

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 030990

This is to certify that Morin Michael F & /Bruce Sawyer
has permission to add 8' x 10' deck & 6' x 7-1/2' mudroom attached ending and stairs & replace doghouse on rear w/bulkhead
AT 28 Loring Ave 402 B007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 03-0990 | Issue Date: | CBL: 402 B007001 |
|-----------------------|-------------|---------------------|

| | | | |
|--|----------------------------------|---------------------------------------|------------------------|
| Location of Construction: 28 Loring Ave | Owner Name: Morin Michael F & | Owner Address: 28 Loring Ave | Phone: 207-878-0919 |
| Business Name: | Contractor Name: Bruce Sawyer | Contractor Address: Portland | Phone: 2073785700 |
| Lessee/Buyer's Name | Phone: | Permit Type: Additions - Dwellings | Zone: R-3 |

| | | | | |
|--|--|---|-----------------------------|---|
| Past Use: single family | Proposed Use: single family - add 8' x 10' deck & 6' x 7-1/2' mudroom w/attached landing and stairs & replace doghouse on rear w/bulkhead | Permit Fee: \$93.00 | Cost of Work: \$8,000.00 | CEO District: 2 |
| Proposed Project Description: add 8' x 10' deck & 6' x 7-1/2' mudroom w/attached landing and stairs & replace doghouse on rear w/bulkhead | | FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: | | INSPECTION: Use Group: R-3 Type: 5B BOCA 99 Signature: |
| | | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____ | | |

| | | |
|-------------------------|---------------------------------|------------------------|
| Permit Taken By: tmm | Date Applied For: 08/19/2003 | Zoning Approval |
|-------------------------|---------------------------------|------------------------|

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

| | | |
|---|---|--|
| Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/19/03 | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/19/03 |
|---|---|--|

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

August 12, 2003 @ 2:00

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|--|---|
| Location/Address of Construction: <u>28 LORING AVENUE</u> | | |
| Total Square Footage of Proposed Structure <u>128 ft²</u> | | Square Footage of Lot <u>5,873 ft²</u> |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>402</u> <u>B-7</u> | Owner: <u>883-3355</u> <u>MICHAEL F. MORIN</u> | Telephone: <u>207-878-0919</u> |
| Lessee/Buyer's Name (If Applicable) <u>N/A</u> | Applicant name, address & telephone: <u>MICHAEL F. MORIN</u> <u>28 LORING AVENUE</u> <u>PORTLAND, ME 04103</u> <u>207-878-0919</u> | Cost Of Work: \$ <u>8,000</u> Fee: \$ <u>75.00</u> <u>93.00</u> |
| Current use: <u>RESIDENTIAL (R-3)</u> | | |
| If the location is currently vacant, what was prior use: <u>N/A</u> | | |
| Approximately how long has it been vacant: <u>N/A</u> | | |
| Proposed use: <u>RESIDENTIAL</u> | | |
| Project description: <u>REMOVE EXISTING DECK AND REPLACE WITH A COVERED PORCH AND DECK 8' X 10'</u> | | |
| Contractor's name, address & telephone: <u>BRUCE SAWYER</u> <u>PORTLAND, ME</u> <u>378-5700</u> | | |
| Who should we contact when the permit is ready: <u>MICHAEL F. MORIN</u> | | |
| Mailing address: <u>28 LORING AVENUE</u> <u>PORTLAND, ME 04103</u> | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-878-0919 | | |

