

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-11-5411-ALTR	Date Applied: 11/16/2012	CBL: 404- F-003-001	
Location of Construction: 175 VIRGINIA ST	Owner Name: OCEAN STREET, LLC	Owner Address: PO BOX 1834 PORTLAND, ME 04104	Phone: 207-252-2411
Business Name:	Contractor Name: Thomas Campbell	Contractor Address: PO Box 1834, Portland, ME 04101	Phone: 207-252-2411
Lessee/Buyer's Name:	Phone:	Permit Type: Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - single family - add 33' dormer on rear, add bathroom on 2nd floor, build new deck - 8' X 16', rebuild front entry in same footprint	Cost of Work: \$16,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type:
		Signature:	Signature:
Proposed Project Description: Install 33' dormer, 2nd bath, new deck		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/ conditions</i> <i>11/27/12 ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABU</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

R-3



General Building Permit Application

Approved 11/16/12

(183)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-11-5411-ALTR

Location/Address of Construction: <u>175 VIRGINIA ST</u>		
Total Square Footage of Proposed Structure/Area <u>900?</u>	Square Footage of Lot <u>6000</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>404</u> Block# <u>F</u> Lot# <u>3</u>	Applicant: (must be owner, lessee or buyer) Name <u>THOMAS CAMPBELL</u> Address <u>P.O. BOX 1834</u> City, State & Zip <u>PORTLAND ME 04104</u>	Telephone: <u>252-2411</u>
Lessee/DBA RECEIVED NOV 16 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$16,000</u> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <u>180</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>SINGLE FAMILY HOME</u> Proposed Specific use: <u>ADD FULL DORMER AND BATH TO 2ND FLOOR</u> <i>build new deck</i> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INSTALL A FULL DORMER ON THE BACK OF THE HOUSE AND INSTALL A 2ND BATHROOM ON THE 2ND FLOOR. REDO THE LITTLE BEDROOMS ON THE SECOND FLOOR.</u>		
Contractor's name: <u>THOMAS CAMPBELL</u>		Email: <u>TCAMPBELL@PORTLAND.ME.GOV</u>
Address: <u>P.O. BOX 1834</u>		
City, State & Zip <u>PORTLAND ME 04104</u>		Telephone: <u>252-2411</u>
Who should we contact when the permit is ready: <u>TOM CAMPBELL</u>		Telephone: <u>252-2411</u>
Mailing address: <u>P.O. BOX 1834 PORTLAND ME 04104</u>		

REPLACE THE DOOR ON THE BACK

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11/13/12

This is not a permit; you may not commence ANY work until the permit is issued



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 15872\$180.00

Tender Amount: 180.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 11/16/2012

Receipt Number: 50302

Receipt Details:

Referance ID:	8760	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	180.00	Charge Amount:	180.00
Job ID: Job ID: 2012-11-5411-ALTR - Install dormer, 2nd bath, replace deck (same foot)			
Additional Comments: 175 Virginia			

Thank You for your Payment!

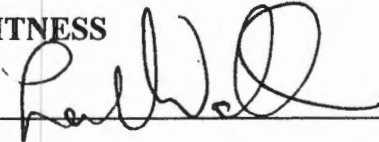
**MUNICIPAL
QUITCLAIM DEED**

KNOW ALL PERSONS BY THESE PRESENTS, THAT CITY OF PORTLAND, a municipal corporation with a mailing address of 389 Congress Street, Portland, Maine (the "City") for consideration paid, releases, and quitclaims without covenant, to OCEAN STREET, LLC, a Maine limited liability company, with a mailing address of P. O. Box 1834, Portland, ME 04104, the real property in the City of Portland, County of Cumberland, State of Maine, particularly described in "EXHIBIT A" attached hereto and hereby made a part hereof.

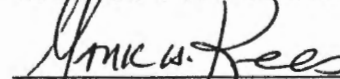
Within 18 months of the date of this deed, the grantee shall undertake renovations to the dwelling on the real property, or demolish and start to rebuild a dwelling on the property. If not, the property will revert back to the City, at the option of the City; said option shall to be exercised within 120 days of said 18 month deadline, and, if exercised, it shall be documented by a notice recorded in the Cumberland County Registry of Deeds within 130 days after that 18 month period with no other notice to any other party being required, and the City will reimburse the grantee (or the then owner, if appropriate) the price paid to the City for the real property, less 10% of that price paid; but such re-payment is not a condition to such reverter or reversion.

IN WITNESS WHEREOF, Mark H. Rees, City Manager of the City of Portland, has hereunto executed this easement deed on this 14th day of November, 2012.

WITNESS



CITY OF PORTLAND



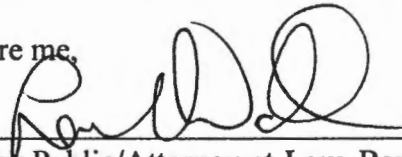
Mark H. Rees, City Manager

STATE OF MAINE
CUMBERLAND, ss.

November 14 2012

Personally appeared the above-named Mark H. Rees, City Manager of the City of Portland, Maine, and acknowledged the foregoing, instrument to be his free act and deed and the free act and deed of said City of Portland.

Before me,



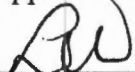
Notary Public/Attorney-at-Law, Bar # 2818

Print Name

LAWRENCE C. WALDEN
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES APRIL 1, 2014

RECEIVED

Approved as to form:



Corporation Counsel's Office

O:\OFFICE\LARRY\TAPC\Deed from City for 175 Virginia St.doc

NOV 26 2012

Dept. of Building Inspections
City of Portland Maine

EXHIBIT A

404-F-3-4
175 Virginia St.
Liened by the City of Portland in
1993 and very year since then

Lots located at The Pines, so-called, in Portland, Cumberland County, Maine and being the Lots numbered 1320 and 2329 on Virginia Street, so-called, containing six thousand (6,000) square feet, more or less, as shown on the plan of O.E. Stephenson, Civil Engineer, dated June 1926, and recorded in the Cumberland County Registry of Deeds Plan Book 17, Page 7, to which plan reference is hereby made for a more particular description. This conveyance is subject to the restrictions referred to in the deed from Abram H. Chapman to Mount Oxford Spring and Fruit Company, dated May 6, 1932, and recorded in said Registry in Book 1309, page 185.

Meaning and intending to convey, and hereby conveying, the same property as described in the tax lien certificate recorded on June 19, 1996, in the Cumberland County Registry of Deeds in Book 12571, Page 67. Title reference is made to the Affidavit of Linda McLeod dated May 15, 2012, recorded in said Registry in Book 29656, Page 316.

Title reference is also made to the deed from Arlene G. McIntosh to Janise I. Tibbetts, dated November 22, 1983, and recorded in said Registry in Book 6338, Page 343; and the Abstract of Will of Lillian M. Larson (mother of Arlene and Janise), dated August 13, 1974, recorded in said Registry in Book 3593, Page 57; and the Abstract of Will of John Carroll Larson (husband of Lillian, father of Arlene and Janise), dated June 12, 1972, recorded in said Registry in Book 3257, Page 130; and the deed to John C. Larsen, from Casco Loan & Building Association, dated October 9, 1940, recorded in said Registry in Book 1607, Page 354.

Ann Machado - 175 Virginia st Plot Plan

From: "Thomas Campbell" <tcampbell@maine.rr.com>
To: <amachado@portlandmaine.gov>
Date: 11/27/2012 4:49 AM
Subject: 175 Virginia st Plot Plan
CC: <tcampbell@maine.rr.com>
Attachments: 175 VirginiastDeck.pdf

Ann,
Here is the correct plot plan. I went back over there yesterday and the neighbor helped me find the property lines.

I had also guessed at where the steps would end and I have spent some time with that and they will only come out to the end of the deck.

The measurements I gave you yesterday were from the street and not the lot lines.

Also I just want to make sure you know the deck is being replaced it is not new. (well it will be but there was one there)

You had asked about the roof pitch and it is a 8/12 pitch.

And in your message you asked about a garage. That is gone all we found was the remains of one. It must have fallen down years ago.

I hope this helps.

Thank you in advance.

Tom Campbell

Campbell's Electric Inc.
P.O. Box 1834
Portland, ME 04104

207-252-2411 Cell
207-854-8185 Office
207-854-0009 Fax

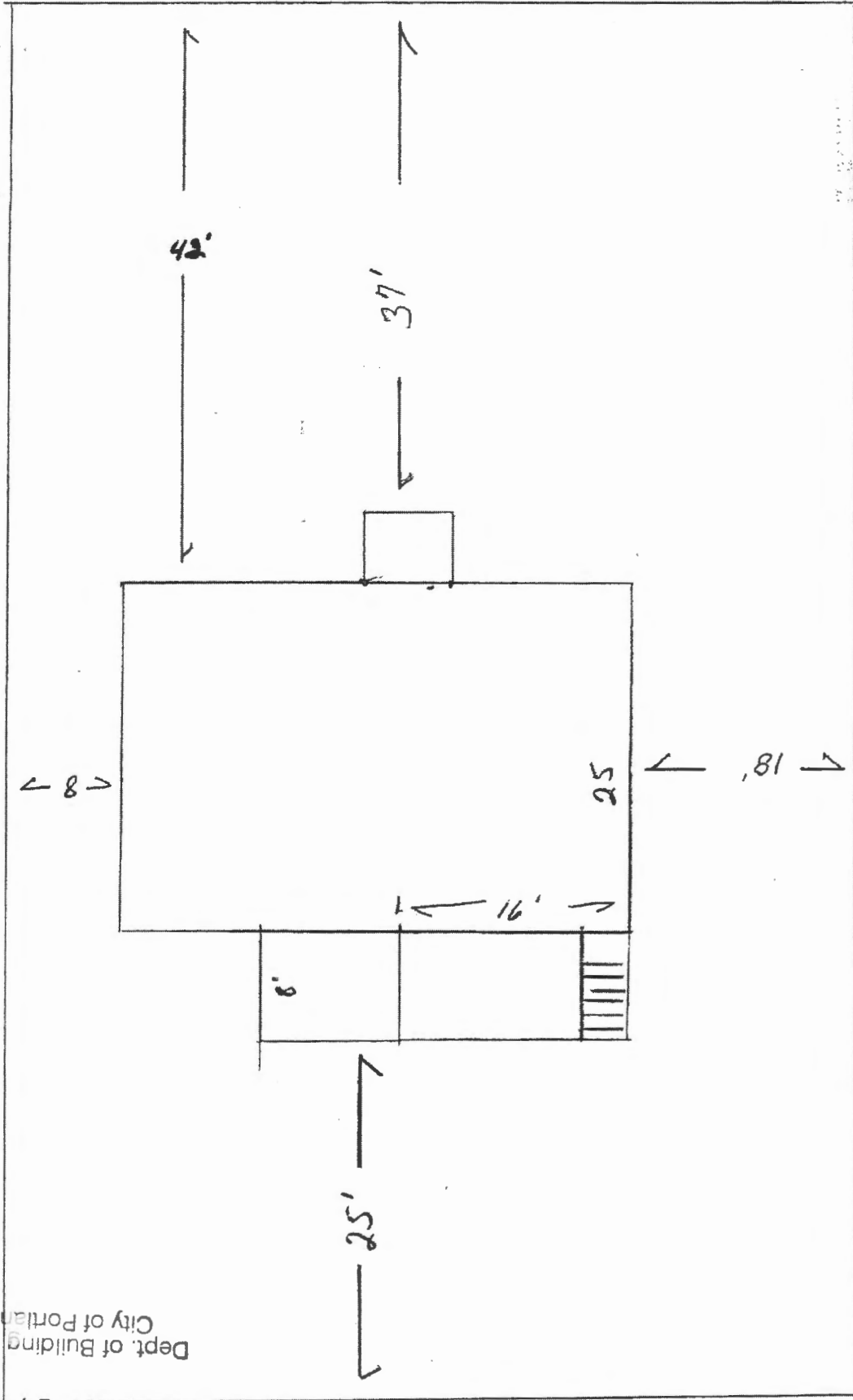
RECEIVED

NOV 27 2012

Dept. of Building Inspections
City of Portland Maine

VIRGINIA ST

3/22 = 1'



Dept. of Building Inspections
City of Portland Maine

NOV 27 2012

RECEIVED

MORTGAGE LOAN INSPECTION PLAN

I HEREBY STATE TO
JENSEN, BAIRD, GARDNER & HENRY
GORHAM SAVINGS BANK
FIRST AMERICAN TITLE INSURANCE CO.

