is based on no daylight basement. An amended plan must be submitted for review if any changes to the site plan are proposed by the applicant.

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**Planning Conditions of Approval**

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**Inspections Conditions of Approval**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19980127

I. D. Number

**A & G Associates**

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Applicant's Mailing Address

**Amy Mulkerin**

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**772-2127**

**871-8695**

Applicant or Agent Daytime Telephone, Fax

9/28/98

Application Date

**92 Penn Ave (Lot #3)**

Project Name/Description

Address of Proposed Site

**405a-C-030+**

Assessor's Reference: Chart-Block-Lot

- 
1. Separate permits shall be required for future decks, sheds, pools, and/or garage.
  2. Prior to any occupancy permit issuance, the road in front of this dwelling shall be up to City Standards.
  3. As per our conversation on 10/1/98, the right side stairs shall be relocated to the rear so that the side setback of 14' can be met.
- A new plot plan shall be submitted prior to construction to reflect this change.
- 

**Fire Conditions of Approval**

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

19980127  
I. D. Number

**A & G Associates**

Applicant

426 Forest Ave, Portland, ME 04101

Applicant's Mailing Address

Amy Mulkerin

Consultant/Agent

772-2127 871-8695

Applicant or Agent Daytime Telephone, Fax

9/28/98

Application Date

92 Penn Ave (Lot #3)

Project Name/Description

Address of Proposed Site

405a-C-030+

Assessor's Reference: Chart-Block-Lot

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Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

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A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on-site. Silt fence shall be placed along the down gradient disturbed area. The brook must be protected.

A swale shall be constructed along the westerly property line. It must slope to the rear of the property since the proposed grade of the road is higher than the lot.

The approval is based on no daylight basement. An amended plan must be submitted for review if any changes to the site plan are proposed by the applicant.

**Planning Conditions of Approval**

**Inspections Conditions of Approval**



CITY OF PORTLAND, MAINE  
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.



**CITY OF PORTLAND**  
**Planning and Urban Development Department**

**MEMORANDUM**

**TO:** Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner

**FROM:** James Seymour, Acting Development Review Coordinator

**DATE:** April 5, 1995

**SUBJECT:** Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (ie. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

**CITY OF PORTLAND, ME  
BOCA 1996 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$120,000.00 Plan Review # \_\_\_\_\_  
 Fee: 620.00 Date: 30 Sept. 98

Building Location: Penn Ave. LOT #3 CBL: 405A-C-030

Building Description: Single Family Dwelling with attached garage

Reviewed by: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

\*NR: Not Required      NA: Not Applicable      SR: See Report      X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan requirements must be completed before a Certificate of occupancy can or will be issued	111.4
2.	Foundation drains	1813.5.2
3.	water proofing and damp proofing	1813.0
4.	Foundation anchor	2305.17
5.	Private garage	407.
6.	Chimneys and vents	NFPA 211
7.	Guards & handrails	1021.6 1022.
8.	STAIRS	1014.0
9.	Egress windows	1018.6
10.	Smoke detectors	920.3.2
11.	Electrical and Plumbing permits	
12.	Fastening Schedule	TABLE 2305.2

REV: PSH 6-28-98

Correction List		
NO:	Description	Code Section
13.	Ventilation	Chapter 16
14.	Bridging	2305.16
15	Cutting/Boring and Notching	2305.5.1 2305.3 2305.4.4

rev:PSH 6-28-98



## Foundations (Chapter 18)

### Wood Foundation (1808)

NA Design  
NA Installation

### Footings (1807.0)

OK Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.