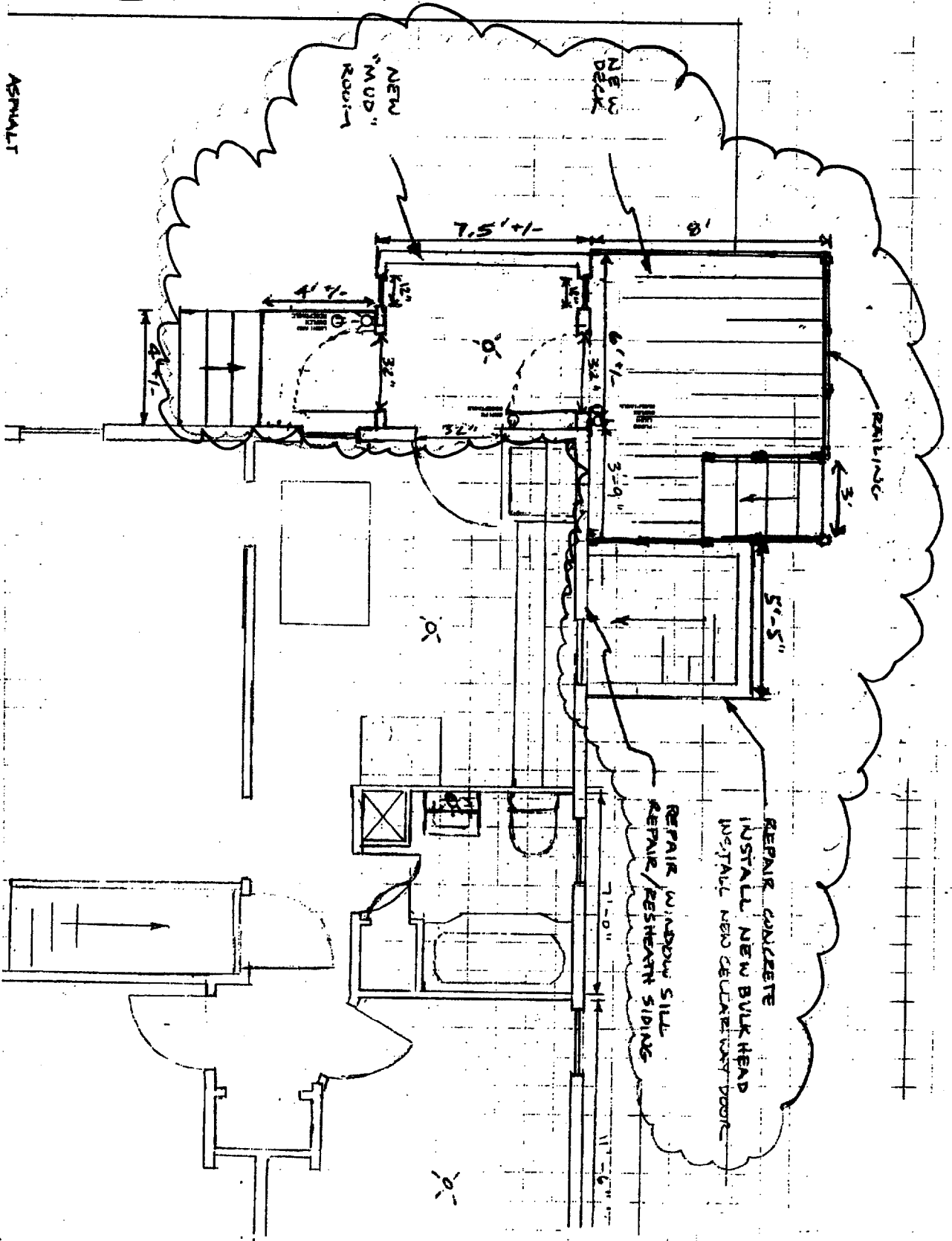
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|---------------------|
| Signature of applicant: <u>Michael F. Morin</u> | Date: <u>8/1/03</u> |
|---|---------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

ASPHALT



Roof Construction

2 x 6" construction, 16" on center - 3-3" span - OK

Windows
1"

3/4" Plywood, temporary ✓
3 ft., 3-tab self-sealing asphalt shingles ✓
6" fiberglass insulation ✓
Waterproofing ✓

