

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

PERMIT ISSUED

Permit Number 000767

CITY OF PORTLAND

This is to certify that HARRIS JOSEPH A /Higgin Tim

has permission to build a 28' x 34' Single Family Home with 28' x 28' garage

AT 28-30 GERTRUDE AVE

402 A007001

provided that the person or persons who obtain or accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered, or enclosed-in, 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0767		Issue Date: JUN 26 2006		CBL: 402 A007001			
Location of Construction: 28-30 GERTRUDE AVE		Owner Name: HARRIS JOSEPH A		Owner Address: 32 GERTRUDE AVE			
Business Name:		Contractor Name: Higgins, Tim		Contractor Address: 242 Veranda Street Portland			
Lessee/Buyer's Name		Phone:		Permit Type: Single Family			
Past Use: Vacant Lot/ Split Lot from 32 Gertrude Ave		Proposed Use: Single Family Home/ build a 28' x 34' Single Family Home w/ 16' x 28' garage		Permit Fee: \$924.00			
				Cost of Work: \$92,000.00			
				CEO District: 4			
				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied			
				INSPECTION: Use Group: R3 Type: SB 6/26/06 Signature: [Signature]			
Proposed Project Description: build a 28' x 34' Single Family Home w/ 16' x 28' garage				Signature:			
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:			
Permit Taken By: ldobson		Date Applied For: 05/23/2006		Zoning Approval			
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone prev 7 - Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2006 - C120 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Other conditions Date: 6/12/06 [Signature]		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:		Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied [Signature] Date:	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

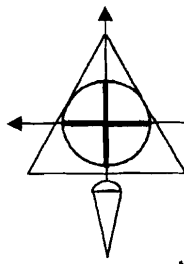
DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE



BACK BAY BOUNDARY, INC.

LAND SURVEYING

June 13, 2007

The Inspections Department

City of Portland
389 Congress Street
Portland, Maine 04101

Subject: Foundation layout of 30 Gertrude Ave also known Tax Map 402-A-20-21

Please accept this letter as certification that on June 12, 2007 Back Bay Boundary, Inc. visited the above mentioned site for the purpose of staking out the foundation corners of the proposed structure on top of the existing footing in place.

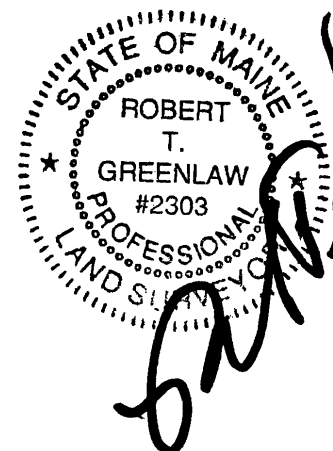
We marked each corner of the proposed foundation on the footing in the exact location of the outer corner of the proposed foundation. The foundation crew was present and utilized these locations for the placement of their forms.

We checked the forms and verified that they met the current setback restrictions of the R- 3 zone as we depicted on our site plan of the subject parcel.

Should you have any questions or comments please call or email our office immediately.

Sincerely,

Robert T. Greenlaw, PLS
Maine Professional Land Surveyor #2303



(207) 774-2855

643 Forest Avenue Portland, Maine 04101
Email ~Backbayboundary@cs.com

Fax (207) 347-4346

www.Backbayboundary.com

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Call Footing/Building Location Inspection: Prior to pouring concrete
N/A Re-Bar Schedule Inspection: Prior to pouring concrete
Call Foundation Inspection: Prior to placing ANY backfill
Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee
[Signature]
Signature of Inspections Official
CBL: 402 A007 Building Permit #: 060767
Date 6/26/06
Date

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

INSPECTION

PERMIT

PERMIT ISSUED

Permit Number 000767

CITY OF PORTLAND

This is to certify that HARRIS JOSEPH A /Higginson Tim

has permission to build a 28' x 34' Single Family Home with 28' x 28' Garage

AT 28-30 GERTRUDE AVE

402 A007001

Extended Till
June 26, 2007

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

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Other _____

Department Name

Ch. Knight
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0767		Issue Date: JUN 26 2005	CBL: 402 A007001
Location of Construction: 28-30 GERTRUDE AVE		Owner Name: HARRIS JOSEPH A	Owner Address: 32 GERTRUDE AVE
Business Name:		Contractor Name: Higgins, Tim	Contractor Address: 242 Veranda Street Portland
Lessee/Buyer's Name		Phone:	Phone: 2078385870
Past Use: Vacant Lot/ Split Lot from 32 Gertrude Ave		Proposed Use: Single Family Home/ build a 28' x 34' Single Family Home w/ 16' x 28' garage	Permit Fee: \$924.00
Proposed Project Description: build a 28' x 34' Single Family Home w/ 16' x 28' garage		Cost of Work: \$92,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB 6/26/05 Signature: [Signature]
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	
Permit Taken By: Idobson	Date Applied For: 05/23/2006	Zoning Approval	
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		Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied [Signature] Date:	

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SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
06-0767	05/23/2006	402 A007001

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Business Name:	Contractor Name: Higgins, Tim	Contractor Address: 242 Veranda Street Portland	Phone (207) 838-5870
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ build a 28' x 34' Single Family Home w/ 16' x 28' garage	Proposed Project Description: build a 28' x 34' Single Family Home w/ 16' x 28' garage
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/12/2006**Note:****Ok to Issue:** ☒

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/26/2006**Note:****Ok to Issue:** ☒

- 1) The actual building setbacks must be confirmed , in writing, by a registered land surveyor prior to puring concrete.
- 2) The walls, Roof, Foundation and Windows must have R/U factors that comply with the 2003 International Energy Conservation Code. This plan must be submitted and sapproved prior to the commencement of construction.
- 3) No stairs are shown on the deck plans, is stairs are planned an amendment must be filed.
- 4) Deck Beam must be 2- 2" x 10" 's w/ three 8" Sonor Tubes and column supports.
- 5) Oil Tank and Furnace must be installed in accordance with the State Oil & Solid Fuel Rules.
- 6) Garage must be separated with 1/2 " Gypsum board to the underside of the Roof Sheathing.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 06/09/2006**Note:****Ok to Issue:** ☒

- 1) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 2) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) A COPY OF THE NEWLY RECORDED FALL BROOK SEWER EASEMENT SHALL BE DELIVERED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6) GRANITE CURBING REMOVED FOR THE DRIVEWAY SHALL BE DELIVERED TO THE CITY'S PUBLIC WORKS FACILITY ON OUTER CONGRESS STREET.