THE BUILDING SETBACKS ARE
 IN CONFORMITY WITH THE
 MUNICIPAL ZONING REQUIREMENTS
 THE DWELLING DOES NOT FALL
 WITHIN THE SPECIAL FLOOD
 HAZARD AREA AS DELINIATED BY
 F.E.M.A.

THE LAND DOES NOT FALL
 WITHIN THE SPECIAL FLOOD
 HAZARD AREA AS DELINIATED
 BY F.E.M.A. ON COMMUNITY/
 PANEL # 230051 0002C

LOCUS ADDRESS
VIRGINIA STREET
PORTLAND, MAINE

BUYERS: OCEAN STREET, LLC

SELLER: CITY OF PORTLAND

NORTHEASTERN LAND
SURVEYING
16 COLLEGE AVENUE
GORHAM, MAINE 04038
PHONE (207) 831-3250
FAX (207) 839-6361

JOB NUMBER 224-25

INSPECTION DATE

11-14-2012

SCALE: 1" = 30'

R-3

lot size ~~326000~~ ϕ

front - 25' min - 37' min to front porch ϕ

rear - 25' min - 25' 6" min ϕ

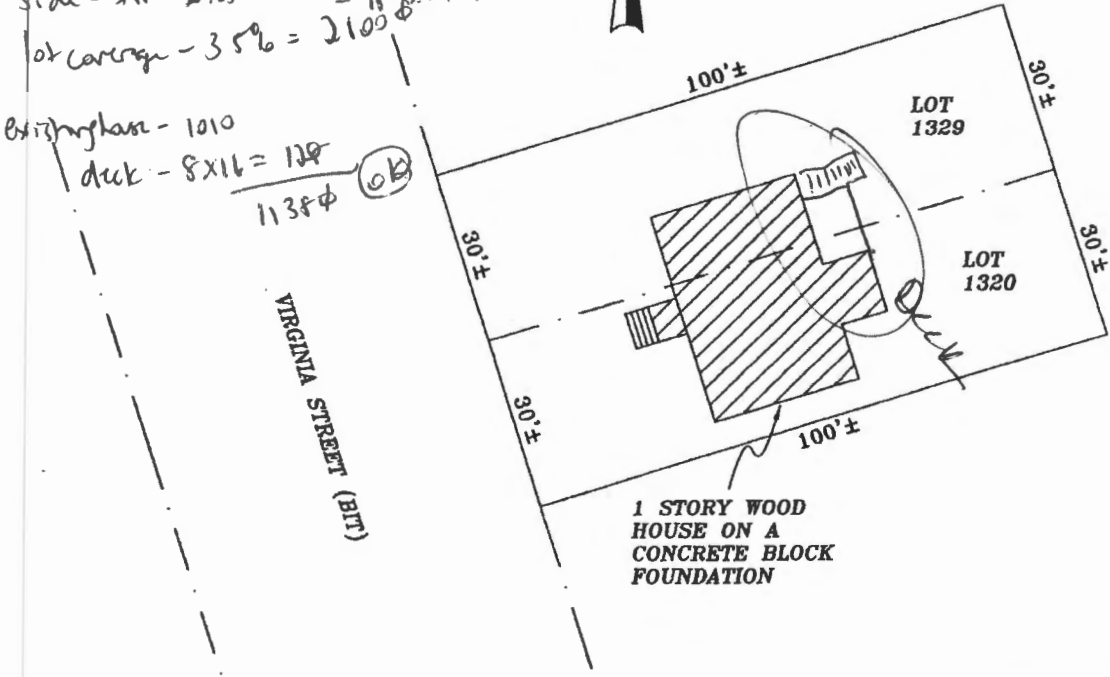
side - two sides - 14' - 8' on right ϕ

lot coverage - 35% = 2100 sq ft ϕ

existing porch - 1010

deck - 8x16 = 128 ϕ
 1138 ϕ

* see plot plan
 received 11/27/12



1 STORY WOOD
HOUSE ON A
CONCRETE BLOCK
FOUNDATION



REFERENCES

PLAN BOOK 17 PAGE 320-1329
 DEED BOOK 1329 PAGE 185
 COUNTY CUMBERLAND DRAWN BY GRRS

THIS IS NOT A BOUNDARY SURVEY. THIS PLAN IS NOT TO BE USED FOR PROPERTY LINE LOCATION, BUILDING PURPOSES, CONVEYING OR DESCRIBING PROPERTY, OR RECORDING PURPOSES. THIS PLAN IS FOR LENDING PURPOSES ONLY. THIS PLAN MAY NOT REVEAL CONFLICTS WITH ABUTTING DEEDS. THE PARCEL IS SUBJECT TO ALL RIGHTS, COVENANTS, RESTRICTIONS, AND EASEMENTS OF RECORD. A BOUNDARY SURVEY MAY YIELD DIFFERENT RESULTS.

Cuyler Feagles - 175 Virginia

From: Lannie Dobson
To: Cuyler Feagles
Date: 12/26/2012 1:17 PM
Subject: 175 Virginia

SONNATHALL *2100X* *874-8702*

12/12/2012: Hold: Notified Owner of inadequate plans: needs deck, wall, roof, and dormer framing details (including headroom). The full dormer <2:12 will most likely need a structural ridge of design professional for compliance, JGR.

57100X @

PO BOX 301
FREEPORT, MAINE
04032

Tammy Munson
Division Director
Planning & Development Department
City of Portland
389 Congress Street
Portland, ME 04101

22 March, 2013

Dear Tammy;

Thank you for taking the time to review code issues regarding 175 Virginia Street. As requested, this letter is to serve as an introduction and reminder of those issues, as preface to the permit application.

The original permit application, submitted by Tom Campbell for renovating the second floor, adding a rear deck and a front entry porch, was rejected. Find attached "Exhibit A", which provides a brief explanation of the rejection. I met with Mr. Rioux, who originally rejected the application, to review his concerns in more explicit detail. They are as follows:

- Insufficient headroom on second floor.
- Concern about the structural integrity of the proposed (new) roof rafters.
- Concern that the existing stairs do not meet several code requirements.
- Concern over lack of detail regarding method of construction for the porch and deck.

It should be noted that the second floor of the house has been previously occupied (reference "Exhibit B"), attached. Please also reference Detail E9 on Sheet A-1, and "Exhibit C", attached, for a section of the house in its original condition. You will see note the following:

- Original headroom on the second floor did not meet code.
- Stair headroom did not meet code.
- There were no egress windows, as required by code.

Now reference Section A1/ Sheet A-1. You will note that:

- The roof has been raised, providing more headroom than is currently required by code.
- The roof will be constructed of pre-engineered trusses, satisfying structural concerns.
- Reference E9/ a-1. Note that the portion of floor in the stairwell that made sufficient headroom in the stairs impossible is being

TEL 207-865-1272
FAX 207-865-9568

DOMUS ARCHITECTS

PO BOX 301
FREEPORT, MAINE
04032

removed, addressing that particular concern.

- Reference Sheet A-2, which provides required detailing for the construction of both the porch and the stairs.

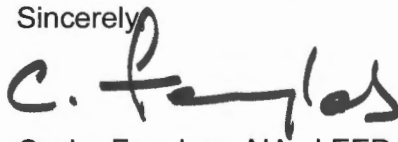
it is my understanding, therefore, that the attached plans satisfy all requirements for issuance of a building permit.

The question has been raised as to whether or not Mr. Campbell will install a sprinkler system. I cannot speak definitively about this, but it is my understanding that he intends to do so if it is deemed advisable.

Please do not hesitate to contact me should you have any additional questions.

Once again, I would like to thank you for the time you took to meet with me to review this project.

Sincerely,



Cuyler Feagles, AIA, LEED AP

TEL 207-865-1272
FAX 207-865-9568

Cuyler Feagles - 175 Virginia

From: Lannie Dobson
To: Cuyler Feagles
Date: 12/26/2012 1:17 PM
Subject: 175 Virginia

EXHIBIT "A"

12/12/2012: Hold: Notified Owner of inadequate plans: needs deck, wall, roof, and dormer framing details (including headroom). The full dormer <2:12 will most likely need a structural ridge of design professional for compliance, JGR.

Cuyler Feagles - Fwd: 175 Virginia

EXHIBIT B

From: Cuyler Feagles <cuylerfeagles@aim.com>
To: <cmf@portlandmaine.gov>
Date: 1/23/2013 4:33 AM
Subject: Fwd: 175 Virginia

Cuyler Feagles, AIA, LEED AP
cuylerfeagles@aim.com

-----Original Message-----

From: Thomas Campbell <tcampbell@maine.rr.com>
To: 'Cuyler Feagles' <cuylerfeagles@aim.com>
Sent: Wed, Jan 23, 2013 4:27 am
Subject: RE: 175 Virginia

To whom it may concern,
When I purchased the house there were 2 bedrooms on the second floor that is what made the property so appealing to me.
Please see the attached pictures. Granted they are not in the best of shape but there was potential

If you have any questions please feel free to contact me.