2 x 6" construction, 16" on center ✓
6" fiberglass insulation ✓

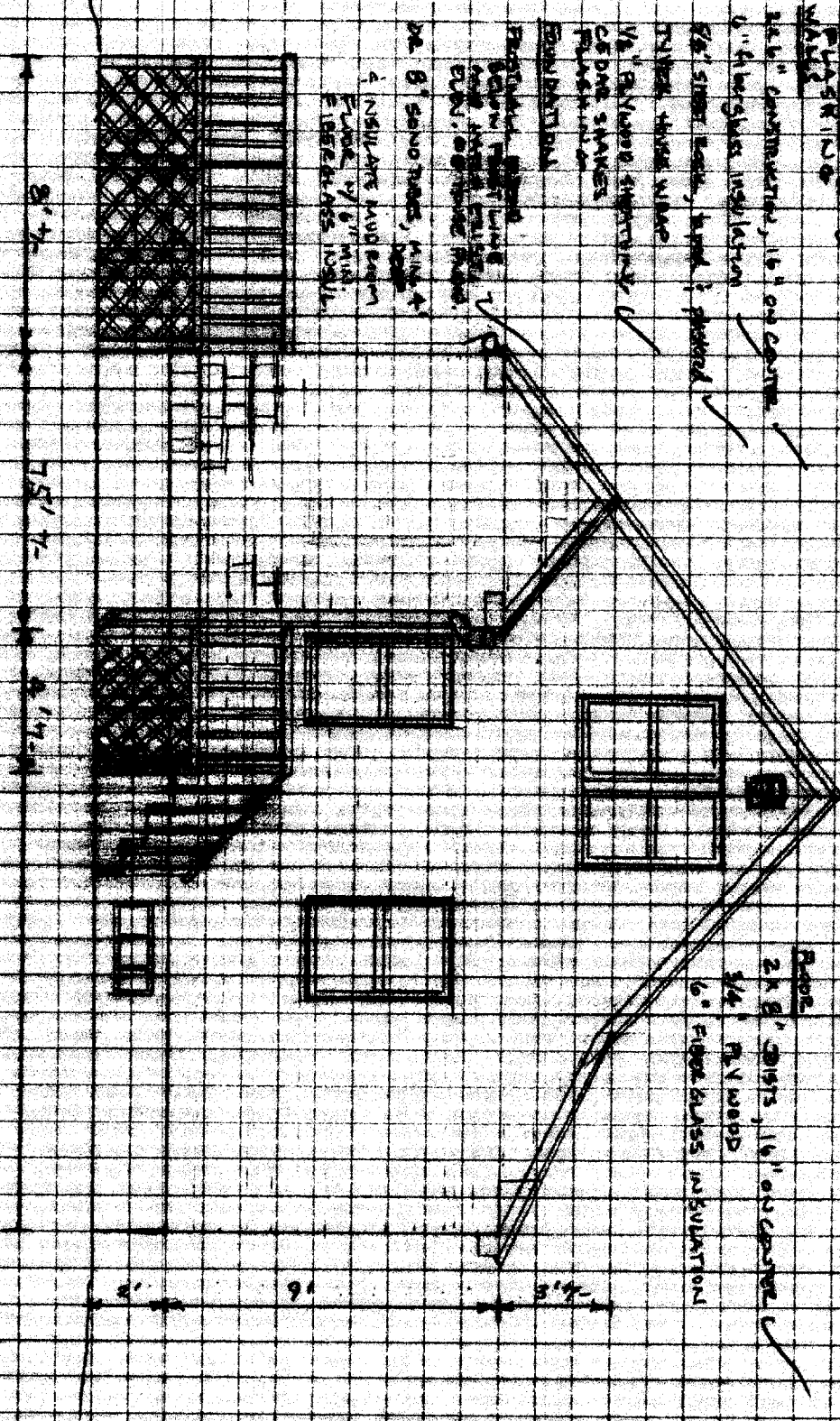
6" steel brace, braced & painted ✓
Other three walls ✓

1/2" plywood sheathing ✓
cedar shakes
fasteners

Foundation

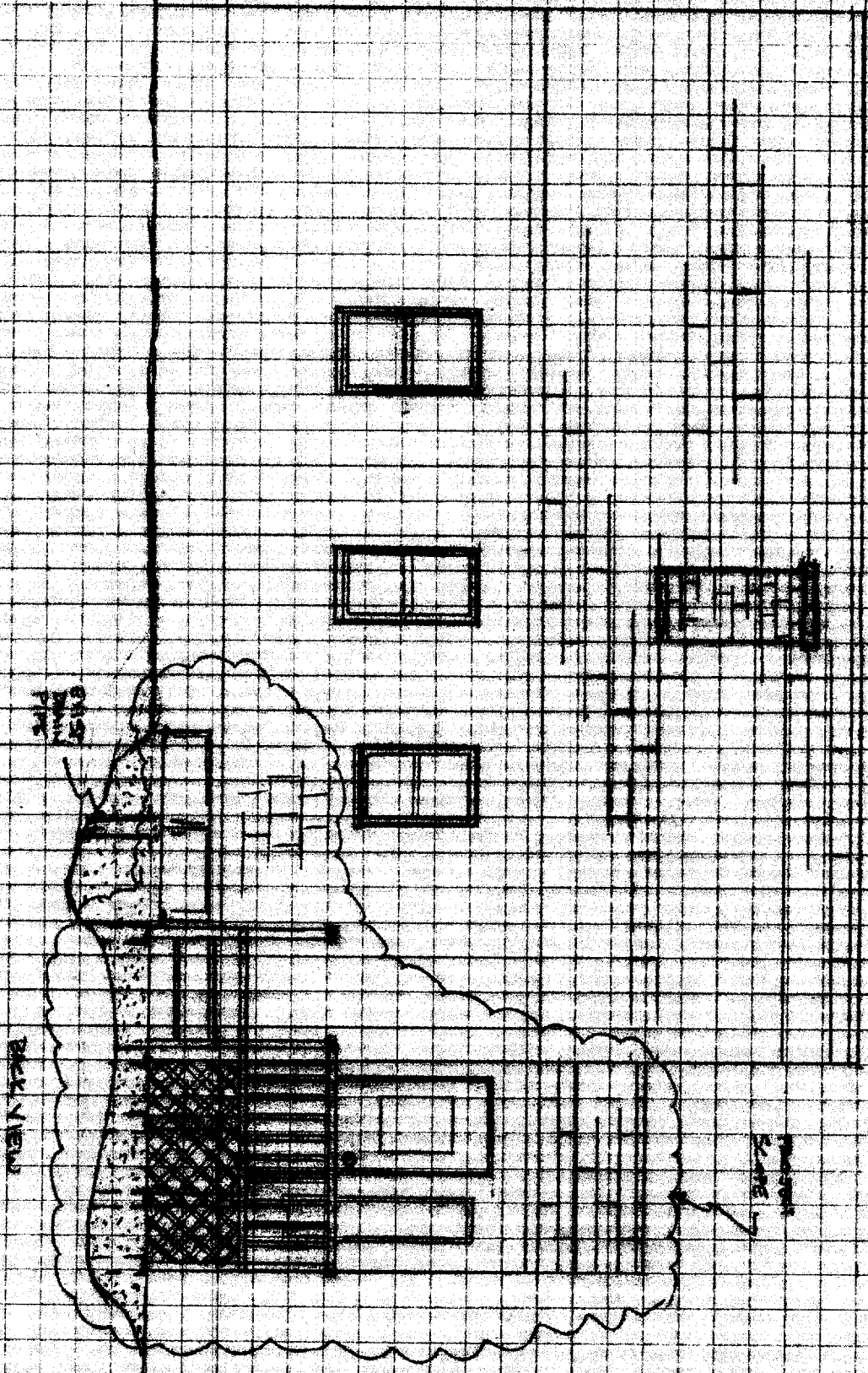
Excavated, poured
below frost line
new 8" x 8" concrete
curb, exterior finish.