Location of Construction: 28-30 GERTRUDE AVE	Owner Name: HARRIS JOSEPH A	Owner Address: 32 GERTRUDE AVE	Phone:
Business Name:	Contractor Name: Higgins, Tim	Contractor Address: 242 Veranda Street Portland	Phone (207) 838-5870
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 7) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 8) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 06/09/2006
Note: **Ok to Issue:** ☒

Comments:

6/8/2006-amachado: Left message with Tim Higgins. Need a revised site plan that shows size & location of the back deck. Need legal description of lot split. Are there steps off the front door?

6/12/2006-amachado: Received everything we needed.

6/22/2006-mjn: Spoke with Archie Giobbi, gave him list of plan deficiencies.

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[Signature]
Signature of Applicant/Designee
[Signature]
Signature of Inspections Official

Date 6/26/06
Date

CBL: 402A007 Building Permit #: 060767

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0767	Date Applied For: 05/23/2006	CBL: 402 A007001
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Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

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Dept: Planning	Status: Not Applicable	Reviewer: Jay Reynolds	Approval Date: 06/09/2006
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Comments:

6/8/2006-amachado: Left message with Tim Higgins. Need a revised site plan that shows size & location of the back deck. Need legal description of lot split. Are there steps off the front door?

6/12/2006-amachado: Received everything we needed.

6/22/2006-mjn: Spoke with Archie Giobbi, gave him list of plan deficiencies.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Gertrude Ave.</u>		
Total Square Footage of Proposed Structure <u>1520 sq ft w/ rch deck</u>		Square Footage of Lot <u>8245.4 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>402 A 20-21</u>	Owner: <u>Joe A. Harris</u>	Telephone: <u>2101421</u>
Lessee/Buyer's Name (If Applicable) <u>Higgins Builders Inc</u> <u>242 VERANDA ST.</u> <u>PORTLAND, ME 04103</u>	Applicant name, address & telephone: <u>HIGGINS BUILDERS INC</u> <u>242 VERANDA ST</u> <u>PORTLAND, ME</u> <u>04103</u>	Cost Of Work: \$ <u>92,000</u> Fee: \$ _____ C of O Fee: \$ <u>75</u>
Current Specific use: <u>VACANT</u> If vacant, what was the previous use? <u>NONE</u> Proposed Specific use: <u>Single Family w/ AH Garage</u> Project description: <u>Single Family House w/ AH Garage</u> <u>28 x 34 w/ 16 + 28 Garage</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>Tim Higgins</u> Mailing address: <u>242 VERANDA ST</u> <u>PORTLAND, ME 04103</u> Phone: <u>838-5870</u>		

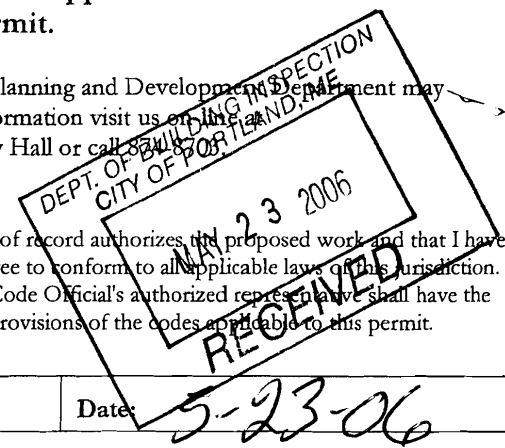
Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 847-8478.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 5-23-06



This is not a permit; you may not commence ANY work until the permit is issued.

Mr. Mike Nugent
Building Inspection
City of Portland, Maine

Re; 32 Gertrude Ave.

Applicant : Tim Higgins 838-5870

Dear Mike:

In Response to your Questions of the Housing Plans for 32 Gertrude Ave., I hope to have the Answers for you:

1. Foundation: 4" Slab Foundation on Grade with the Sill Height to be 8" above Ground Grade.
A. There will be no 4" Diameter perforated Pipe around the Slab foundation but the applicant has submitted a Engineered (and Planning Dept. approved) Drainage System for the Backyard and Drainage for Both Abutters.

2. Anchor Bolts: ½ "Bolts every 12" from every corner then spaced 6' MIN.

3. Deck Plans:

4. Roofing : Roof Trusses will be used on both House and Garage.

A. Trusses will be Nailed with 3 1/4 " Nails to double Top-Plate of walls as well as Simpson Ties.

5. Garage Door: 3'0" Steel-Door of 45 minute Fire-rating will be the entry Door from garage to House.

6. Garage Ceiling : Underside of Garage Roof will be Sheet-rocked with ½" Sheetrock.

7. Attic Access : A 22 ½ x 36" covered Attic Access opening will be in the Larger Bedroom Closet .

8. Heating System: Burnham boiler with Oil-Fired Beckett Burner will be the heating Source.

A. Heating System will be in the garage.

B. Oil Tank will be in the garage and will be of required distance and protected as required by Code.

9. Smoke Detectors: All Bedrooms and Common Halls will have Hard -Wired. Detectors with Battery backups .






10. Steps to House : No steps. A paved walkway will meet the Entry door at the required Step Height of 7 3/4 " Max.

11.Egress Window Heights : Have been added to Plans and will be Double hung of 38 1/4 " x 57 1/4" at a distance of 19" off Floor.

A. Actual Window size will be 32" x 24" or 7.68 sq. feet

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) /520		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL		
Footings Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	20' x 10"	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	FABRIC NOT SHOWN SLAB - NO STORAGE	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NONE	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 IN 6' O.C. 12" FROM CORNERS STRAPS NOT SHOWN	
Lally Column Type (Section R407)	NONE.	
Girder & Header Spans (Table R 502.5(2))	NONE.	
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NONE SLAB ON GRADE	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NONE	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	TRUSSES	

ALL GINCHES
NEED AVERAGE GRADE MEASUREMENT BELOW
S.F. 5/2/20

<div>  Type of Heating System </div>	<div>  NEED O.F.F. w/ </div>	
<div> Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3) </div>	<div> None  </div>	
<div>  Smoke Detectors (Section R313) <i>NEED</i> Location and type/Interconnected </div>		
<div> Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) <i>NI</i> Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207) </div>	<div> <i>NI</i> </div>	
<div>  Deck Construction (Section R502.2.1) </div>	<div> <i>NEED</i> </div>	

NO PLANS FOR DECK +

5/12

~~625~~ PITCH BOTH SHOWN RAFTER?,
IS 4 TRUSSES. OR

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)

Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))

WALLS 7/16 ADVANTER. ROOF 5/8 PLANK.

Fastener Schedule (Table R602.3(1) & (2))

NONE SHOWN

Private Garage

(Section R309)

Living Space?

(Above or beside)

Fire separation (Section R309.2)

Opening Protection (Section R309.1)

Emergency Escape and Rescue Openings (Section R310)

Roof Covering (Chapter 9)

RIDGE VENT #225 ASPHALT W/ #15 UNDERLAYMENT

Safety Glazing (Section R308)

Attic Access (Section R807)

~~SEE LETTER~~ SEE LETTER.

