

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that RAYMOND, RUBY

Located At 181 VIRGINIA ST

Job ID: 2012-03-3466-ALTR

CBL: 404- F-001-001

has permission to build a 16 by 20 foot deck (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

04/04/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Framing
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-03-3466-ALTR

Located At: 181 VIRGINIA ST

CBL: 404- F-001-001

Conditions of Approval:

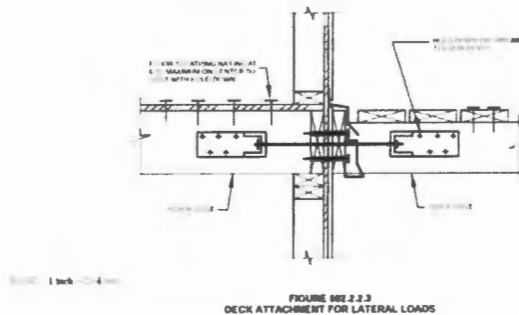
Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
4. Attached Decks/ Porches require frost protection and must be installed at least 4' from grade.
5. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
6. The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.
7. R311.7.1Width. Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.

8. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
9. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
10. **Note: Owner agreed to install Girders/ Beams "spaced together" for the 8'-0" span and interior Sliding Glass Door in accordance with Table R502.5(1), see attachment.**



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-03-3466-ALTR	Date Applied: 3/7/2012	CBL: 404- F-001-001	
Location of Construction: 181 VIRGINIA ST	Owner Name: RAYMOND WILLIAM RUBY	Owner Address: 181 VIRGINIA ST PORTLAND, ME 04103	Phone: 203-910-1974
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - single family - build 16' x 20' rear deck	Cost of Work: 3000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature:	Inspection: Use Group: <i>PS</i> Type: <i>SB</i> <i>MUBEC</i> Signature: <i>[Signature]</i>
Proposed Project Description: raised deck & sliding glass door		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/ conditions</i> <i>3/12/12</i> <i>APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JEM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

R-3

2012.03.3466 66

By mail



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>181 Virginia Street</u>		
Total Square Footage of Proposed Structure/Area <u>320 sqft</u>	Square Footage of Lot <u>6,970 sq ft +/-</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>Map 404</u> Block# <u>Lot 1-2</u> Lot# <u>RECEIVED 404 Foot</u>	Applicant: (must be owner, lessee or buyer) Name <u>Raymond Ruby</u> Address <u>181 Virginia St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>203-910-1974</u>
Lessee/DBA <u>MAR 07 2012</u> <u>Dept. of Building Inspections</u> <u>City of Portland Maine</u>	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <u>3,000</u> <u>materials</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <u>Building a raised deck off the kitchen, and installing a sliding glass door.</u>		
Contractor's name: <u>Self / Father-in-law</u>		Email:
Address:		Telephone:
City, State & Zip:		Telephone: <u>203-910-1974</u> <u>207-436-1127</u>
Who should we contact when the permit is ready: <u>Ray Ruby</u>		Telephone:
Mailing address:		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date:

2/29/12

This is not a permit; you may not commence ANY work until the permit is issued

HOUSE

20 FT

2x6
RACE

2x6 FRAME 16" OC.