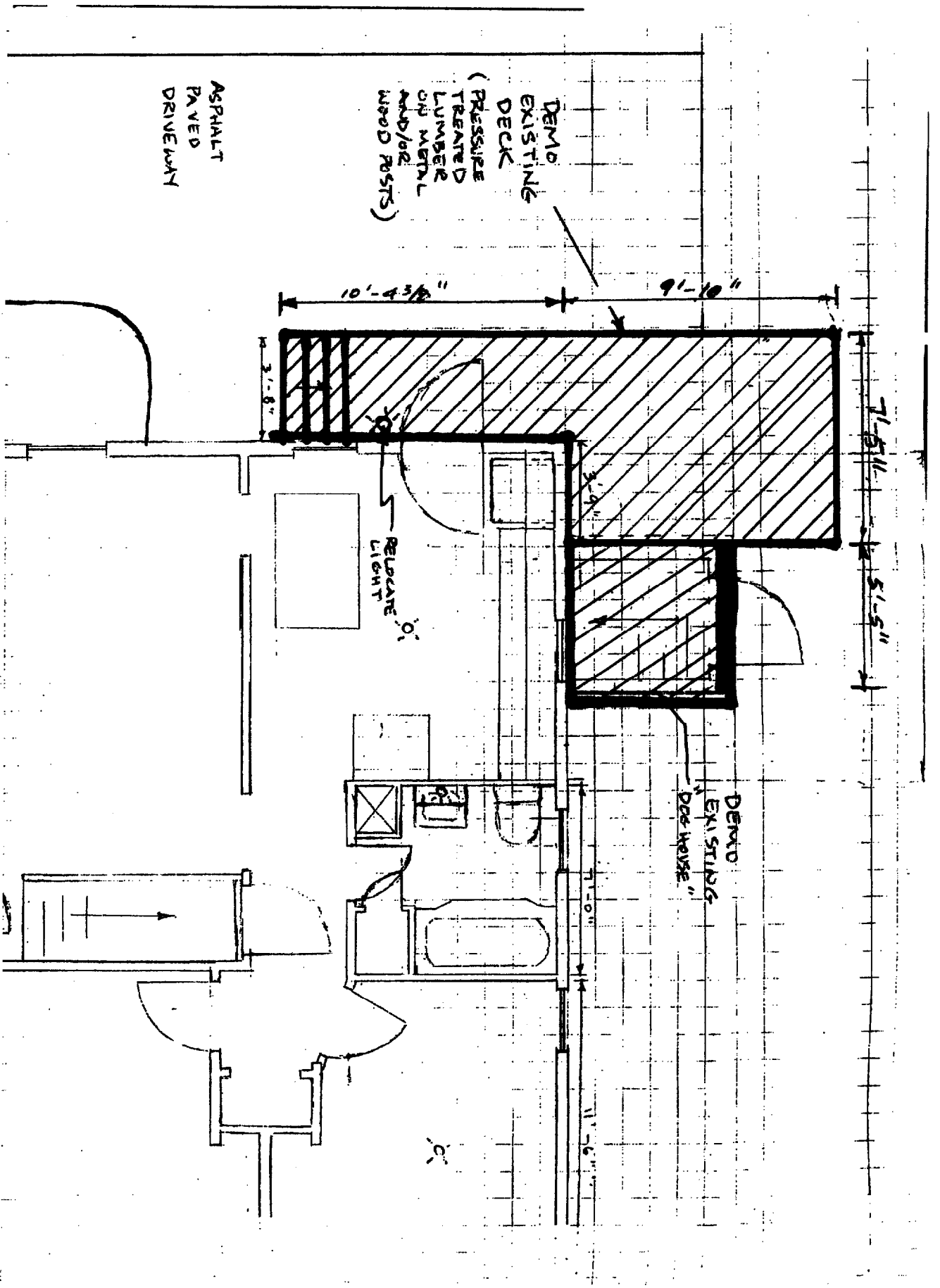
One 8" sawn post, 4" x 4"
4" insulate and pour
floor w/ 6" min.
fiberglass insul.