Chimney Clearances/Fire Blocking (Chap. 10)

~~SEE LETTER~~ NONE

Header Schedule (Section 502.5(1) & (2))

NEED
~~SEE~~

Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration

Applicant: Joseph Tim Higgins - Higgins Builders, Inc. Date: 6/8/06

Address: 38-35 Gertrude Ave.

C-B-L: Part of 402-A-007
permit # 06-0767

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - new single family house (28'x34') w/ 1 story 16'x18' attached garage

Sewage Disposal - city

Lot Street Frontage - 50' min - 50' given

Front Yard - 25' min - 49' to garage (scaled)

Rear Yard - 25' min - 44' scaled to deck.

Side Yard - 1 1/2 story 8' min. 22.5' scaled on right.
2 story 14' min. 8.25' scaled on left

Projections - front entry 4'x25', deck

Width of Lot - 65' min. - 65' scaled

Height - 35' max - 11.75 scaled

Lot Area - 6,500 sq ft min. - 8245.44

Lot Coverage Impervious Surface - 35% = 2885.89

$$\begin{aligned} 28' \times 34' &= 952 \\ 28' \times 16' &= 448 \\ 9' \times 14' &= \end{aligned}$$

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - 1 car garage 16'x28'
17' x 23.75' paved past 25' setback

Loading Bays - N/A

Site Plan - minor/minor 2006-0100

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - zone X

no daylight basement.
deck 9'x14' to the right.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
06-0767	05/23/2006	402 A007001

Location of Construction:	Owner Name:	Owner Address:	Phone:
28-30 GERTRUDE AVE	HARRIS JOSEPH A	32 GERTRUDE AVE	
Business Name:	Contractor Name:	Contractor Address:	Phone
	Higgins, Tim	242 Veranda Street Portland	(207) 838-5870
Lessee/Buyer's Name	Phone:	Permit Type:	
		Single Family	

Proposed Use:	Proposed Project Description:
Single Family Home/ build a 28' x 34' Single Family Home w/ 16' x 28' garage	build a 28' x 34' Single Family Home w/ 16' x 28' garage

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/12/2006**Note:** **Ok to Issue:** ☒

- 1) This property shall be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Residential Plan Revie **Approval Date:****Note:** **Ok to Issue:** ☐**Dept:** DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 06/09/2006**Note:** **Ok to Issue:** ☒

- 1) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 2) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 6) GRANITE CURBING REMOVED FOR THE DRIVEWAY SHALL BE DELIVERED TO THE CITY'S PUBLIC WORKS FACILITY ON OUTER CONGRESS STREET.
- 7) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 8) A COPY OF THE NEWLY RECORDED FALL BROOK SEWER EASEMENT SHALL BE DELIVERED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 06/09/2006**Note:** **Ok to Issue:** ☒

Location of Construction: 28-30 GERTRUDE AVE	Owner Name: HARRIS JOSEPH A	Owner Address: 32 GERTRUDE AVE	Phone:
Business Name:	Contractor Name: Higgins, Tim	Contractor Address: 242 Veranda Street Portland	Phone (207) 838-5870
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

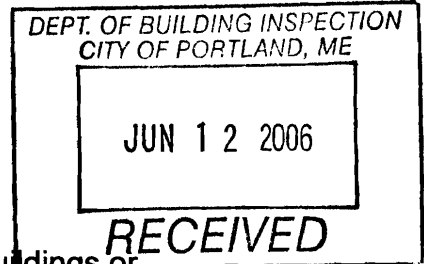
Comments:

6/8/2006-amachado: Left message with Tim Higgins. Need a revised site plan that shows size & location of the back deck. Need legal description of lot split. Are there steps off the front door?

6/12/2006-amachado: Received everything we needed.

6/22/2006-mjn: Spoke with Archie Giobbi, gave him list of plan deficiencies.

New Lot
Exhibit A



A certain portion of a lot or parcel of land with any buildings or improvements thereon, situated on the northerly side of Gertrude Avenue, in the City of Portland, County of Cumberland and State of Maine, being more particularly described as follows:

Commencing at a 5/8-inch capped rebar set at the southeasterly property corner of the herein described land now or formerly of Joseph A. Harris ("grantor") as described in deed recorded in the Cumberland County Registry of Deeds in Deed Book 22401, Page 23, said rebar being found on the northeasterly side of Gertrude Avenue approximately 445.35 feet northeasterly from its intersection with the easterly side line of Washington Avenue;

Thence, by and along the easterly sideline of Gertrude Avenue and the land of the herein grantor, South 56°-47'-00" West, a distance of 85.00 feet to the beginning of curve to the right said point of curvature being the Point of Beginning;

Thence, through the land of the herein grantor by and along a curve having a radius of 17.05 feet, an arc distance of 37.61;

Thence, North 32°-55'-56" West, a distance of 56.66 feet to another curve to the right;

Thence, by and along the curve having a radius of 3.00 feet, an arc distance of 4.71 feet;

Thence, North 56°-57'-09" East, a distance of 17.78 feet;

Thence, North 33°-16'-56" West, a distance of 32.87 feet to the land now or formerly of Raymond A. Carye Et Al as described in various deeds recorded in the aforementioned Registry in Deed Books and Pages 3168/395, 3169/264, 3196/628, 3170/877, 3216/670, 3582/12, 7582/316, 8011/14, and 8107/217;

Thence, by and along the land of Raymond A. Carye Et Al, South 50°-23'-08" West, a distance of 12.67 feet to a 1-inch iron pipe found set flush with the ground to land now or formerly of Carye;

Thence, by and along the land of Raymond A. Carye Et Al, North 25°-26'-52" West, a distance of 46.76 feet to a capped rebar set at land now or formerly of said Carye;

Thence, by and along the land of Raymond A. Carye Et Al, South 65°-23'-43" West, a distance of 59.46 feet to the land now or formerly of the Simpson Memorial Church of the Christian and Missionary Alliance.

Thence, by and along the land of the Simpson Memorial Church of the Christian and Missionary Alliance, South 33°-16'-56" East, a distance of 162.03 feet to a 1-inch iron pipe found set flush with the ground at the northerly sideline of Gertrude Avenue.

Thence, by and along the northerly sideline of Gertrude Avenue, North 56°-47'-00" East, a distance of 50.00 feet to the Point of Beginning. Said herein described portion of land containing 8245.4 square feet or 0.19 of an acre.