NA Insulated footing provided

OK Soil bearing value (table 1804.3)

OK Footing width

OK Concrete footing (1810.0) .3.1, 3.2

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\_\_\_\_\_

### Foundation Walls

OK Design (1812.1)

OK Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)

SR Water proofing and damp proofing Section 1813

OK Sill plate (2305.17)

SR Anchorage bolting in concrete (2305.17)

OK Columns (1912)

SR Crawl space (1210.2) Ventilation

SR Crawl opening size (1210.2.1)

SR Access to crawl and attic space ( 1211.0 )

\_\_\_\_\_

### Floors (Chapter 16-23)

OK Joists - Non sleeping area LL40PSF (Table - 1606)

OK Joists - Sleeping area LL30PSF (Table - 1606)

OK Grade

OK Spacing

OK Span

OK Girder 4" bearing 2305.6.1

### Floors (contd.)

- ~~OK~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
  - ~~SR~~ Bridging (2305.16)
  - ~~SR~~ Boring and notching (2305.5.1)
  - ~~SR~~ Cutting and notching (2305.3)
  - ~~SR~~ Fastening table (2305.2)
  - ~~NA~~ Floor trusses (AFPANDS Chapter 35)
  - ~~OK~~ Draft stopping (721.7)
  - ~~OK~~ Framing of openings (2305.11) (2305.12)
  - ~~OK~~ Flooring - (2304.4) 1" solid - 1/2" particle board
  - ~~OK~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_  
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### Wall Construction (Chapter 2300)

- ~~OK~~ Design (1609) wind loads
- ~~OK~~ Load requirements
- ~~OK~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~OK~~ Wall framing (2305.4.1)
- ~~OK~~ Double top plate (2305.4.2)
- ~~OK~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~OK~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~OK~~ Wind bracing (2305.7)
- ~~OK~~ Wall bracing required (2305.8.1)
- ~~OK~~ Stud walls (2305.8.3)
- ~~OK~~ Sheathing installation (2305.8.4)
- ~~OK~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~OK~~ Exterior wall covering (Chapter 14)
- ~~OK~~ Performance requirements (1403)
- ~~OK~~ Materials (1404)
- ~~OK~~ Veneers (1405)
- ~~OK~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- ~~OK~~ Roof rafters - Design (2305.15) spans
- ~~OK~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~OK~~ Roof trusses (2313.3.1)

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**Roof Coverings (Chapter 15)**

- ~~OK~~ Approved materials (1404.1)
- ~~OK~~ Performance requirement (1505)
- ~~OK~~ Fire classification (1506)
- ~~OK~~ Material and installation requirements (1507)
- ~~OK~~ Roof structures (1510.0)
- ~~OK~~ Type of covering (1507)

**Chimneys and Fireplaces  
 BOCA Mechanical/1993**

- ~~OK~~ Masonry (1206.0)
- ~~NA~~ Factory - built (1205.0)
- ~~OK~~ Masonry fireplaces (1404)
- ~~NA~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical  
 1993 BOCA Mechanical Code**

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**State Plumbing Code**

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### Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>OK</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>OK</u>
Roof live load	<u>42 PSF</u>	<u>OK</u>
Roof snow load	<u>46 PSF</u>	<u>OK</u>
Seismic Zone	<u>2</u>	<u>OK</u>
Weathering area	<u>S</u>	<u>OK</u>
Frost line depth	<u>4' MIN</u>	<u>OK</u>

### Glazing (Chapter 24)

- SR Labeling (2402.1)
- SR Louvered window or jalousies (2402.5)
- SR Human impact loads (2405.0)
- SR Specific hazardous locations (2405.2)
- SR Sloped glazing and skylights (2404)

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### Private Garages (Chapter 4)

- SR General (407)
- SR Beneath rooms (407.3)
- SR Attached to rooms (407.4)
- SR Door sills (407.5)
- SR Means of egress (407.8)
- SR Floor surface (407.9)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## Egress (Chapter 10)

- OK One exit from dwelling unit (1010.2)
  - SR Sleeping room window (1010.4)
  - OK EXIT DOOR (1017.3) 32" W 80" H
  - OK Landings (1014.3.2) stairway
  - NA Ramp slope (1016.0)
  - SR Stairways (1014.3) 36" W
  - SR Treads (1014.6) 10" min.
  - SR Riser (1014.6) 7 3/4" max.
  - SR Solid riser (1014.6.1)
  - NA Winders (1014.6.3)
  - NA Spiral and Circular (1014.6.4)
  - SR Handrails (1022.2.2.) Ht.
  - SR Handrail grip size (1022.2.4) 1 1/4" to 2"
  - SR Guards (1012.0) 36" min.
- \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