Roof
2 x 6" joists, 16" on center ✓
3/4" Plywood ✓
6" fiberglass insulation ✓

SIDE VIEW
FRONT DRIVEWAY





TO: TAMMY

FROM: MICHAEL MORIN

RE: ADDITIONAL INFO REQUESTED FOR
28 LORING AVENUE

CHART # 402

LOT # B-7

REMOVAL & REPLACEMENT OF DECK.

ATTACHED IS ADD'L INFO REQUESTED, INCL.

- STAIR & TREAD DETAILS (LIST OUT)
- GUARD RAIL & HANDRAIL LIST OUT
- DOOR & WINDOW FRAMING & HEADER LIST OUT
- DECK / FLOOR FRAMING

NOTE: I'VE ADD'D AN ADDITIONAL DWG¹ COMMENTS
SHEET IN ADDITION TO REVISING 2 OF THE
ORIGINAL DWGS.

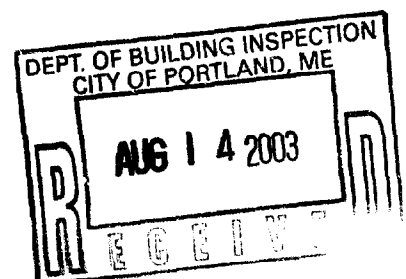
CALL ME IF YOU HAVE ANY QUESTIONS

878-0919 (H)

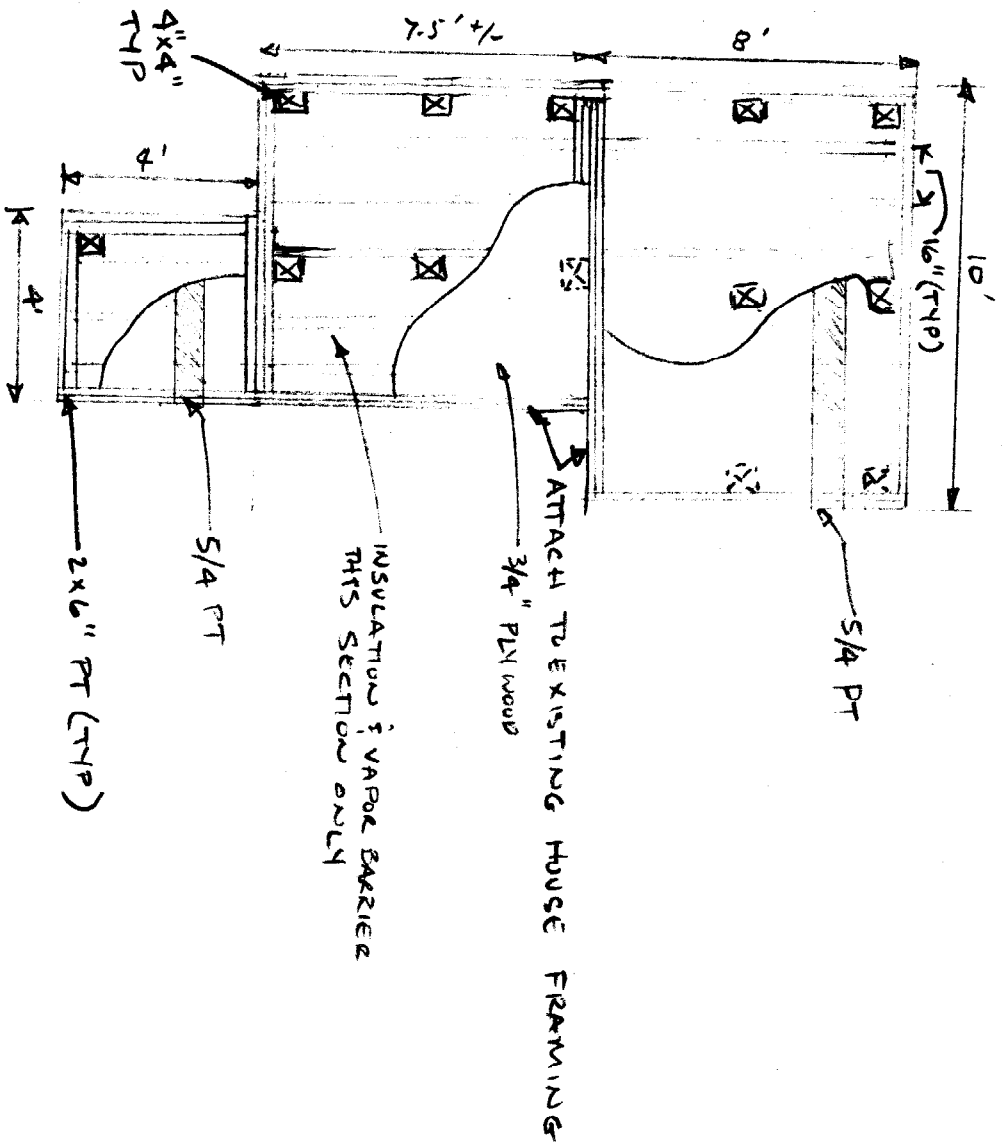
329-8367 (cell)