DOWN 2x8 GIRDERS

2x6
RACE

16 FT

4x4 POSTS

32
x
32

1x2x2

32" STAIR

11x32" STEPS 7" RISE/STEP

APPROX 7 FT. HIGH

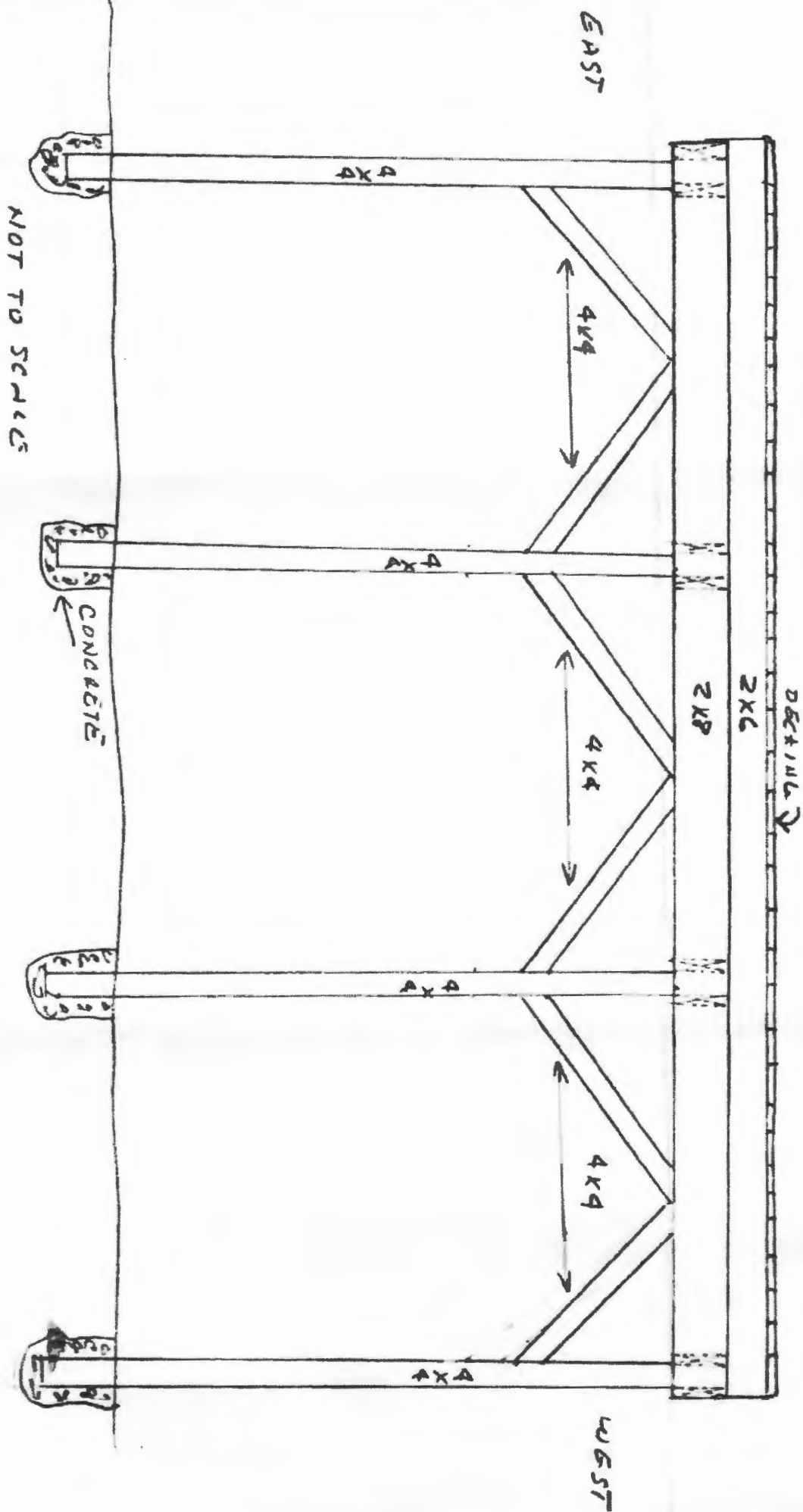
CONCRETE
LANDING

NOT TO SCALE:

NUD
36

Back View

HOUSE



SIDE VIEW

DINING ROOM

FLOOR

FLOOR JOIST
2 X 8

BASEMENT

2 X 4

CONE

5/4 DECKING

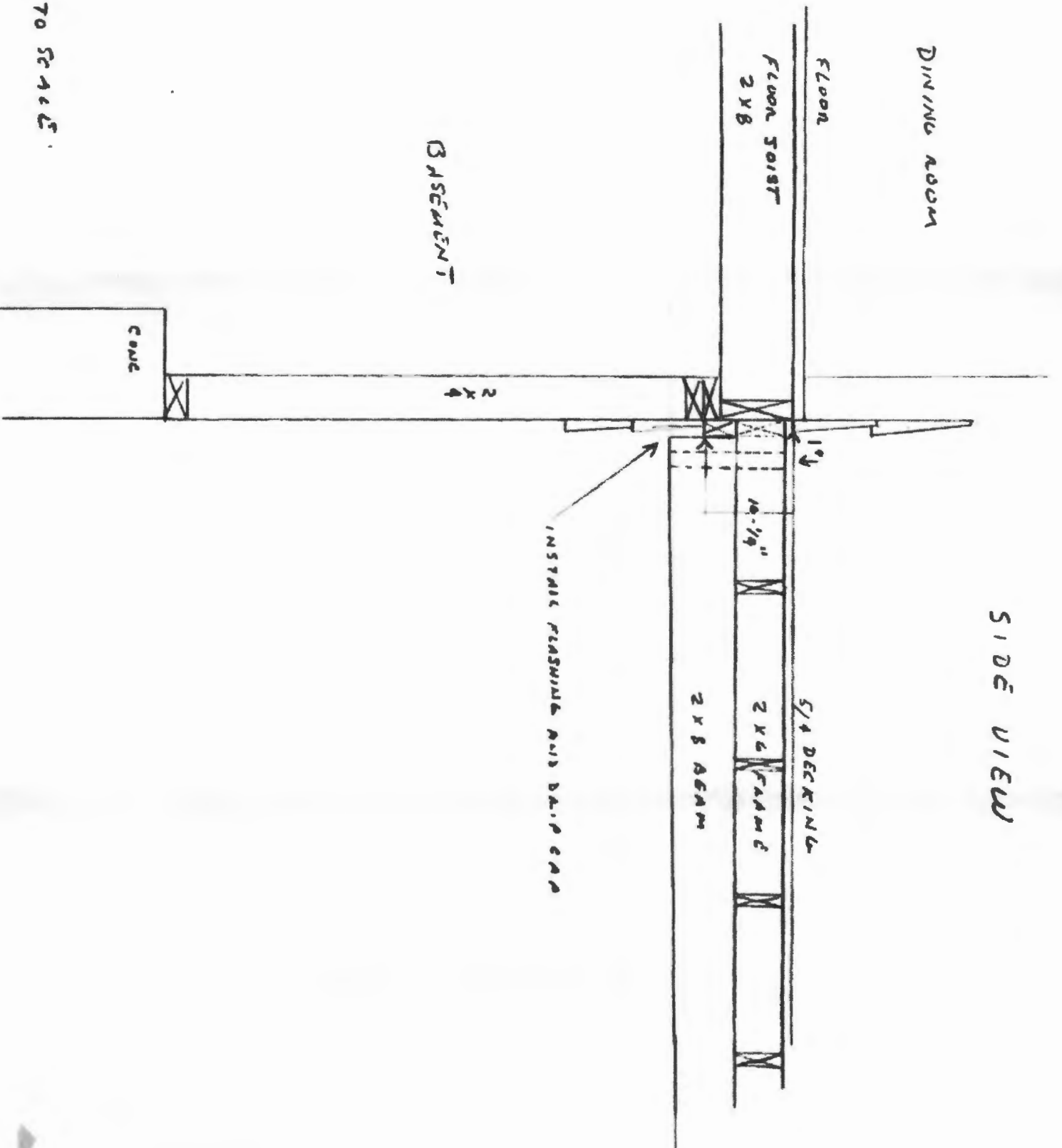
10'-1/4"

2 X 6 FRAME

2 X 8 BEAM

INSTALL FLASHING AND D.W.P. CAP

NOT TO SCALE



SIDE VIEW

HOUSE FLOOR JOIST

2x8

2x6 DECK JOIST

32" O.C.