Thank you
Tom Campbell

EXHIBIT B

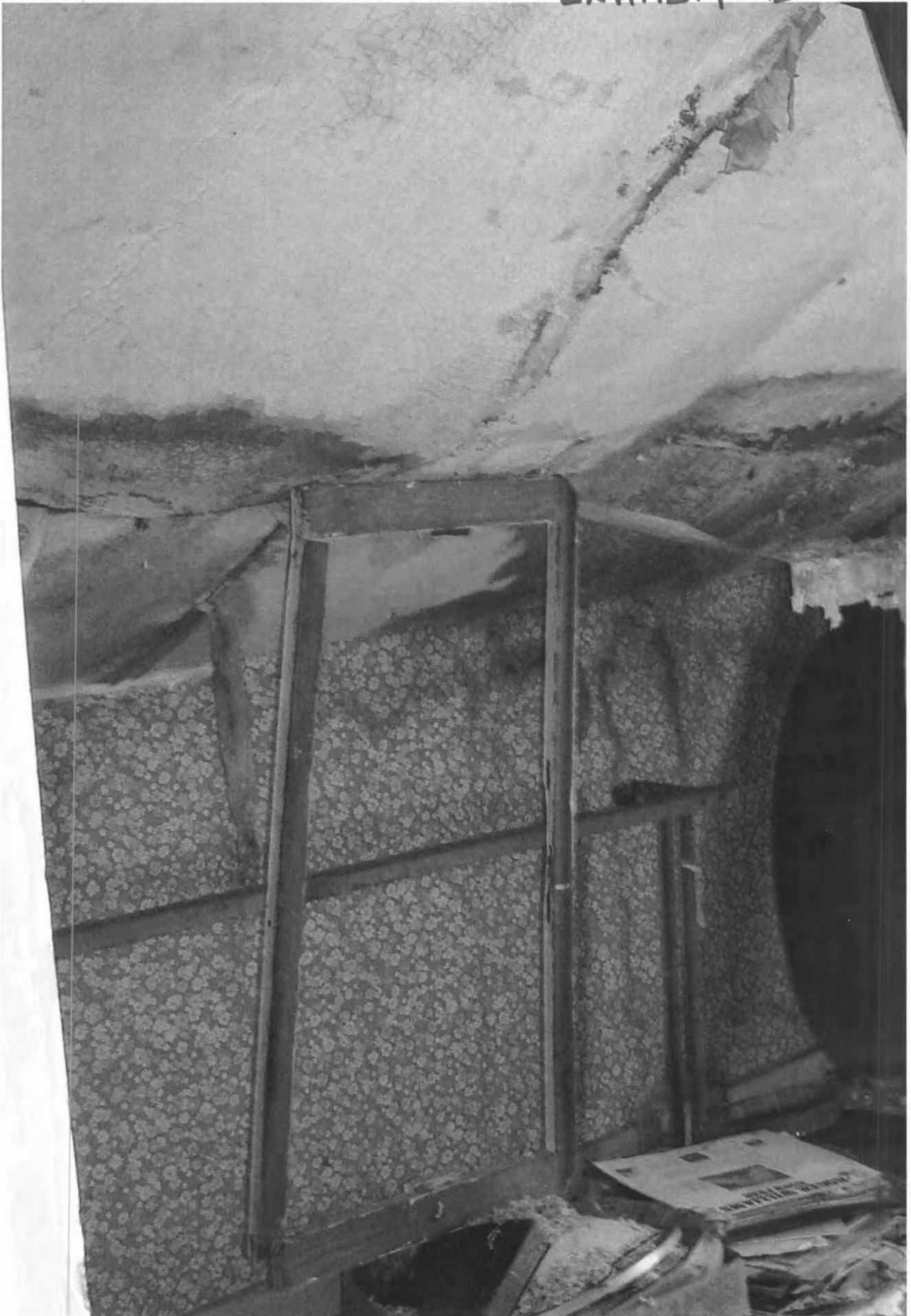


EXHIBIT B



EXHIBIT B



EXHIBIT B

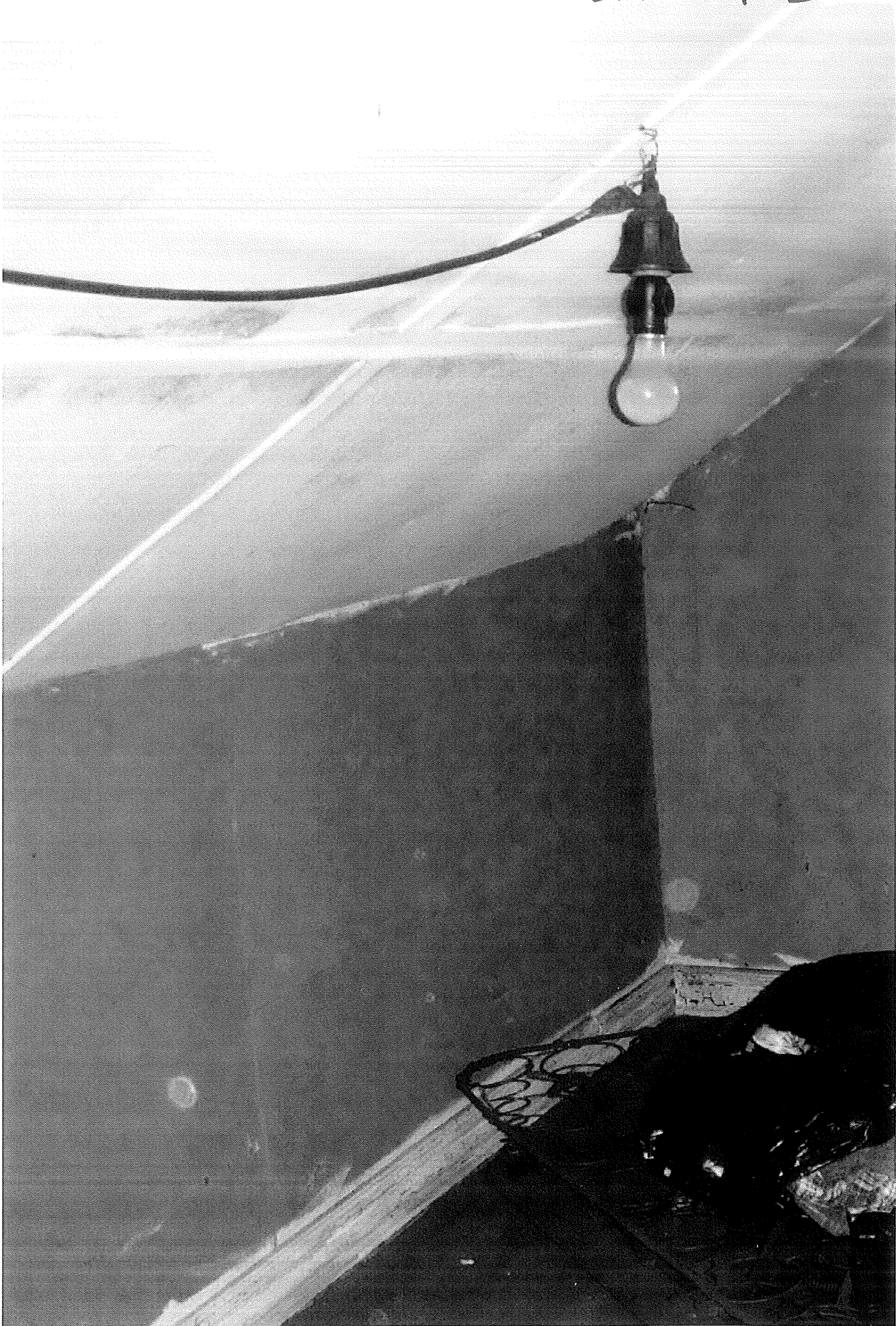


EXHIBIT B



EXHIBIT D

Electric Inc.
P.O. Box 1834
Portland, ME 04104

207-252-2411 Cell
207-854-8185 Office
207-854-0009 Fax

From: Cuyler Feagles [<mailto:cuylerfeagles@aim.com>]
Sent: Tuesday, January 22, 2013 3:26 PM
To: tcambell@maine.rr.com
Subject: 175 Virginia

Tom;

Were you going to get me photos & a letter? I cannot dove much without them.