THANKS.

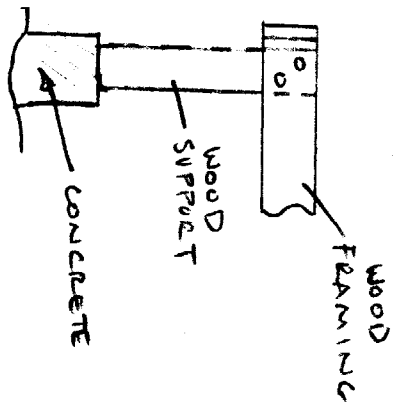
Michael Morin



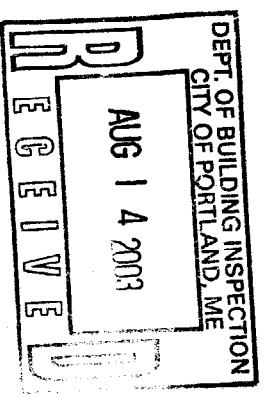
DECK/FLOOR FRAMING DETAIL



PLAN VIEW



ELEV SCHEMATIC



ADDITIONAL COMMENTS

DECK & PORCH ENTRY STAIRS (TYP).

2" x 10" PT STRINGERS (3)

w/ 10" TREADS AND 7 3/4" RISERS ✓

TREADS WILL BE 5/4 PT DECKING ✓

36" H HAND RAIL w/ 4" BALLISTER SPACING ✓

HAND RAIL COMPONENTS - FACTORY CUT, COMMERCIALY AVAIL MAT'LS.

GENERAL MATERIALS

ALL DECKING MATERIALS WILL BE GROUND-CONTACT PT.

DECK AND LANDING (TYP)

FRAMING - 2x6" PT - 8' SPAN - OK

SUPPORTS - 4x4" PT ✓

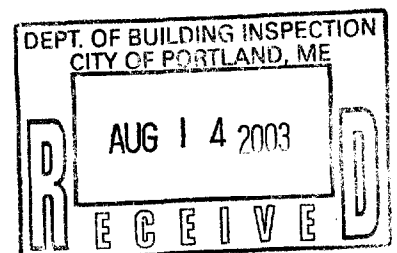
DECKING - 5/4 PT ✓

HARDWARE - HD GALV. ✓

DBL FACE PLATE - 2x6" PT ✓
ON HOUSE SIDE

RAILING - 36" H w/ 4" BALLISTER SPACING ✓

FACTORY CUT, COMMERCIALY AVAIL MAT'LS
PT



ROOF CONSTRUCTION

2 x 6" CONSTRUCTION, 16" ON CENTER
3/4" PLY WOOD, 1/2" THICK

3 ft., 3-bolt self-sealing asphalt shingles
nearest match to roof edge

6" fiberglass insul.
FLOOR 2x6" W/6"

2 x 6" CONSTRUCTION, 16" ON CENTER

6" fiberglass insulation

5/8" SHEET ROCK, taped & plastered

INTERIOR HOUSE WRAP

1/2" PLYWOOD SHEATHING

CEDAR SHAKES

FLASHING

FOUNDATION

FRONT WALL BRICK
BELOW FOOT LINE
AND MATCH EXIST.
ELEV. OF HOUSE FLOOR.