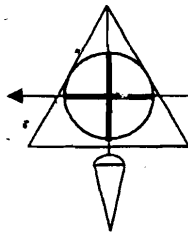
The above described lot subject to a stormwater easement for the conveyance of stormwater across the herein described land for the benefit of the Simpson Memorial Church of the Christian and Missionary Alliance as described in deed recorded in the aforementioned Registry in Deed Book 1967, Page 53. Also subject to a drainage agreement conveyed to the City of Portland, to be recorded herewith.

Capped rebars set are 5/8-inch steel rods or rebars capped with an orange plastic cap inscribed with "Greenlaw PLS 2303 774-2855"

All bearings are based upon a magnetic North hand held compass observation on the above described premises during the month of February 2005.

The above described portion of the premises described above is based upon a Boundary Survey and plan thereof entitled "Proposed Lot Split for a Proposed New Dwelling 32 Gertrude Avenue Portland, Maine" dated December 05, 2005, prepared for Joseph A. Harris by Back Bay Boundary, Inc. 643 Forest Avenue Portland, Maine. Said plan unrecorded at the time of this description.

Meaning to convey and hereby conveying a portion of the land or premises conveyed by Marie A. Aceto, also known as Marie Bella Aceto to Joseph A. Harris by a Limited Warranty Deed dated February 23, 2005 and recorded on March 10, 2005 in the Cumberland County Registry of Deeds in Deed Book 22401, Page 023.



BACK BAY BOUNDARY, INC.

LAND SURVEYING

Drainage Report

Including Hydrologic and Hydraulic Calculations

Prepare for 32 Gertrude Avenue – a Proposed Subdivision



Kevin J. McKee, P.E.
Maine Registration #10223

November 2, 2005

(207) 774-2855

643 Forest Avenue Portland, Maine 04101
Email ~Backbayboundary@cs.com

Fax (207) 347-4346

www.Backbayboundary.com

PROJECT DESCRIPTION:

The subject property is a 0.408 acre (17,763 s.f.) parcel of land located on the north side of Gertrude Street in Portland, Maine. The parcel has one existing wood-frame single-family house located on the right, or eastern side of the property. The land is generally level with a slight slope to a drainage swale that carries flow from the western abutting property easterly across the subject property to an existing municipal storm sewer located within an easement along the eastern border of the property.

It is intended that the subject property be subdivided into two separate parcels. One which shall serve the existing dwelling shall be 0.22 acres (9,424 s.f.). The second parcel will be created to serve a proposed single family home and it shall be 0.19 acres (8,340). In order to create a usable building lot it will be necessary to replace the open swale with a piped culvert. The purpose of this drainage report is to confirm the adequacy of the proposed culvert pipe.

Design Methodology:

This report uses a proprietary software program called HydroCAD 7.0. This program uses the Soil Conservation Service (SCS) TR-20 Unit Hydrograph Method.

The SCS unit hydrograph procedure (also known as the TR-20 runoff method) generates a runoff hydrograph by the following basic steps: (For brevity, this is a simplified description.)

- 1) A rainfall distribution is selected which indicates how the storm depth will be distributed over time. This is usually a standardized distribution, such as the SCS Type II storm, and often has a standardized duration of 24 hours.
- 2) The design storm depth is determined from rainfall maps, based on the return period being modeled. Combined with the rainfall distribution, this specifies the cumulative rainfall depth at all times during the storm.
- 3) Based on the Time-of-Concentration, the storm is divided into "bursts" of equal duration. For each burst, the SCS runoff equation and the average Curve Number are used to determine the portion of that burst that will appear as runoff.
- 4) A Unit Hydrograph, in conjunction with the Time-of-Concentration, is used to determine how the runoff from a single burst is distributed over time. The result is a complete runoff hydrograph for a single burst.
- 5) Individual hydrographs are added together for all bursts in the storm, yielding the complete runoff hydrograph for the storm.

Conclusion:

As the attached calculations demonstrate an 18" HDPE (high density polyethylene) pipe with a headwall will have the capacity to pass the 25-year storm of event of 4.49 cfs. For the purposes of analysis the inlet to the headwall has been modeled as a pond outlet. The invert of the pipe at the headwall is proposed to be at elevation 99.58. A maximum water surface upstream of the headwall may be expected to be at elevation 100.61. This represents a depth of slightly more than 1 foot above the invert and is below the elevation of the top of the swale that extends westerly onto the abutting property.

Installation of this culvert will not result in any deleterious effects to the proposed property or to abutting properties.

Back Bay Boundary, Inc.
643 Forest Ave
Portland, Maine 04101
www.Backbayboundary.com

project 32 Gertrude Ave
sheet no 1 of 1
calculated by KJM date 10/3/05
checked by _____ date _____
scale Proposed Culvert

AREAS CONTRIBUTING FLOW TO PROPOSED CULVERT

BUILDINGS: 2,244 S.F.
960 S.F.
660 S.F.
3,864 S.F.

PARKING AREA: 19,656 S.F.

LAWN AREA: 15,880 S.F.

TOTAL AREA: 39,400 S.F.

TOTAL IMP.
3,864 S.F.
19,656 S.F.
23,520 S.F.

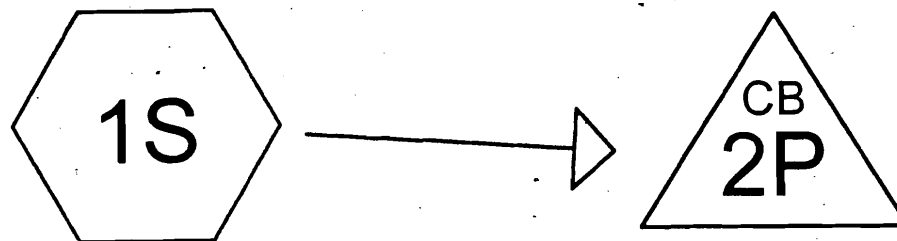
Soils -

Cumberland County Soil Survey - USDA
Sheet No 76 - SOIL TYPE BuB
Buxton Silt + Loam - 3 to 8% slope
Hydrologic Soil Group B

Discharge Treatment:

Provide a minimum of 10' length of rip-rap
apron or over all disturbed areas downstream
of pipe discharge (whichever is greater).

Rip-rap shall have a $D_{50} = 8"$ and a minimum
depth of 1.5 feet.