Cuyler Feagles, AIA, LEED AP
cuylerfeagles@aim.com

REMOVE EXISTING ROOF

REMOVE EXISTING
FLOOR IN STAIRWELL

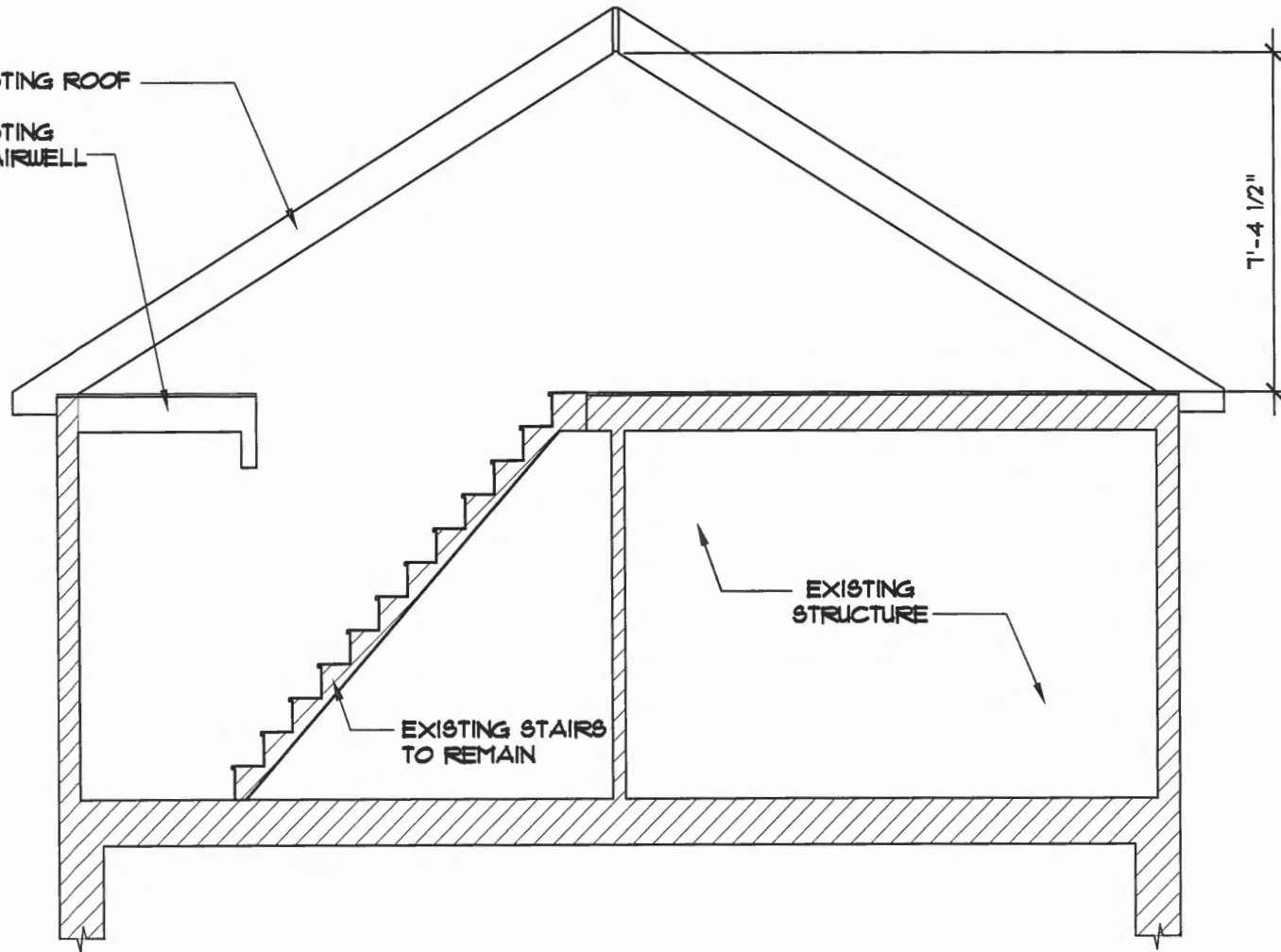


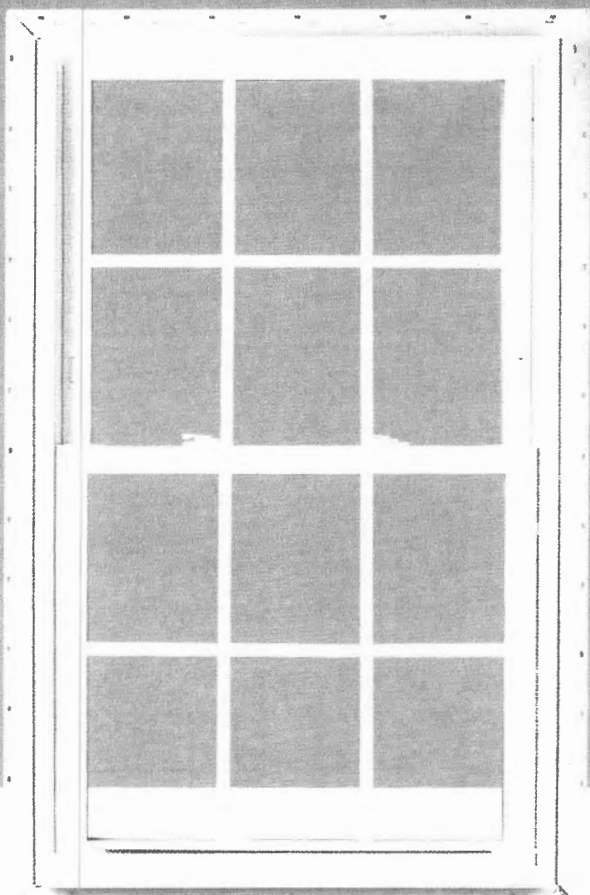
EXHIBIT 'e'

175 VIRGINIA ST

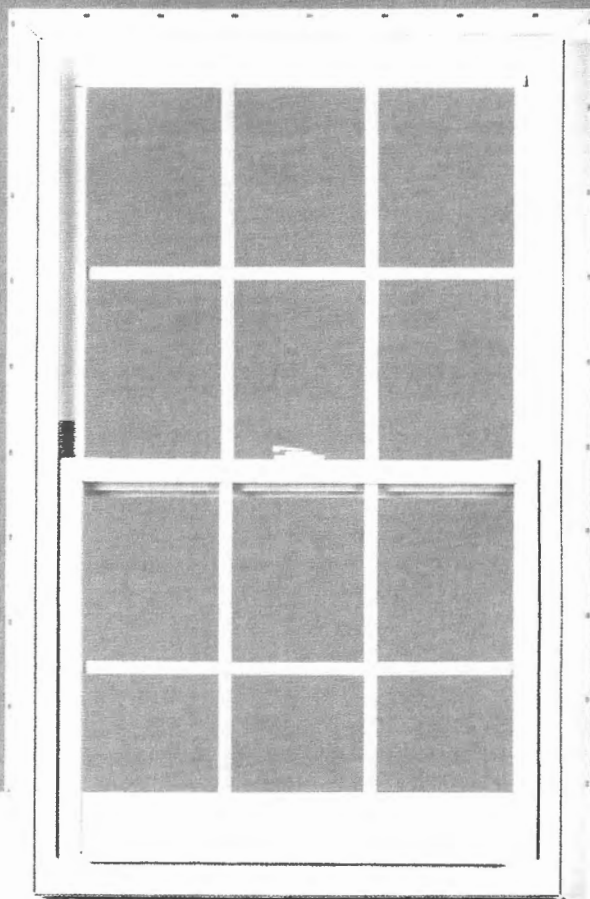
INSULATION

WALLS R21

CEILINGS R30



INTERIOR VIEW SHOWN



INTERIOR VIEW SHOWN



70 SERIES DOUBLE-HUNG WINDOWS

FEATURES

- Both top and bottom window sash operate
- A colonial exterior frame enhances your home's curb appeal
- Integral J-Channel allows for attractive trimming of exterior siding
- Tilt-in design for easy cleaning
- Factory applied exterior trim option complements the architectural style of your home
- Custom sizes available

70 SERIES SINGLE-HUNG WINDOWS

FEATURES

- Bottom window sash operates
- A colonial exterior frame enhances your home's curb appeal
- Integral J-Channel allows for attractive trimming of exterior siding
- Tilt-in design for easy cleaning

50 SERIES SINGLE-HUNG WINDOWS

without J-Channel

- Bottom window sash operates
- Flat exterior frame makes it easy to use with brick construction
- Tilt-in design for easy cleaning



All products ordered with Low-E3 argon glass meet ENERGY STAR® performance criteria in all 50 states.



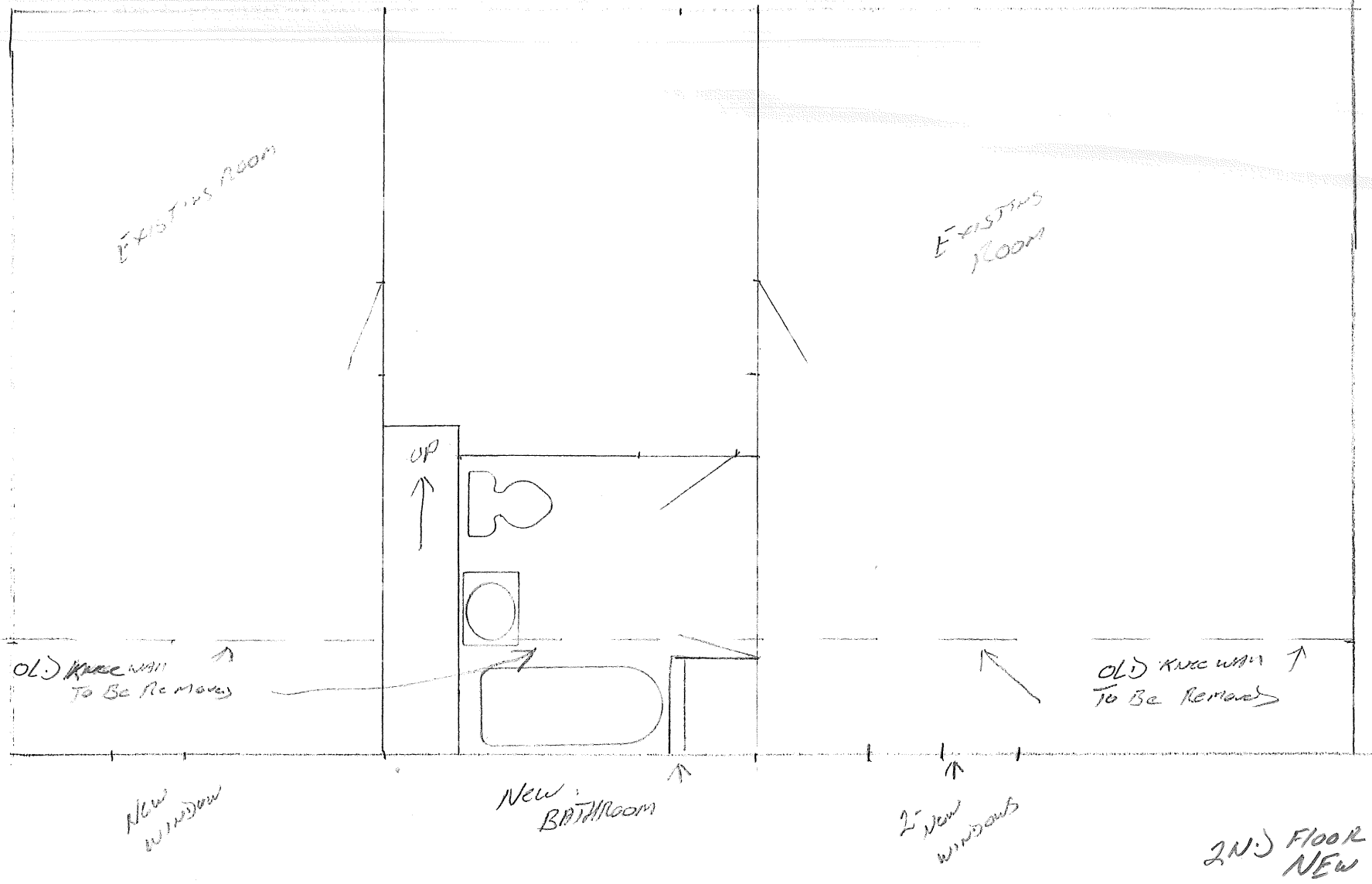
Market: 112 Store: 2401 Customer Care: 888-504-0005 Date: 8/7/2012 Prices Valid Through 12/31/12