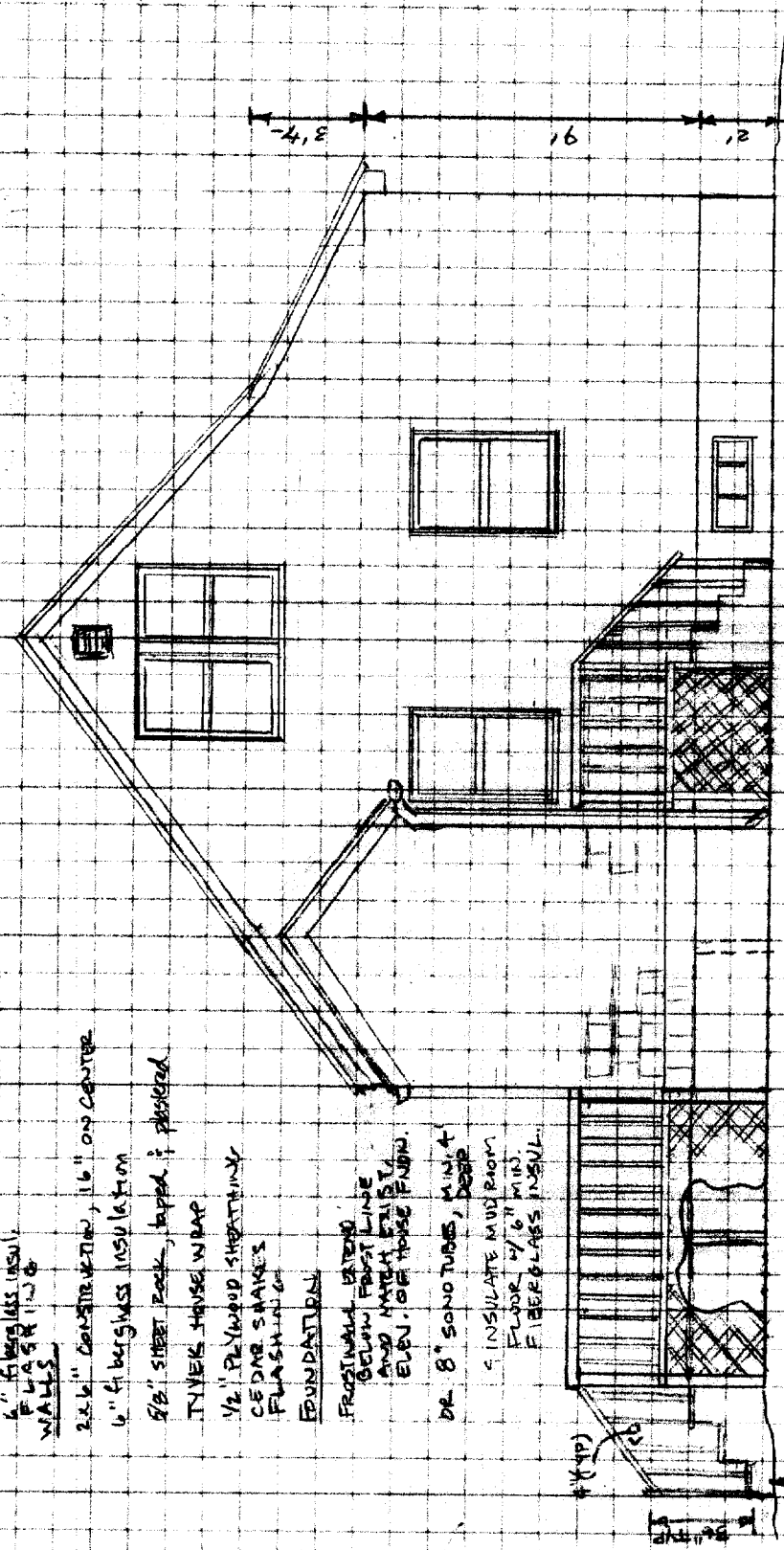
OR 8" SONOTUBE, MIN. 4'

INSULATE AND ROOM

FLOOR w/ 6" MIN. FIBERGLASS INSUL.

UPPER DOWN & DOOR FRAMING (TYP)
FRAMING AND MEMBERS - DOUBLE 2x6"