Flow to Culvert

Inlet to culvert



32 Getrude Avenue

Type III 24-hr Rainfall=5.80"

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 2

HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

11/1/2005

Time span=5.00-20.00 hrs, dt=0.01 hrs, 1501 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Flow to Culvert

Runoff Area=39,400 sf Runoff Depth=3.67"

Flow Length=230' Tc=3.5 min CN=83 Runoff=4.49 cfs 0.277 af

Pond 2P: Inlet to culvert

Peak Elev=100.61' Inflow=4.49 cfs 0.277 af

18.0" x 50.0' Culvert Outflow=4.49 cfs 0.277 af

Total Runoff Area = 0.904 ac Runoff Volume = 0.277 af Average Runoff Depth = 3.67"

Subcatchment 1S: Flow to Culvert

Runoff = 4.49 cfs @ 12.05 hrs, Volume= 0.277 af, Depth= 3.67"

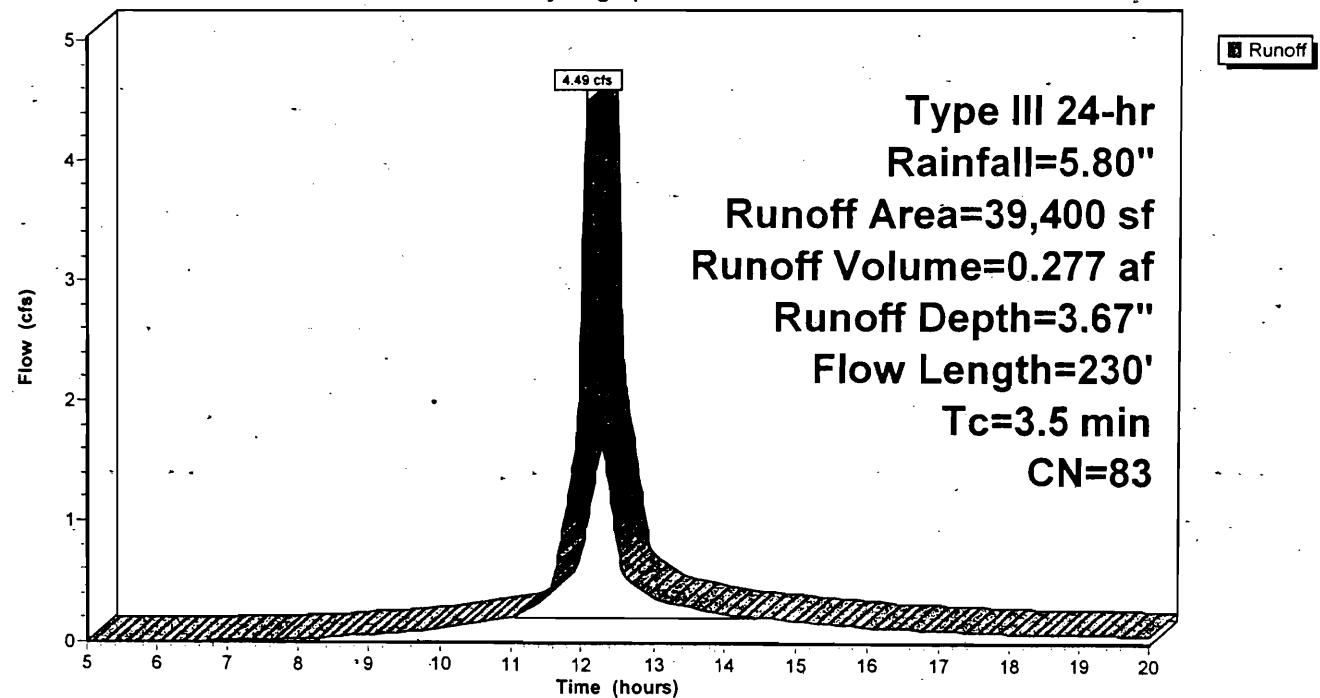
Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs
Type III 24-hr Rainfall=5.80"

Area (sf)	CN	Description
23,520	98	Paved parking & roofs
15,880	61	>75% Grass cover, Good, HSG B
39,400	83	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.5	230	0.0100	1.1		Sheet Flow, Smooth surfaces n= 0.011 P2= 2.50"

Subcatchment 1S: Flow to Culvert

Hydrograph



Conclusion:

As the attached calculations demonstrate an 18" HDPE (high density polyethylene) pipe with a headwall will have the capacity to pass the 25-year storm of event of 4.49 cfs. For the purposes of analysis the inlet to the headwall has been modeled as a pond outlet. The invert of the pipe at the headwall is proposed to be at elevation 99.58. A maximum water surface upstream of the headwall may be expected to be at elevation 100.61. This represents a depth of slightly more than 1 foot above the invert and is below the elevation of the top of the swale that extends westerly onto the abutting property.

Installation of this culvert will not result in any deleterious effects to the proposed property or to abutting properties.



Designation: D 7082 – 04

Standard Specification for Polyethylene Stay In Place Form System for End Walls for Drainage Pipe¹

This standard is issued under the fixed designation D 7082; the number immediately following the designation indicates the year of original adoption or, in the case of revision, the year of last revision. A number in parentheses indicates the year of last reapproval. A superscript epsilon (ϵ) indicates an editorial change since the last revision or reapproval.

1. Scope

1.1 This specification addresses the requirements for polyethylene stay in place forms for end walls or head walls for use with standard storm drainage systems.

1.2 The wall form system consists of a base wall form, a cap, an optional riser to adjust the height of the wall above the pipe, and an optional adaptor to adjust the pipe opening to accommodate smaller pipe sizes.

1.3 The form system is manufactured using the rotational molding process and is available in different colors.

1.4 The values stated in SI units are to be regarded as the standard, the inch-pounds in brackets are given for information only.

1.5 *This standard does not purport to address all of the safety concerns, if any, associated with its use. It is the responsibility of the user of this standard to establish appropriate safety and health practices and determine the applicability of regulatory requirements prior to use.*

NOTE 1—There is no similar or equivalent ISO standard.

2. Referenced Documents

2.1 ASTM Standards:²

- D 638 Test Method for Tensile Properties of Plastics
- D 648 Test Method for Deflection Temperature of Plastics Under Flexural Load in the Edgewise Position
- D 790 Test Methods for Flexural Properties of Unreinforced and Reinforced Plastics and Electrical Insulating Materials
- D 883 Terminology Relating to Plastics
- D 1238 Test Method for Melt Flow Rates of Thermoplastics by Extrusion Plastometer
- D 1505 Test Method for Density of Plastics by the Density-Gradient Technique
- D 1600 Terminology for Abbreviated Terms Relating to Plastics

¹ This specification is under the jurisdiction of ASTM Committee D20 on Plastics and is the direct responsibility of Subcommittee D20.20 on Plastic Products. Current edition approved November 1, 2004. Published November 2004.

² For referenced ASTM standards, visit the ASTM website, www.astm.org, or contact ASTM Customer Service at service@astm.org. For *Annual Book of ASTM Standards* volume information, refer to the standard's Document Summary page on the ASTM website.