Size	Sku	Opening Width	Opening Height	Actual Width	Actual Height	Unit Price
Replacement		70 DH BUCK				
27.537	587638	27 1/2"	37"	27"	36 1/4"	\$139
27.537G	606510	27 1/2"	37"	27"	36 1/4"	\$154
27.545	974875	27 1/2"	45"	27"	44 1/4"	\$144
27.545G	587729	27 1/2"	45"	27"	44 1/4"	\$159
27.563	110223	27 1/2"	53"	27"	52 1/4"	\$148
27.563G	591114	27 1/2"	53"	27"	52 1/4"	\$163
30.553	131628	30 1/2"	53"	30 1/4"	52 1/4"	\$152
30.553G	480912	30 1/2"	53"	30 1/4"	52 1/4"	\$167
30.557	986422	30 1/2"	57"	30 1/4"	58 1/4"	\$159
30.557G	533010	30 1/2"	57"	30 1/4"	56 1/4"	\$174
30.561G	545558	30 1/2"	61"	30 1/4"	60 1/4"	\$174
30.7537	590379	30 3/4"	37"	30 1/2"	36 1/4"	\$139
30.7537G	608531	30 3/4"	37"	30 1/2"	36 1/4"	\$154
31.561	990504	31 1/2"	61"	31 1/4"	60 1/4"	\$159
31.561G	557698	31 1/2"	61"	31 1/4"	60 1/4"	\$174
33.565	606107	33 1/2"	65"	33 1/4"	64 1/4"	\$170
New Construction		50 SH FIN				
2/0X3/0	521498	24"	36"	23 3/8"	35 1/4"	\$91
3/0X3/0	531846	36"	36"	35 3/8"	35 1/4"	\$120
New Construction		60 SLIDER FIN				
2/0X2/0	506041	24 1/2"	23 1/2"	24"	23"	\$71
3/0X2/0	508135	36 1/2"	23 1/2"	36"	23"	\$90
3/0X3/0	509005	36 1/2"	35 1/2"	36"	35"	\$104
4/0X3/0	511579	48 1/2"	35 1/2"	48"	35"	\$117
4/0X4/0	514677	48 1/2"	47 1/2"	48"	47"	\$129
5/0X4/0	515188	60 1/2"	47 1/2"	60"	47"	\$138
7/0X4/0	515302	84 1/2"	47 1/2"	84"	47"	\$201
New Construction		70 DH FIN				
2/4X3/10	517581	30 1/4"	49 1/4"	29 3/4"	48 3/4"	\$174
2/4X3/2	515916	30 1/4"	41 1/4"	29 3/4"	40 3/4"	\$169
2/4X3/2 G	517013	30 1/4"	41 1/4"	29 3/4"	40 3/4"	\$184
2/4X4/2	519529	30 1/4"	53 1/4"	29 3/4"	52 3/4"	\$178
2/4X4/6	519217	30 1/4"	57 1/4"	29 3/4"	56 3/4"	\$182
2/8X3/10	517600	34 1/4"	49 1/4"	33 3/4"	48 3/4"	\$178
2/8X3/2	516954	34 1/4"	41 1/4"	33 3/4"	40 3/4"	\$174
2/8X4/2	522854	34 1/4"	53 1/4"	33 3/4"	52 3/4"	\$182
2/8X4/6	531101	34 1/4"	57 1/4"	33 3/4"	56 3/4"	\$189
3/0X4/6	532227	38 1/4"	57 1/4"	37 3/4"	56 3/4"	\$189
Multi-Purpose		50 HOPPER				
3215	493683	32"	15"	31 3/4"	14 1/4"	\$65
3217	493978	32"	17"	31 3/4"	16 1/4"	\$65
3219	494276	32"	19"	31 3/4"	18 1/4"	\$65
Multi-Purpose		50 SLIDER BUCK				
3215	521820	32"	15"	31 3/4"	14 1/4"	\$81
3217	524083	32"	17"	31 3/4"	16 1/4"	\$83
3219	524925	32"	19"	31 3/4"	18 1/4"	\$85
Multi-Purpose		70 HOPPER				
3113	481768	32"	13"	31 3/4"	12 1/4"	\$65
3115	484931	31"	15"	30 3/4"	14 1/4"	\$65
3117	485507	31"	17"	30 3/4"	16 1/4"	\$65
3119	490534	31"	19"	30 3/4"	18 1/4"	\$65
Multi-Purpose		70 SLIDER BUCK				
3115	466788	31"	15"	30 3/4"	14 1/4"	\$81
3119	499746	31"	19"	30 3/4"	18 1/4"	\$85