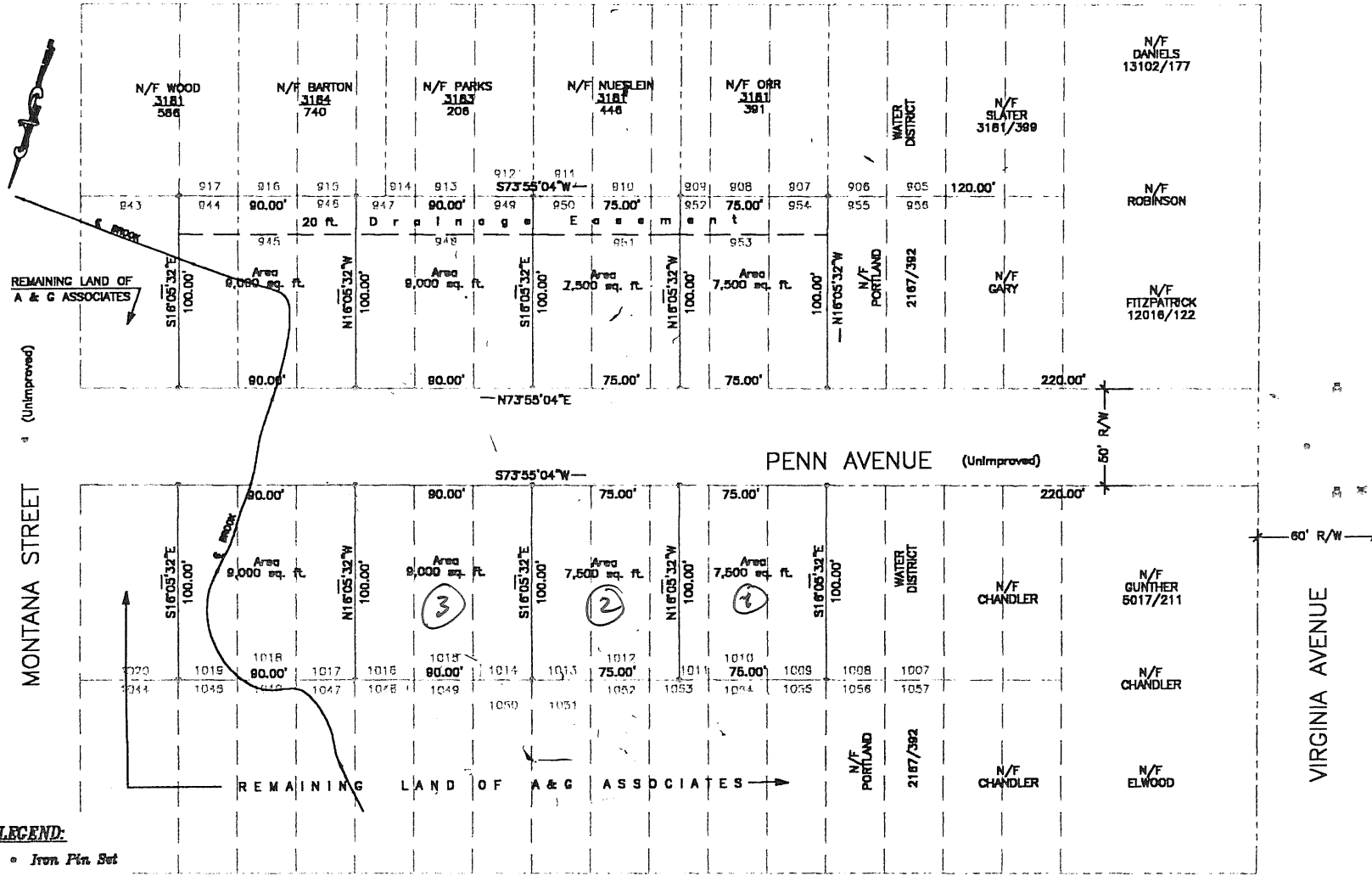
## Smoke Detectors (920.3.2)