5" x 1/2" BOLTS

2x4 WALL

15:10 1/8" 2x6 FLOOR

15:7 1/2" 2x8 BEAM

16' DECK BOARD

DOUBLE 2x8 DIAPHRAGMS

HOUSE

92"

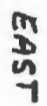
185'

NOT TO SCALE

CONCRETE

CONCRETE

APPROX. 20'-6" H
TO CEILING DOOR



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Plan

Window/doors:

We will be replacing two windows in the kitchen area with a new 60 in. by 80 in. sliding glass door. This will allow access from the kitchen onto the new patio.

Pier Layout:

The 16ft. x 20ft. patio will be supported by (10) 4 "x 4" P.T. posts. The bottoms will be in concrete below grade and will be supporting (4) double 2" x 8" P.T. girders which will be bolted to the posts using 7" x 1/2" carriage bolts, (2) per post. The posts will also be braced with 4" x 4"s at 45 degree angles to the under side of the deck frame with 3/8" x 5" lag screws for side to side stability. At the house, the girders will be supported at the ledger and each will be secured with (6) 3/8" lag bolts and also bolted to the house with 1/2" threaded rods through the 2" x 8" house floor joist in the basement.

Framing:

The deck frame will be made of 2" x 6" P.T. lumber spaced 16" apart and secured with 3" screws. This frame work will be secured on top of the 4 girders. We will also be installing (2) 16 ft. 2" x 6"s embedded into the girders at a 45 degree angle for additional side to side stability. The top deck will be made of 5/4" P.T. decking boards.

Guards/Railings:

The deck will have privacy lattice on both the east and west side length of the deck. The height will be 6 ft. high and framed using 2" x 4" posts secured to the bottom deck frame and house. The north side will be made of a 2' x 4" frame but will support 2" x 2" balusters 40" high and spaced 3 1/2" apart. The same will be installed for the stairway down to grade level.

Stair Dimesions:

The stairs will be 32" wide by 11" deep with a rise of 7" per step. The total amount of steps is unknown at this time but I estimate there may be 11 or 12 steps in all. The stairs will end onto a 32" x 32" landing at the top. The bottom will end onto a 40" x 24" x 5-1/2" concrete base.

Need 36"
Need 36" x 36"

Don Lavoie

R-3-

lot size 7000±

front setback N/A

rear setback 25' - 30' min

side - 8' - 25' 30' min

lot coverage = 35% = 2450±

have rear lot
20x10 = 320

1328±

Illinois Avenue
(Paper)

Apparent R/W

100'±

Paved
Driveway

E

40'±

Apparent R/W

30'±

1327

1328



*35'



20'

New Deck

16'

*25'±

chainlink fence

100'±

Kitchen

Dining

42

Bath

Bedroom

Living Room

Bedroom

Bedroom

* numbers came from
Raymond Ruby by
telephone - 3112112.
side yards don't quite
add up but > than 14' 50'±

Utility
Pole

Virginia Street



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- ☒ Cross sections w/framing details
- ☒ Floor plans and elevations existing & proposed
- ☐ Detail removal of all partitions & any new structural beams
- ☐ Detail any new walls or permanent partitions
- ☒ Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- ☒ Window and door schedules
- ☐ Foundation plans w/required drainage and damp proofing (if applicable)
- ☐ Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- ☐ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- ☒ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- ☐ Electronic files in pdf format are also required
- ☐ Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- ☐ The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- ☐ Location and dimensions of parking areas and driveways
- ☐ A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



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Receipts Details:

Tender Information: Check , BusinessName: Raymond Ruby, Check Number: 106

Tender Amount: 50.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 3/8/2012

Receipt Number: 41561

Receipt Details:

Referance ID:	5508	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Job ID: 2012-03-3466-ALTR - raised deck & sliding glass door			
Additional Comments: 181 Virginia St			

Thank You for your Payment!

Stairs- 36" wide

Frost protection - 4' frost

Girders must be 2- 2x12's
for an 8' span

The girder must be
screwed together