Street

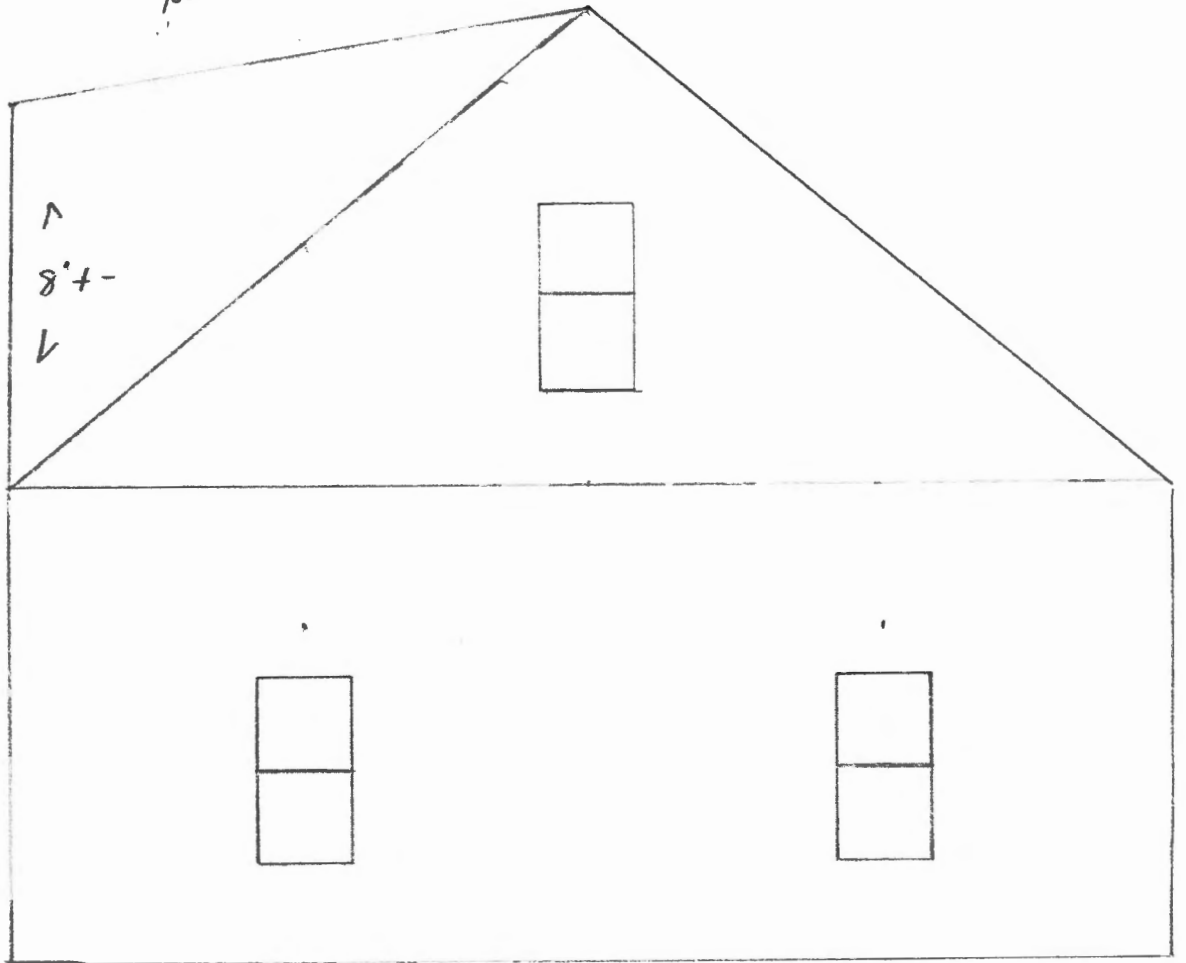
36

25



NEW ROOF LINE
2x10 ROFTERS

2x4
up
186
STUDS



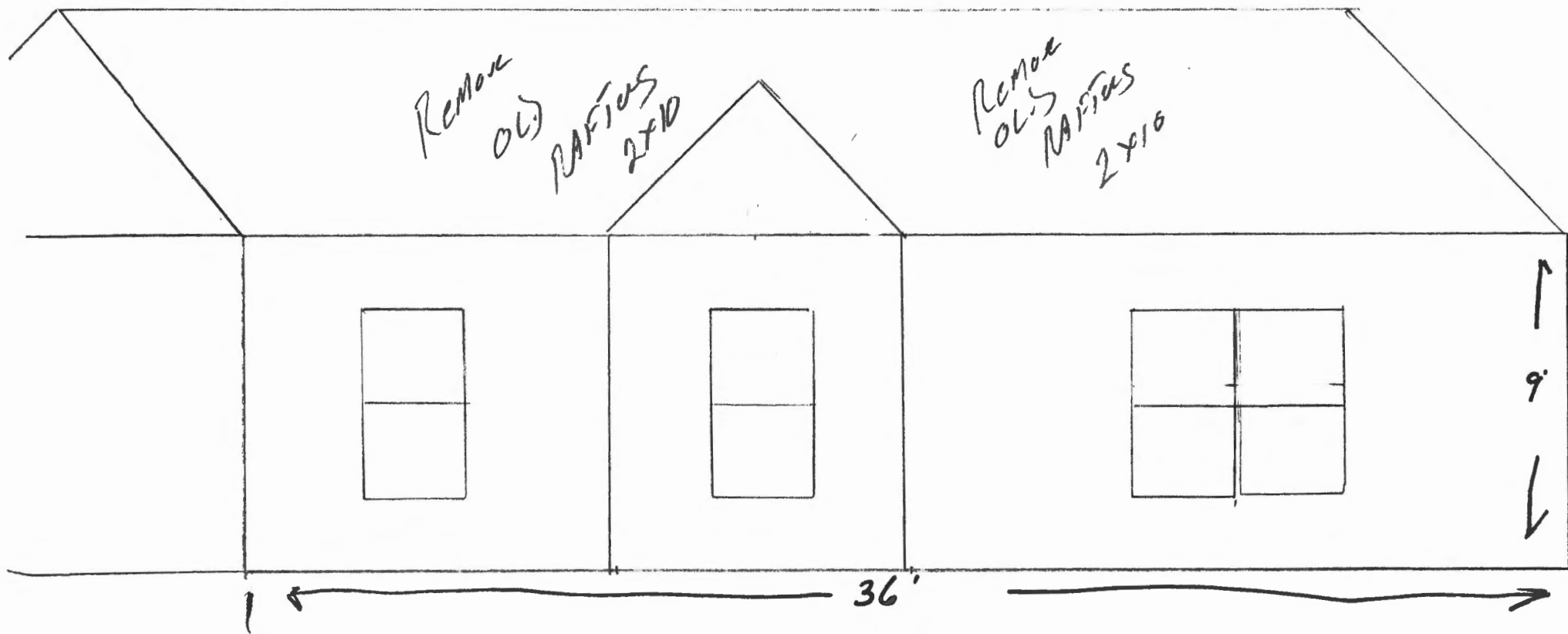
8'-0"
↑
↓

BACK

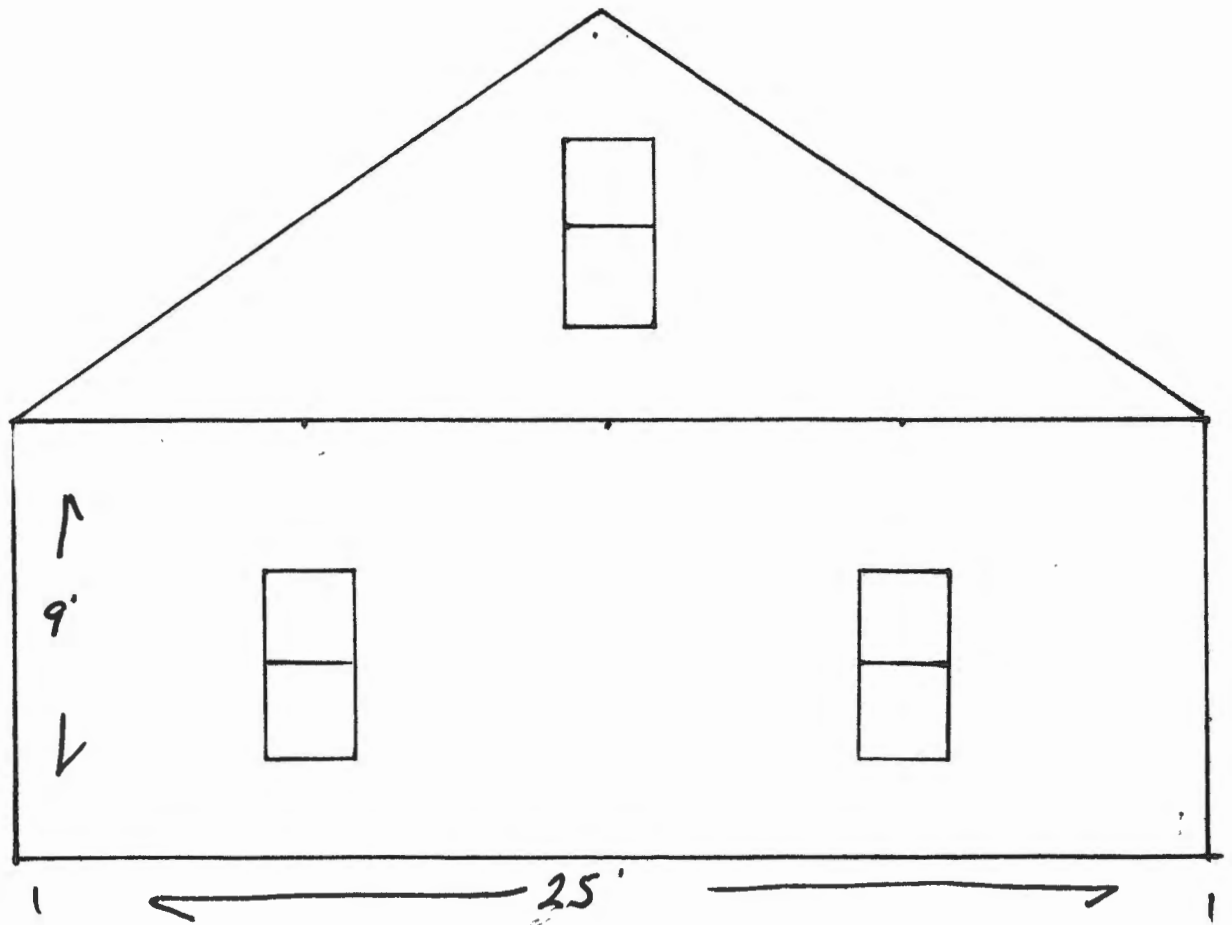
25

SIDE
ELEVATION

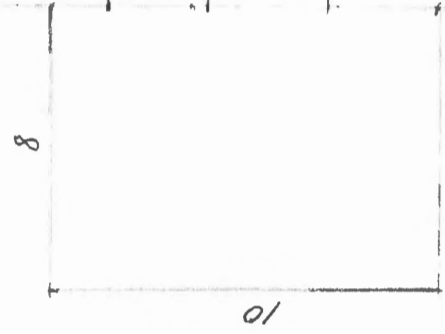
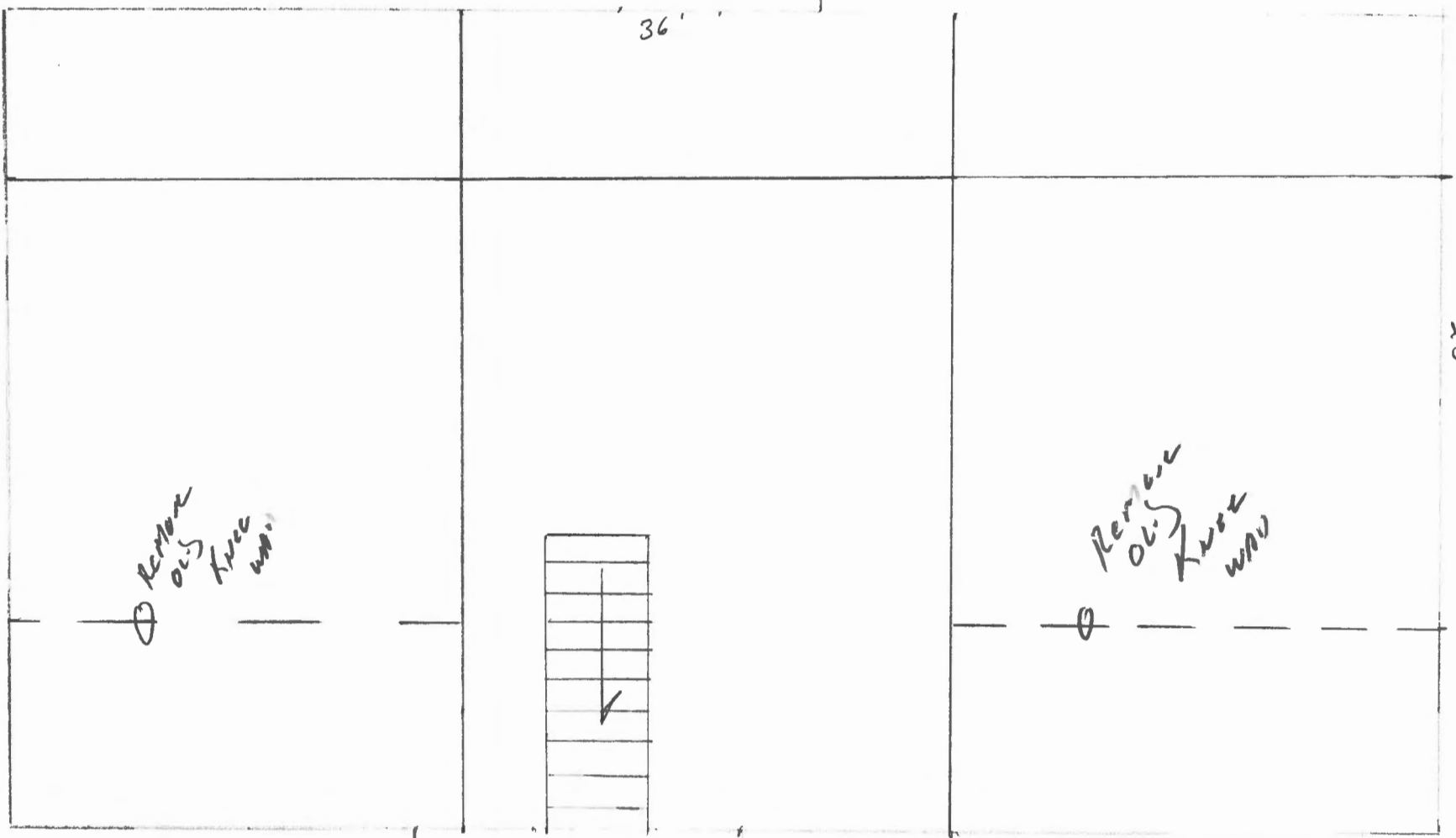
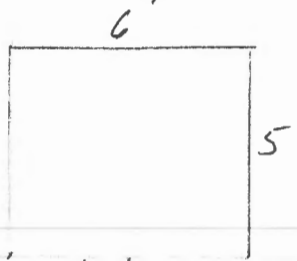
Street
Side



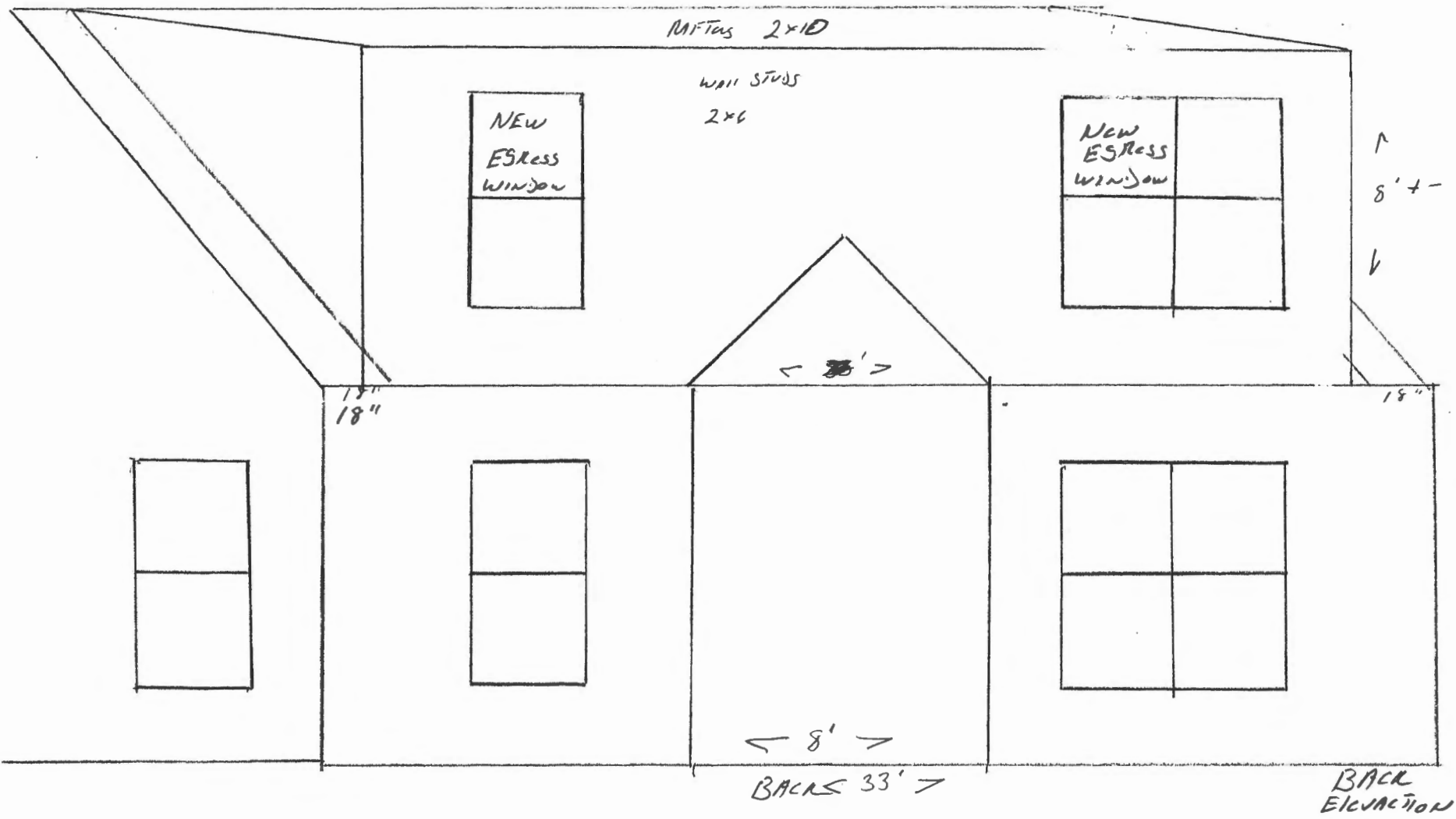
SIDE VIEW
06.5



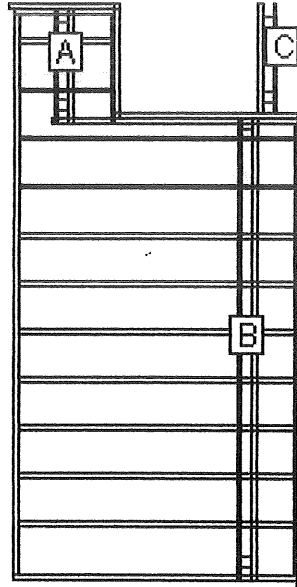
Street



2nd Floor old

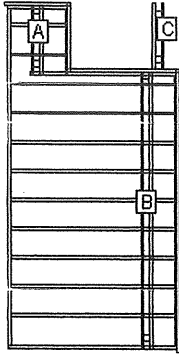


Beam Layout Level 1



BEAM LABEL	BEAM LENGTH	POST COUNT	POST SPACING
A	3' 1 1/2"	2	2' 2"
B	12' 9"	3	5' 10 3/4"
C	3'	2	2' 1/2"

Permit Page: Level 1



LOAD AND SUPPORT:

Your deck will support a 108 PSF live load.
Posts have 30" below ground support.