ROOF WINDOW/DOOR FRAMING
CALL OUT



SIDE VIEW
FROM DRIVEWAY

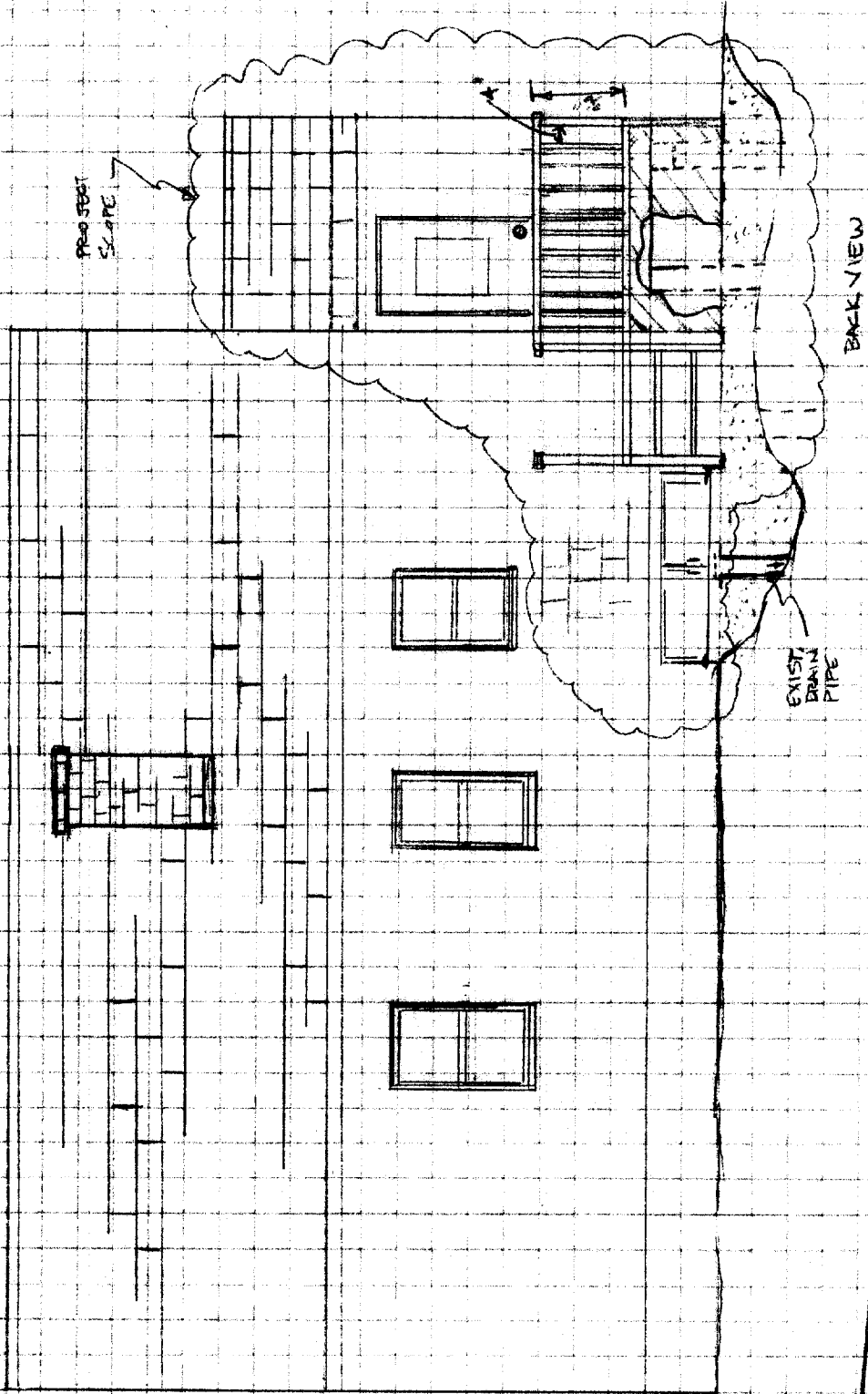
REVISED TO SHOW
CHANGE IN STAIR LOCATION

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

AUG 14 2003

RECEIVED

DOORS (TYP OF 2)
INSULATED,
LIGHTED
32" W



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

AUG 14 2003

RECEIVED

REVISED FOR MINOR CHGS.

Hand-drawn architectural floor plan of a residential unit. The plan includes the following rooms and features:

- Kitchen:** Located at the top left, featuring a sink, stove, and refrigerator. Dimensions include 5'-5" for the counter area and 3'-9" for the depth.
- Bathroom:** Located at the top right, containing a bathtub and toilet. Dimensions include 7'-0" and 11'-6".
- Living Area:** Located in the center, featuring a fireplace and a large window. Dimensions include 6'-9" and 3'-9".
- Deck:** A new deck is shown at the bottom left, with a dimension of 7'-5" x 1'-0".
- Porch:** A new covered porch is shown at the bottom right, with a dimension of 4'-7".
- Landing:** A landing area is shown at the bottom right, with a dimension of 4'-1".
- Annotations:**
 - "REPAIR CONCRETE", "INSTALL NEW BULK HEAD", and "INSTALL NEW CELLAR ENTRY DOOR" are noted near the top left.
 - "REPAIR WINDOW SILL" and "REPAIR/RESTHEAT SIDING" are noted near the top right.
 - "NEW DECK" is noted near the bottom left.
 - "NEW COVERED PORCH" is noted near the bottom right.
 - "LANDING" is noted near the bottom right.
- Dimensions:** Various dimensions are provided throughout the plan, including 3'-0", 3'-9", 6'-9", 7'-5", 11'-6", 7'-0", 5'-5", 4'-7", and 4'-1".

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

AUG 14 2003

RECEIVED