D 1693 Test Method for Environmental Stress-Cracking of Ethylene Plastics

D 4883 Test Method for Density of Polyethylene by the Ultrasound Technique

D 5033 Guide for Development of ASTM Standards Relating to Recycling and Use of Recycled Plastics

3. Terminology

3.1 *Definitions*—Definitions used in this specification are in accordance with definitions in Terminology D 883 and abbreviations in accordance with Terminology D 1600 unless otherwise indicated.

3.1.1 *end wall*—a wall installed at the outlet of a storm drainage pipe.

3.1.2 *head wall*—a wall installed at the inlet of a storm drainage pipe.

4. Ordering Information

- 4.1 Number and color of base wall forms.
- 4.2 Number and color of riser forms.
- 4.3 Number and color of caps, and
- 4.4 Number, color and size of adaptors.

5. Materials and Manufacture

5.1 The material used shall be a polyethylene meeting the criteria in Table 1.

5.2 Only virgin materials (Guide D 5033) shall be used.

5.3 This product shall be manufactured using a rotational molding process.

6. Requirements

6.1 Wall System Description:

6.1.1 Base wall form is hollow with opening at the top to accept fill material and designed to accept either cap or riser section. Base wall has opening in the center for pipe and adaptors as needed. Pipe is secured to base wall form with galvanized screws. (See Fig. 1.)

6.1.2 Riser form is hollow with opening at top to accept fill material and cap section. Multiple risers can be installed on base wall. (See Fig. 2.)

6.1.3 Cap fits on top of base wall or riser and is secured with galvanized screws. (See Fig. 1.)

TABLE 1 Material Specifications

Resin Properties	ASTM Method	Value	Units
Density (Range)	D 1505 / D 4883	0.9335 - 0.9395	g/cc
Melt Index (Range)	D 1236 Cond. 190°C, 2.16 kg	3.5 - 7.5	g/10 min
Environmental Stress Crack Resistance (ESCR), F ₅₀	D 1693, Cond. A		
	100 % Igepal	275	Hr
	10 % Igepal	55	Hr
Flexural Modulus (Minimum)	D 790 at 1 % secant Procedure B	600 [87]	Mpa [kpsi]
Tensile Strength at Yield (Minimum)	D 638, Type IV specimen	17.2 [2500]	Mpa [psi]
Tensile Break Elongation (Minimum)	50.8 mm/min @ 3.12 mm thick	420	%
	[2 in./min @ 1/8 in. thick]		
Deflection Temperature (Minimum)	D 648		
	@ 0.455 MPa [66 psi]	50	°C
	@ 1.82 MPa [264 psi]	35	°C

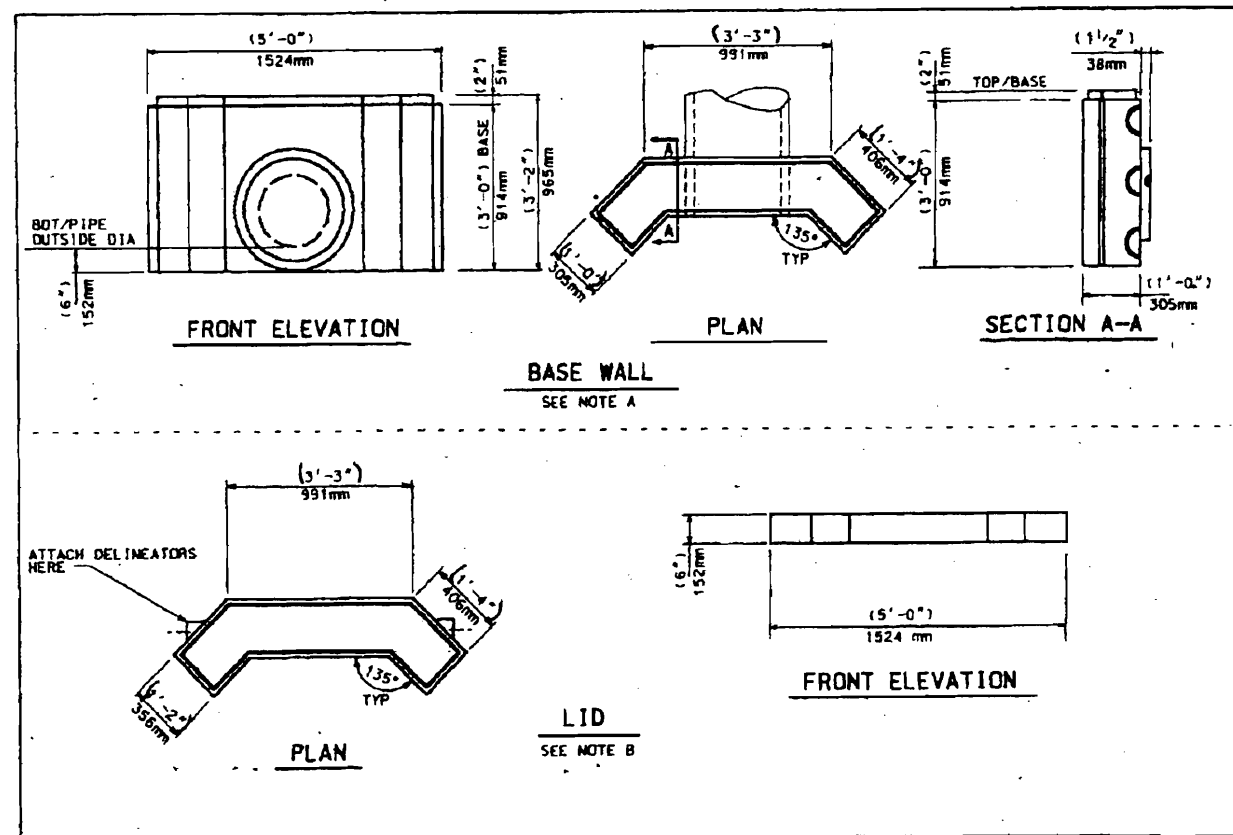


FIG. 1 Base Wall and Lid

6.1.4 Adaptor section is used to adjust the size of the pipe opening as needed. Adaptor is secured to base wall form with galvanized screws and pipe is secured to adaptor with galvanized screws. (See Fig. 2.)

6.2 Workmanship, Finish, and Appearance:

6.2.1 Workmanship of the form system components shall be such that the quality is agreeable between the producer and the end user.

6.2.2 The surface of the form system components shall be finished to mimic a split stone face, with the appearance of mortar joints and with the vertical joints offset on alternating courses.

6.2.3 Physical properties of finished form system components.

6.2.3.1 Dimensions—See Figs. 1 and 2.

7. Test Methods

7.1 Physical Properties:

7.1.1 Dimensions shall be measured to the nearest 2 mm with the exception of the material thickness, which is measured as noted on Fig. 2, Note E.