DECK AND POST HEIGHT:

You selected a height of 72" from the top of the decking to the ground level. The top of the deck support posts will therefore be 61.25" above ground level.

Joists:

Set joists on top of beams, 16"; center to center.

Stress Analysis: Level 1

Component	PSF
Joist Deflection	1425
Joist Bending	189
Joist Shear	185
Joist Compression	220
Beam Deflection	148
Beam Bending	148
Beam Shear	117
Bolt Shear	181
Post Stability	265

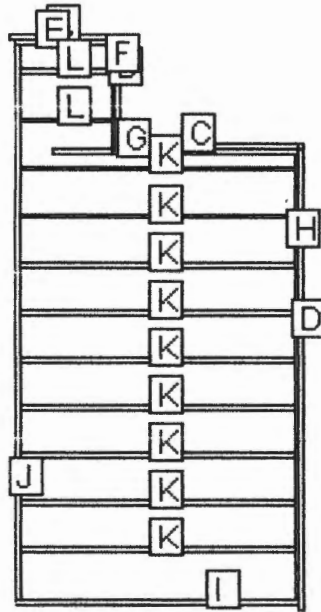
**Below are the Specifications And Materials
that you have selected for your deck.**

Overview	Number of Levels: 1 Total Square Feet: 113	Footer Depth: 30" Live Load: 108 psf Dead Load: 10 psf
-----------------	---	--

Component	Size	Wood Type
Joists	2 x 10	Top Choice Treated
Beams	2 x 10	Top Choice Treated
Posts	4 x 4	Top Choice Treated
Decking	5/4 x 6	Pressure Treated Standard Decking
Railing		Pressure Treated
Bench		None
Lattice		None

FooterDepth	30"	Live Load	108 psf
		Dead Load	10 psf

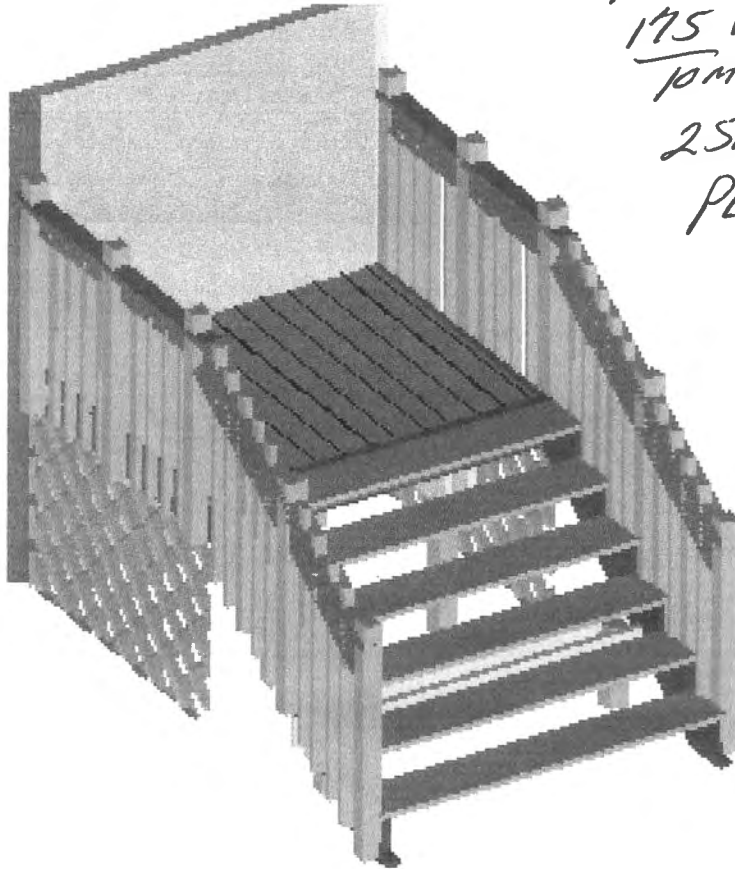
Materials Cut List: Level 1



LABEL	NAME	QTY	LENGTH	BEVELS	LABEL	NAME	QTY	LENGTH	BEVELS
A	Fascia	1	3'	F45 S45	G	Outer Joist	1	6' 8 3/4"	
B	Fascia	1	3' 1 1/2"	F45 S45	H	Header	1	12' 6"	
C	Fascia	1	5' 1 1/2"	F45 S45	I	Outer Joist	1	7' 9"	
D	Fascia	1	13'	F45 S45	J	Header	1	15' 6"	
E	Outer Joist	1	2' 9"		K	Joist	9	7' 6"	
F	Header	1	3'		L	Joist	2	2' 6"	

Cut Angles: L=Left, R=Right, F=Front, S=Side

Chuck Here
is the Plan & Plot
Plan for Refurnish the
Front Deck at
175 Virginia St
Tom Campbell
252-2411
Please Call Me
Thank You

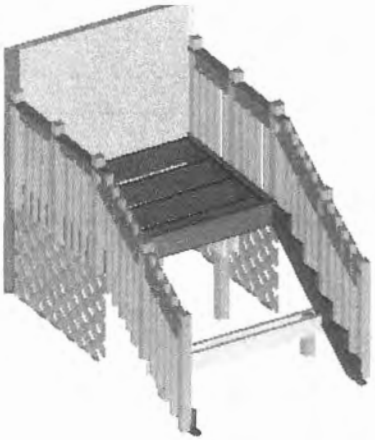


Lowe's Deck Design For

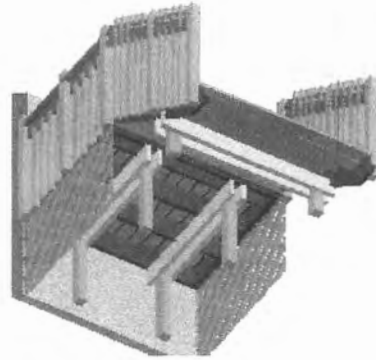
Bob

Print this document and take it to your local Lowe's.
One of our associates will help you find the materials you need.

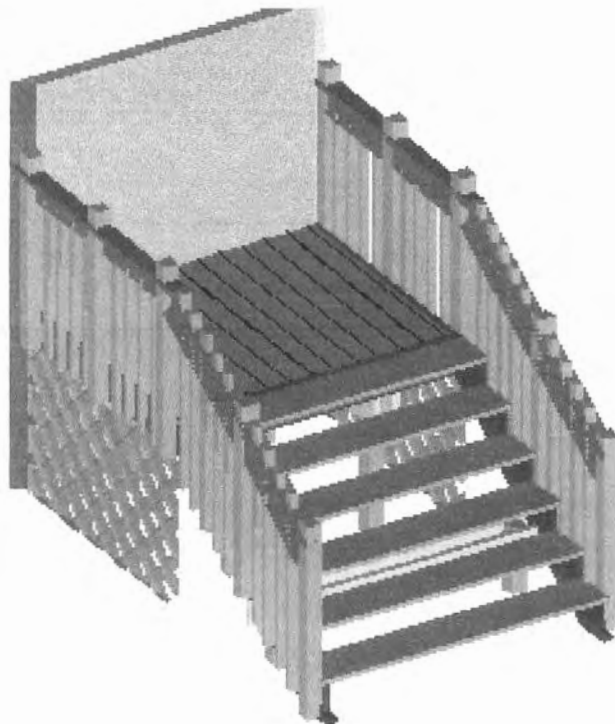
Deck layout diagram



Top view without planks

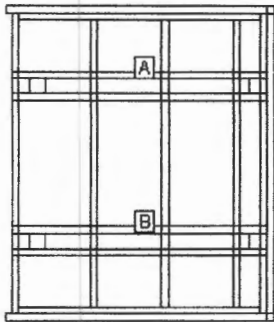


Bottom view with planks



Top view with planks

Permit Page: Level 1



LOAD AND SUPPORT:

Your deck will support a 220 PSF live load.
Posts have 30" below ground support.

DECK AND POST HEIGHT:

You selected a height of 48" from the top of the decking to the ground level. The top of the deck support posts will therefore be 37.25" above ground level.

Joists:

Set joists on top of beams, 16"; center to center.

Stress Analysis: Level 1

Component	PSF
Joist Deflection	27285
Joist Bending	968
Joist Shear	621
Joist Compression	462
Beam Deflection	277
Beam Bending	277
Beam Shear	230
Bolt Shear	702
Post Stability	1063

Warning: This may not be a final design plan. Variations in building codes, specific architectural considerations, or site conditions may require changes to this design. You are responsible for the final structural, code verification, material usage, and structural safety of this design. Be sure to check and verify the design with your architect, engineer and building inspector.

Lowe's is a supplier of material only. Lowe's does not engage in the practice of engineering, architecture, or general contracting. Lowe's does not assume any responsibility for design, engineering, or construction; for the use of installation of materials; or for compliance with any building code or standard of workmanship. Always refer to information on fastener packaging for use with pressure treated lumber.

Preferences: Certain assumptions have been made in order to provide an accurate material quote for your Deck Project. Because local codes vary throughout the country, it is imperative that you check with your local municipality for compliance with local building codes. The following building practice assumptions have been made in providing the materials for your project:

Footer Depth:	30
Footer Type:	Post On Concrete
Joist Cantilever:	12 inches
Joist Spacing:	16" center to center
Spacing Between Deck Planking:	1/8 inch
Stair Stringers:	10 inches
Deck Live Load:	40 psf
Deck Dead Load:	10 psf
Stairs Live Load:	40 psf
Stairs Dead Load:	10 psf

Be sure to check and verify the design with your architect, engineer and building inspector.

Note: It is recommended that joist that meet on top of beams should be spliced with gussets. The gussets should be 2- by wood the same width at the joist and overlap by 6 inches on each side. These gussets should be held in place with 12 16d galvanized nails.

Handling Precautions for Pressure-Treated Wood

Disposal: Dispose of treated wood by ordinary trash collection. Treated wood should not be burned in open fires, stoves, fireplaces, or residential boilers because toxic chemicals may be produced as part of the smoke and ashes. Treated wood from commercial or industrial use (e.g construction sites) must be disposed of in accordance with state and Federal regulations, which may include burning only in commercial or industrial incinerators or boilers. Always refer to information on fastener packaging for use with pressure treated lumber.