- SR Location and interconnection
- SR Power source

## Dwelling Unit Separation Table 602

Electrical  
NFPA #

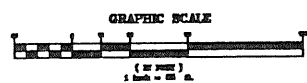
VERMONT AVENUE



REMAINING LAND OF A & G ASSOCIATES

REMAINING LAND OF A & G ASSOCIATES

- LEGEND:**
- o Iron Pin Set
  - o Iron Pin Pd.
  - Sewer Manhole
  - ∩ Utility Pole
  - ∩ Water Valve
  - \* Hydrant



I CERTIFY THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS OF THE BOARD OF LICENSEE FOR PROFESSIONAL LAND SURVEYORS FOR A STANDARD BOUNDARY SURVEY.  
 EXCEPTION 1: CORRECTION IS  NO SECTION REPORT PREPARED  
 EXCEPTION 2: NO DEED DESCRIPTIONS PREPARED

ROBERT M. FORTINCH PLS 888

Location Map

NOTES:

(1) Deed References:

Book \_\_\_\_\_, Page \_\_\_\_\_  
C.C.R.D.

(2) Plan References:

(a) Lodged Heights Subdivision  
Falmouth, Maine by Callenberg  
Land Surveying 7/15/83  
Plan Book 193 Page 301 C.C.R.D.

(b) Portland Water District  
Infiltration - Inflow Analysis  
By: Furdor-Ballem Associates  
August, 1979

(c) City of Portland  
Virginia-Carter St. Interceptor  
Sewer s.b. 186/2 489/4

(d) "The Pines"  
May 1928  
Plan Book 17, Page 6 C.C.R.D.

(3) Tax Map Reference:

Tax Map 405A  
Section C, Lots 27-38  
Section D, Lots 19-23  
Section F, Lots 8-19  
Section G, Lots 1-12

Standard Boundary Survey

Penon Avenue  
Portland, Maine  
For:  
A & G Associates  
428 Forest Avenue  
Portland, Maine  
Developer/Owner

Survey By: SURVEY, INC.  
P.O. Box 210  
Windham, Me.

Plan Prepared By:

April 1988

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Building or Use Permit Application  
Detached Single Family Dwelling

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot # 3 Penn Ave

Tax Assessor's Chart, Block & Lot Number Chart <u>405A</u> Block <u>C</u> Lot <u>30-31-32</u>	Owner: <u>A+H Associates</u>	Telephone# <u>7722127</u>
Owner's Address: <u>426 Forest Ave</u>	Lessee/Buyer's Name (If Applicable):	Cost Of Work: <u>\$120,000</u>
Proposed Project Description: (Please be as specific as possible) <u>Single Family Home</u>		
Contractor's Name, Address & Telephone <u>A+H 426 Forest Ave</u>		

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

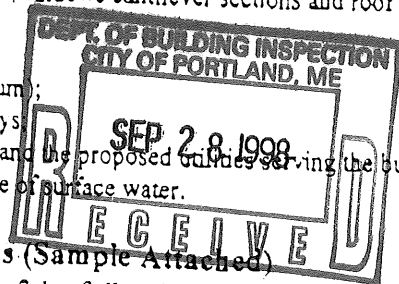
- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- Need 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available don't need
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours



620 Bldg  
300 Site  
ERV  
\$920

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 9-25-98

Site Review Fee: \$150.00/Building Permit Fee: \$25.00 for the 1st \$1000 cost plus \$5.00 per \$1,000.00 construction cost thereafter.

- ① Seal penetrations in Garage ceiling
- ② Garage stairs - max  $7\frac{3}{4}$ " rise  
( $9\frac{1}{2}$ " +  $9\frac{3}{4}$ " now)
- ③  $4\frac{1}{4}$ " spacing on balusters on int. stairs
- ④ Smoke det. chirping in bsmnt.
- ⑤ Need  $3\frac{1}{4}$ " to  $1\frac{1}{4}$ " nosing on bsmnt stairs.
- ⑥ Junction box cover missing - bsmnt
- ⑦ Provide risers on rear deck stairs
- ⑧ Finish nailing hangers on rear deck.
- ⑨  $32\frac{1}{2}$ " guard on front stairs - needs to be 36"
- ⑩ Provide graspable handrail on rear deck.