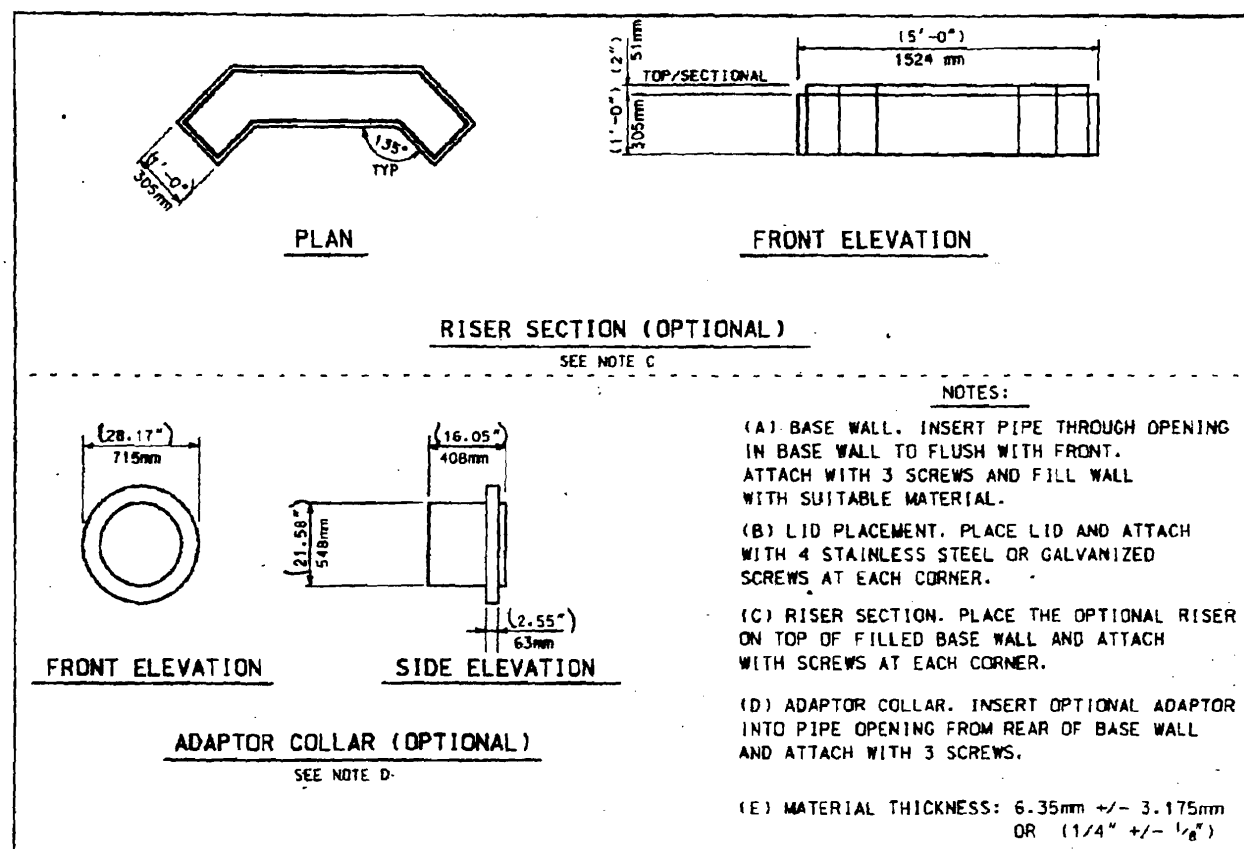


FIG. 2 Optional Riser Section and Adaptor

8. Sampling, Inspection, and Retest

8.1 *Sampling*—The selection of samples shall be as agreed upon by the purchaser and the seller. Unless otherwise specified, a minimum of five randomly selected samples shall be tested.

8.2 Inspection:

8.2.1 *Inspection and Testing*—Inspection and testing shall be made as agreed upon between the purchaser and the manufacturer as part of the purchase contract.

8.3 *Retest and Rejection*—If the results of any test(s) do not meet the requirements of this specification, the test(s) shall be conducted again only if agreed to by the purchaser and the seller.

9. Certification

9.1 When specified in the purchase order or contract, a manufacturer's certification that the material was designed, manufactured, sampled, tested, and inspected in accordance with this specification, and has been found to meet the requirements shall be furnished to the purchaser. When specified in the purchase order or contract, a report of the test results shall be furnished. Each certification so furnished shall be signed by an authorized agent of the manufacturer.

10. Product Marking

10.1 Marking on the product shall include the following:

- 10.1.1 The letters "ASTM" followed by the designation number of this specification,
- 10.1.2 The letters "PE,"
- 10.1.3 The product name, and
- 10.1.4 The name or trademark of the manufacturer.

11. Packaging and Package Marking

11.1 Unless otherwise specified in the contract, materials shall be packaged in accordance with the supplier's standard practice.

12. Quality Assurance

12.1 When the product is marked with this designation, D 7082, the manufacturer affirms that the product was manufactured, inspected, sampled, and tested in accordance with this specification and has been found to meet the requirements of this specification.

13. Keywords

- 13.1 drainage; endwall; headwall; stay in place form

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PURCHASE AND SALE AGREEMENT - LAND ONLY

May ¹² ~~11~~ ^{T.A.H.} 2006

Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between Tim Higgins ("Buyer") and
Jos. Harris ("Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (☐ all ☒ part of; If "part of" see para. 22 for explanation) the property situated in municipality of Portland, County of cumberland, State of Maine, located at 28 Gertrude Ave. and described in deed(s) recorded at said County's Registry of Deeds Book(s) 22401, Page(s) 023.

3. PURCHASE PRICE: For such Deed and conveyance Buyer agrees to pay the total purchase price of \$ 57,500.00. Buyer ☒ has made; or ☐ will make within _____ business days of the date of this offer, a deposit of earnest money in the amount \$ 500.00. If said deposit is to be made after the submission of this offer and is not made by the above deadline, this offer shall be void and any attempted acceptance of this offer in reliance on the deposit being made will not result in a binding contract. Buyer agrees that an additional deposit of earnest money in the amount of \$ 0 will be paid _____. Failure by Buyer to make this additional deposit in compliance with the above terms shall constitute a default under this Agreement. The remainder of the purchase price shall be paid by a certified or cashier's check upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: Archie Giobbi Real Estate ¹³ ("Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until May 11, 2006 (date) 9 AM ☒ PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on June 12, 2006 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to in writing by both Buyer and Seller, to remedy the title. Seller hereby agrees to make a good-faith effort to cure any title defect during such period. If, at the later of the closing date set forth above or the expiration of such reasonable time period, Seller is unable to remedy the title, Buyer may close and accept the deed with the title defect or this Agreement shall become null and void in which case the parties shall be relieved of any further obligations hereunder and any earnest money shall be returned to the Buyer.