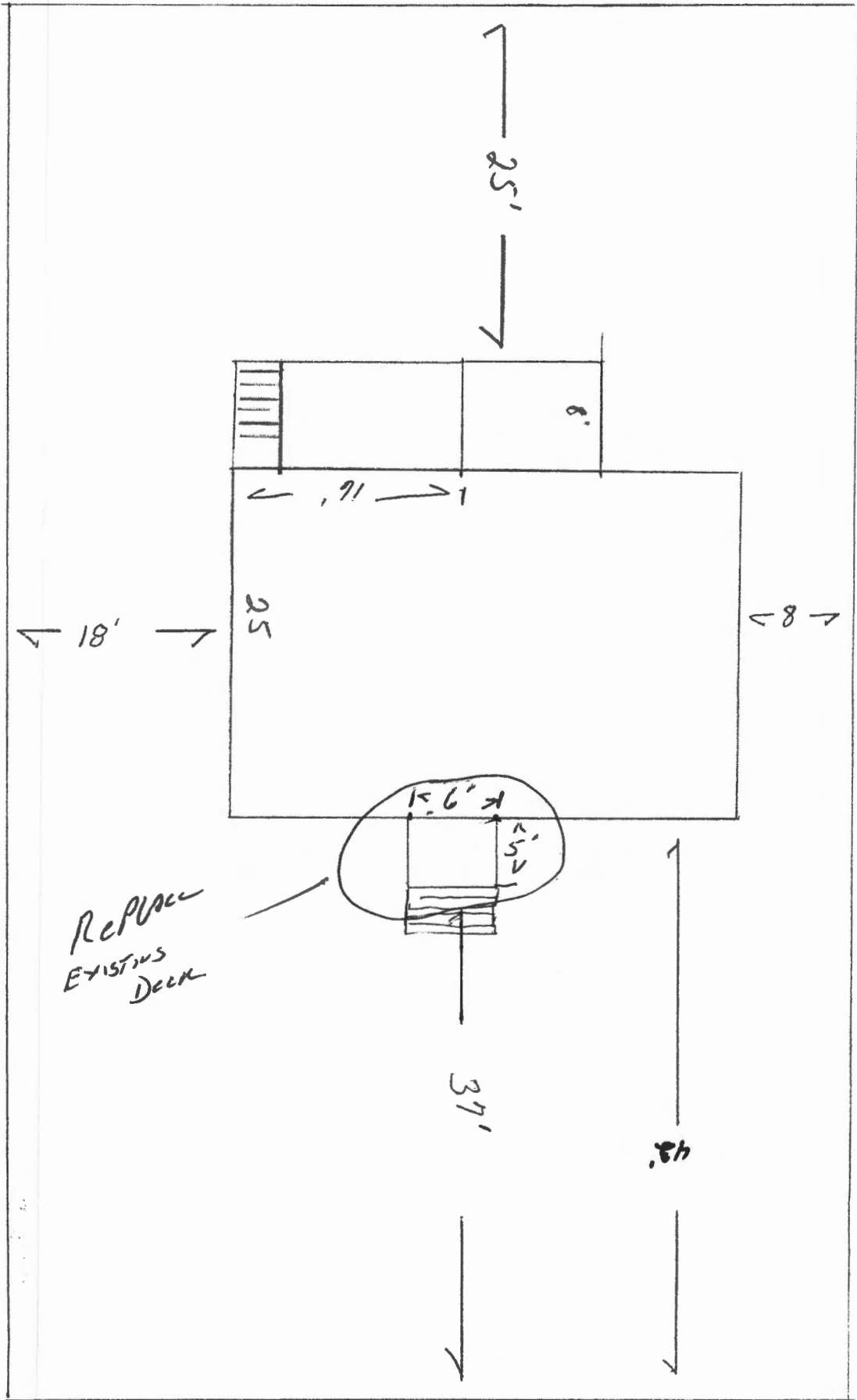
Operating Conditions: Avoid frequent or prolonged inhalation of sawdust from treated wood. When sawing, sanding and machining treated wood, wear a dust mask. Whenever possible, these operations should be performed outdoors to avoid indoor accumulations of airborne sawdust from treated wood. (Lowe's in-store saws are equipped with a vacuum to minimize airborne sawdust).

Protection: When power-sawing and machining, wear goggles to protect eyes from flying particles.

Clean Thoroughly: Wear gloves when working with the wood. After working with the wood, and before eating, drinking, toileting, and use of tobacco products, wash exposed areas thoroughly.

Wash Separately: Because preservatives or sawdust may accumulate on clothes, they should be laundered before reuse. Wash work clothes separately from other household clothing.

For Additional Information: www.epa.gov - www.healthybuilding.net - www.ccasafetyinfo.com
www.treatedwood.com - Call: (800)282-0600 or (800)356-AWP!



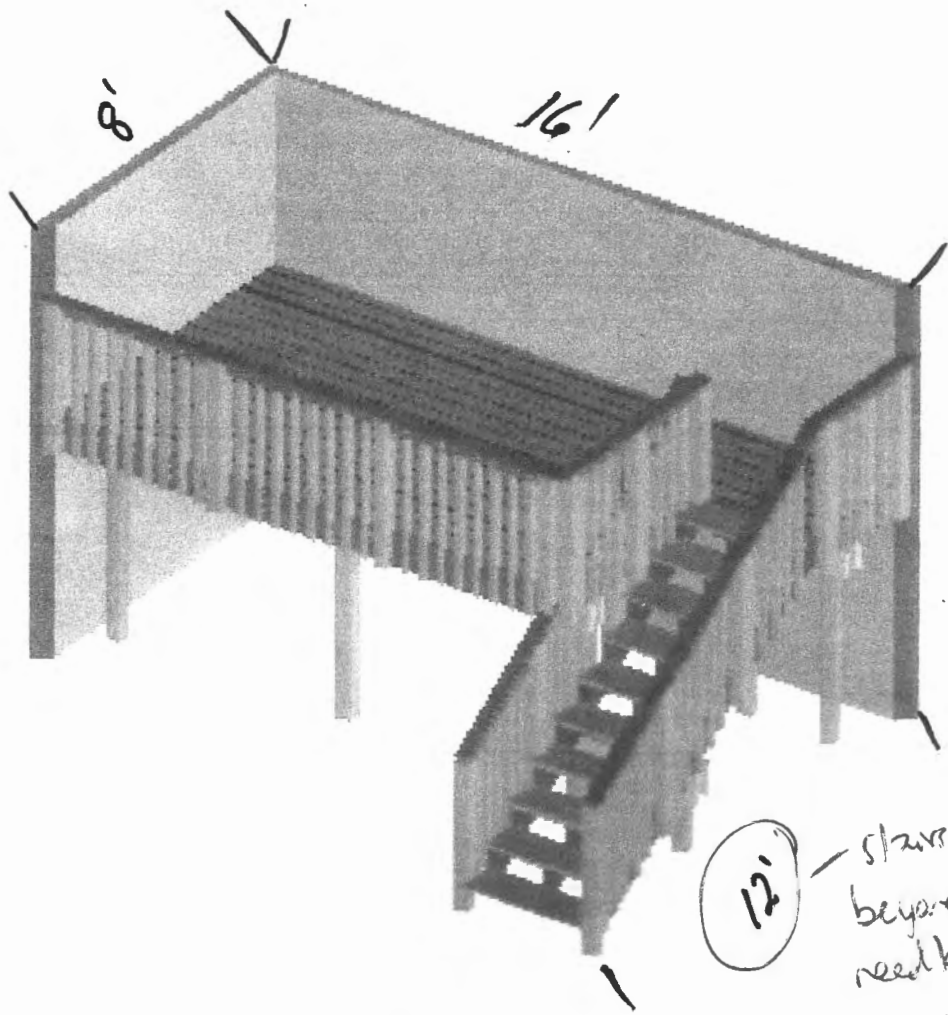
3/22 = 1

RECEIVED

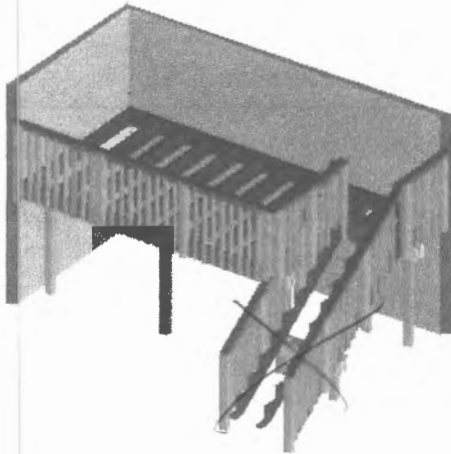
NOV 26 2012

Dept. of Building Inspections
City of Portland Maine

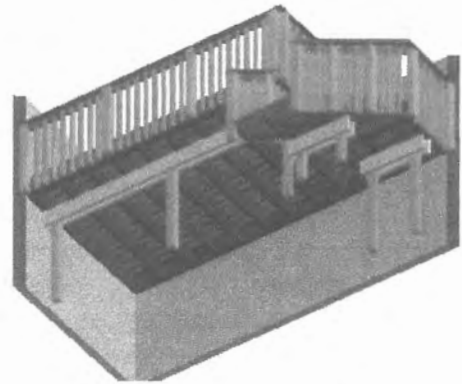
Design and Plan Your Deck



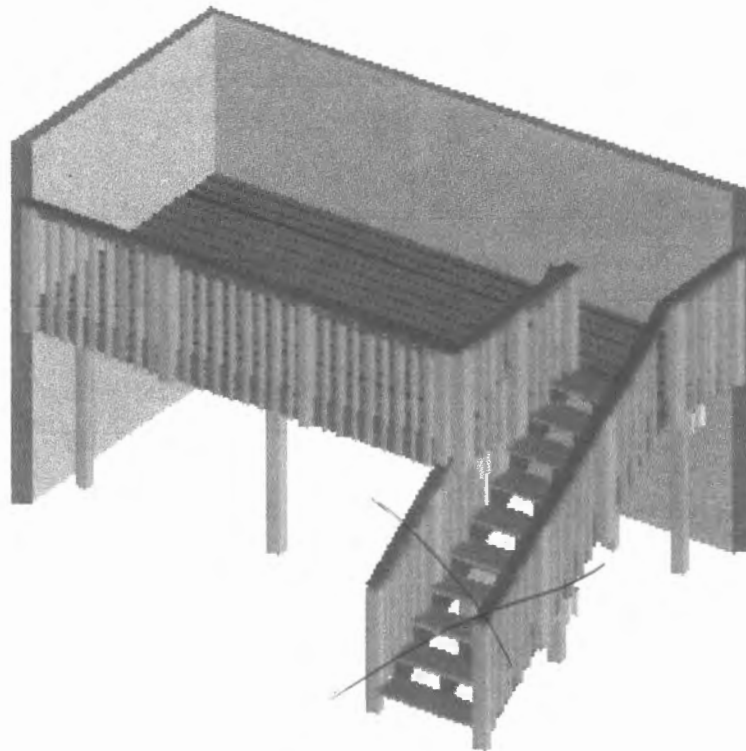
Deck layout diagram



Top view without planks



Bottom view with planks



Top view with planks