92 Penn Ave  
871-8695 Fax #  
Amy Mulken

# PLUMBING APPLICATION

Department of Human Services  
Division of Health Engineering

405-A-C-032

## PROPERTY ADDRESS

Town Or Plantation: Portland  
Street Subdivision Lot #: 92 Penn Av #3

## PROPERTY OWNERS NAME

Last: McKeon First: Amy  
Applicant Name: James Cedeno  
Mailing Address of Owner/Applicant (If Different): 28 Tompkins Sea Urchin Ave

PORTLAND  
Date Permit Issued: 2/16/99  
Local Plumbing Inspector Signature: [Signature]  
6767 TOWN COPY  
\$ 100 FEE  Double Fee Charged  
L.P.I. # 0124

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 2/16/99

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

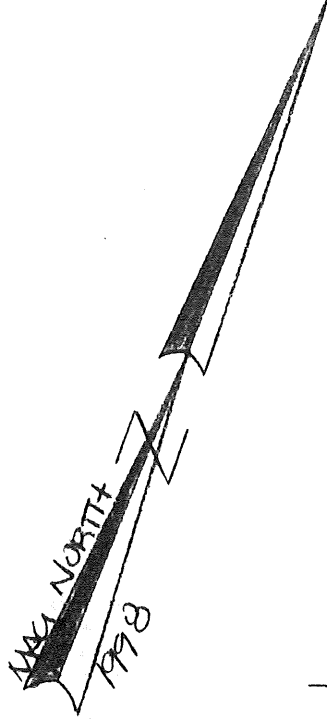
Date Approved

## PERMIT INFORMATION

<p><b>This Application is for</b></p> <p>1. <input type="checkbox"/> NEW PLUMBING</p> <p>2. <input type="checkbox"/> RELOCATED PLUMBING</p>	<p><b>Type Of Structure To Be Served:</b></p> <p>1. <input type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER — SPECIFY _____</p>	<p><b>Plumbing To Be Installed By:</b></p> <p>1. <input type="checkbox"/> MASTER PLUMBER</p> <p>2. <input type="checkbox"/> OIL BURNERMAN</p> <p>3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC</p> <p>4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE</p> <p>5. <input type="checkbox"/> PROPERTY OWNER</p> <p>LICENSE # <u>17632</u></p>
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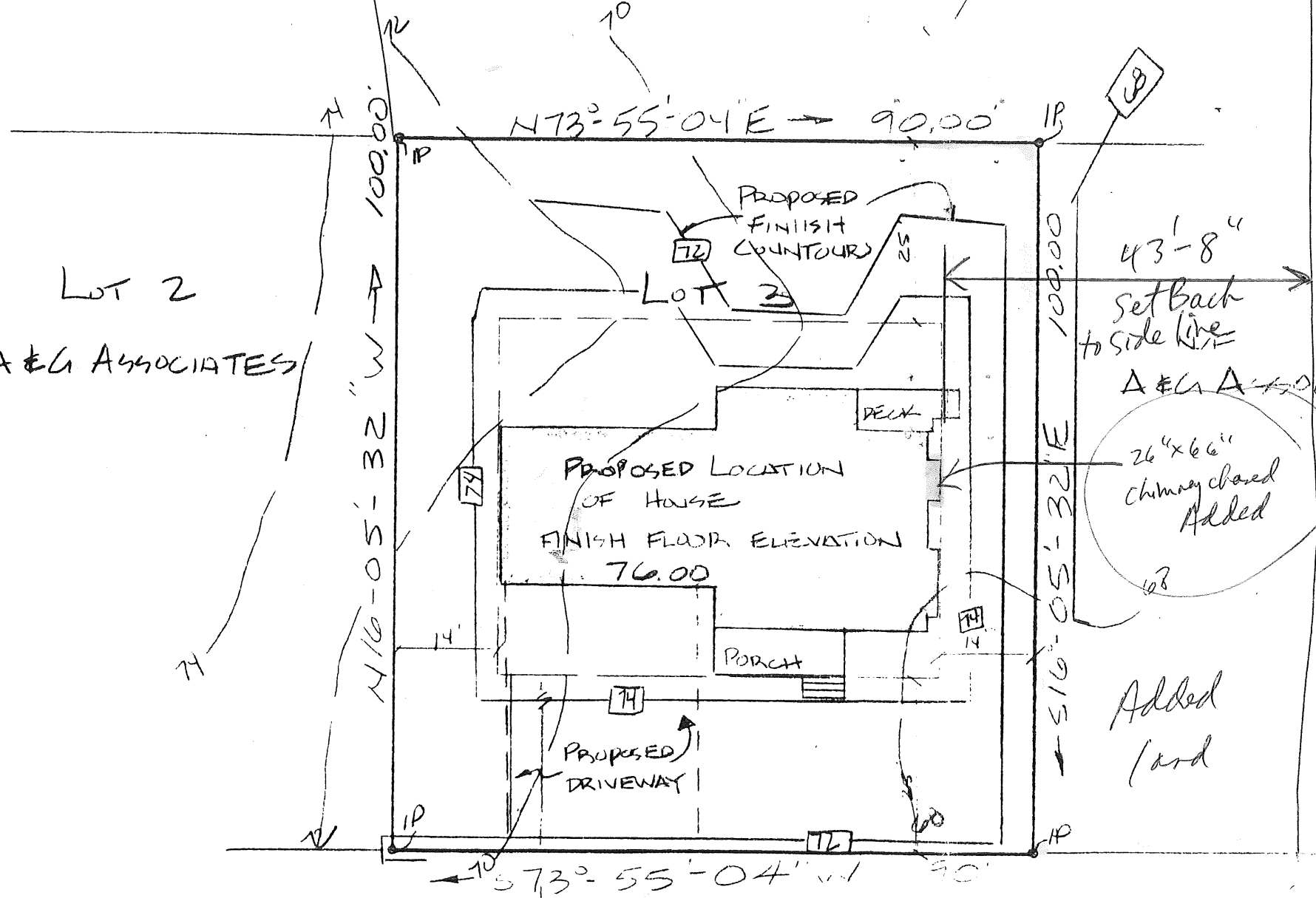
Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
<b>OR</b>		Urinal	1	Sink
		Drinking Fountain	4	Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste	3	Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
<b>OR</b>		Dental Cuspidor	1	Garbage Disposal
		Bidet		Laundry Tub
TRANSFER FEE [\$6.00]		Other: _____		Water Heater
		<b>Fixtures (Subtotal) Column 2</b>	1, 3	<b>Fixtures (Subtotal) Column 1</b>
			2	<b>Fixtures (Subtotal) Column 2</b>
			15	<b>Total Fixtures</b>
			\$	<b>Fixture Fee</b>
			\$	<b>Transfer Fee</b>
			\$	<b>Hook-Up &amp; Relocation Fee</b>
			\$ 100.	<b>Permit Fee (Total)</b>

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



N/F A. & G. ASSOCIATES  
*Added land*

LOT 2  
 N/F A & G ASSOCIATES



*Setback OK 2/22/99*

*Added land*



LOCATION MAP

NOTES

- (1) DEED REFERENCE BOOK VALUE C.C.R.D.
- (2) PLAN REFERENCE PLAN BOOK 193, PAGE 301 C.C.R.D.
- (3) ZONING - R-3 ZONE  
 SETBACKS FRONT: 25'  
 REAR: 25'  
 SIDE (2 STORIES): 14'
- (4) BENCHMARK - RIM OF MANHOLE @ INT. MONTANA ST (PAPER) + PENN AVE. ELEVATION - 70.79

← TO VIRGINIA AVENUE

SEWER & WATER LINE AS PER ROAD PLAN & PROFILE SHEET

PROPOSED LOCATION 1" WATER LINE  
 PROPOSED LOCATION 4" SEWER LINE

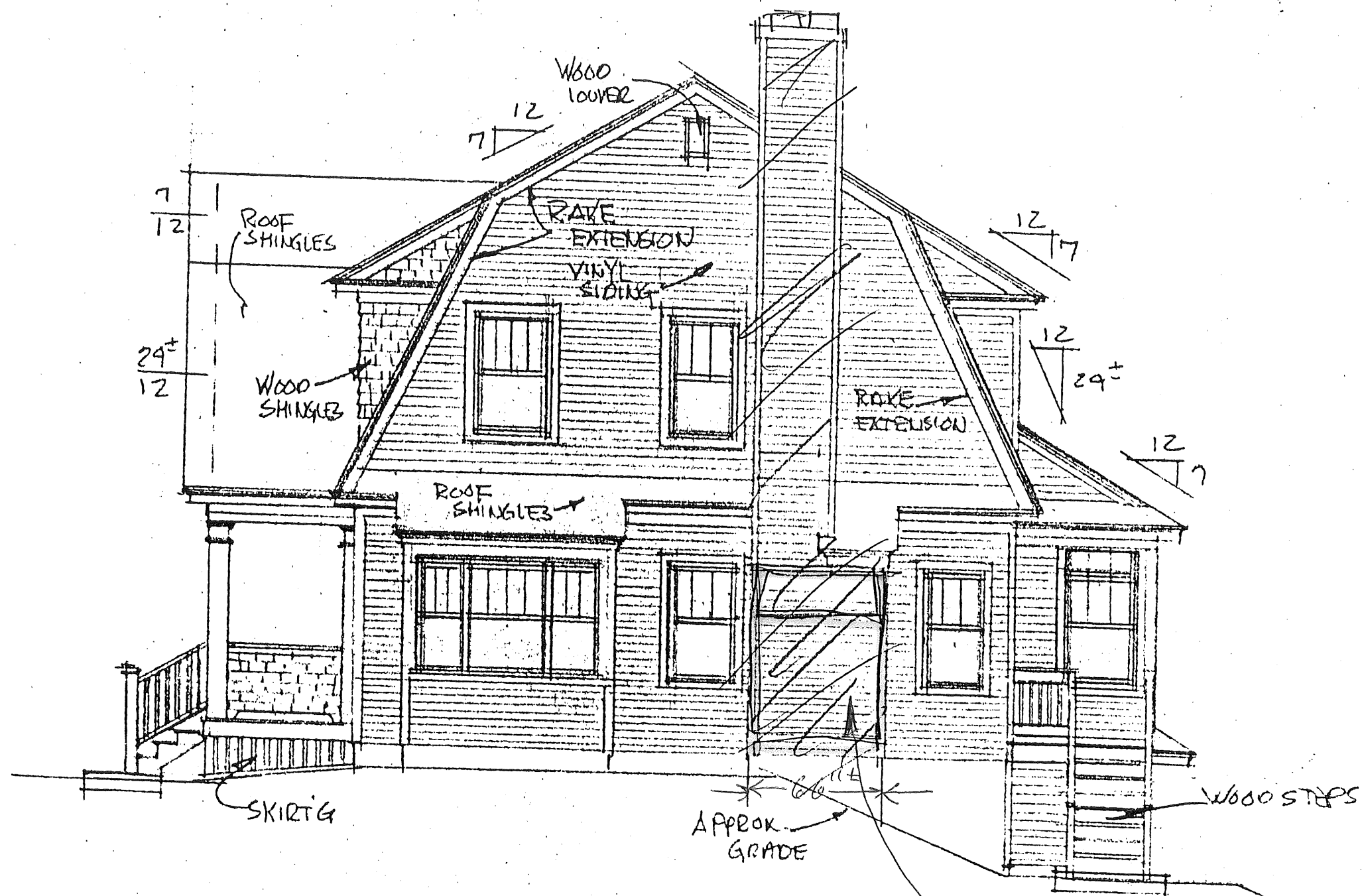
PENN AVENUE ST

(UNDER CONSTRUCTION)

PREPARED BY PINKHAM & GREEN CONSULTING ENGINEERS, INC.

SITE PLAN  
 PENN AVENUE  
 PORTLAND, MAINE

FOR A & G ASSOCIATES



RIGHT ELEVATION

3/16 = 1-00

wood chimney chase (26"x66") ± GTRM.  
 with roof. Direct vent  
 Added for gas fireplace  
 (No foundation)  
 (cantilevered)