6. DEED: The property shall be conveyed by a warranty deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) _____. Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

2006

Page 1 of 4 - P&S-LO

Buyer(s) Initials T.H.

Seller(s) Initials J.H.

archiegiobbirealestate 1184 washington ave, portland ME 04103

Phone: (207) 232-5343

Fax: (207) 878-8285

Archie Giobbi Real Estate

T4595491.ZFX

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township, Michigan 48035 www.zipform.com

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form and is encouraged to seek information from professionals regarding any specific issue or concern. The disclosure is not a warranty of the condition of the property and is not part of this Agreement.

11. DUE DILIGENCE: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Agent makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: <u>buyer must secure a building permit to construct a 34x28 structure w/ garage</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>30</u>	<u>buyer</u>	<u>buyer</u>
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
7. WATER Purpose: <u>Existing & sufficient supply to service proposed house by Port. WaterDist.</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>5</u>	<u>buyer</u>	<u>buyer</u>
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
9. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above:

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

12. FINANCING: This Agreement ☐ is ☒ is not subject to Financing. If subject to Financing:
- This Agreement is subject to Buyer obtaining a _____ loan of _____ % of the purchase price, at an interest rate not to exceed _____ % and amortized over a period of _____ years.
 - Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within _____ days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - Buyer to provide Seller with loan commitment letter from lender showing that Buyer has secured the loan commitment within _____ days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three business days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's agent.
 - After (b) or (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the financing. Any failure by Buyer to notify Seller within two business days of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - Buyer agrees to pay no more than _____ points. Seller agrees to pay up to \$ _____ toward Buyer's actual pre-pays, points and/or closing costs, but no more than allowable by Buyer's lender.
 - Buyer's ability to obtain financing ☐ is ☒ is not subject to the sale of another property. See addendum ☐ Yes ☐ No.
 - Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of paragraph 15 shall be void.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

<u>archie giobbi</u>	of	<u>Archie Giobbi Associates</u>	is a	<input type="checkbox"/> Seller Agent	<input type="checkbox"/> Buyer Agent
Licensee		Agency		<input type="checkbox"/> Disc Dual Agent	<input checked="" type="checkbox"/> Transaction Broker
_____	of	_____	is a	<input type="checkbox"/> Seller Agent	<input type="checkbox"/> Buyer Agent
Licensee		Agency		<input type="checkbox"/> Disc Dual Agent	<input type="checkbox"/> Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Except as provided below, any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction. Earnest money disputes subject to the jurisdiction of small claims court will be handled in that forum.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: ☐ Yes Explain: _____ ☒ No

20. EFFECTIVE DATE/NOTICE: Any notice, communication or document delivery requirements hereunder may be satisfied by providing the required notice, communication or documentation to the party or their agent. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing. This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated. Agent is authorized to complete Effective Date on Page 1 of this Agreement. Except as expressly set forth to the contrary, the use of "by (date)" or "within _____x_____ days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller authorize the disclosure of the information herein to the agents, attorneys, lenders, appraisers, of the information herein to the agents, attorneys, lenders, appraisers, inspectors, investigators and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their agents prior to, at and after the closing.

22. OTHER CONDITIONS: Buyer requests 30 days to submit his Site and House plans for approval of a building permit. Buyer will close on property if building permit is issued in less than 30 days. Seller agrees to credit, at closing, an amount of \$750.00 as his share of expense to remove the pine tree that exists on the seller's property. Seller agrees to extend this contract for an additional 2 week period from June 12, 06 thru June 26, 06. Building Permit Applications can be from 4-6 weeks from submittal to issuance and Buyer may need this extended period. TAT

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Revenue Services..

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Buyer's Mailing address is _____

Tim Higgins 5-12-06
BUYER DATE BUYER DATE
Tim Higgins

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement.

Seller's Mailing address is _____

Joseph Harris MAY 12, 06
SELLER Jos. Harris DATE SELLER DATE

COUNTER-OFFER: Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER DATE SELLER DATE

The Buyer hereby accepts the counter offer set forth above.

BUYER DATE BUYER DATE

EXTENSION: The time for the performance of this Agreement is extended until June 26, 06
Tim Higgins 5/12/06 Joseph Harris 5/12/06
BUYER DATE SELLER DATE

BUYER DATE SELLER DATE



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T4595491.ZFX

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	402 A007001
Location	32 GERTRUDE AVE
Land Use	SINGLE FAMILY
Owner Address	HARRIS JOSEPH A 32 GERTRUDE AVE PORTLAND ME 04103
Book/Page	22401/023
Legal	402-A-7-20-21 GERTRUDE AVE 28-36 17386 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$59,060	\$56,650	\$115,710

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$77,800	\$73,400	\$151,200

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1940	Style Old Style	Story Height 1	Sq. Ft. 715	Total Acres 0.399	
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 4	Attic Part Finsh	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE - WD/CB	1	1940	16X23	C	A
SHED - FRAME	1	1960	5X9	D	A

Sales Information

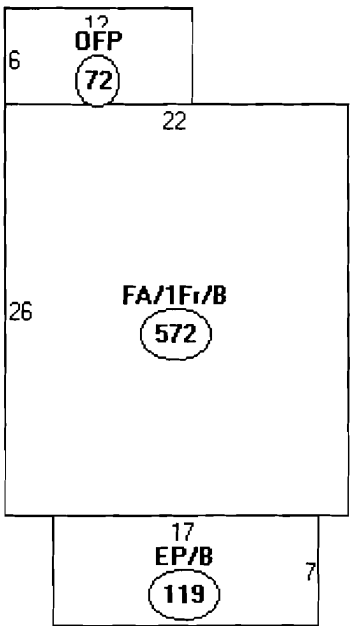
Date	Type	Price	Book/Page
03/10/2005	LAND + BLDING	\$165,000	22401-23
11/07/1995	LAND + BLDING		12203-214
04/05/1993	LAND + BLDING		10685-037

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.





Descriptor/Area	
A: FA/1Fr/B	572 sqft
B: OFF	72 sqft
C: EP/B	119 sqft

From: Jay Reynolds
To: Single Family Signoff
Date: 6/9/2006 2:49:20 PM
Subject: 32 Gertrude Avenue

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2006-0100
Application I. D. Number

5/23/2006
Application Date

Single Family Home
Project Name/Description

Harris Joseph A
Applicant

32 Gertrude Ave, Portland, ME 04103
Applicant's Mailing Address

Tim Higgins
Consultant/Agent

Agent Ph: (207)838-5870 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

32 - 32 Gertrude Ave, Portland, Maine
Address of Proposed Site
402 A007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) _____

Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:
☒ Site Plan (major/minor) ☐ Subdivision # of lots _____ ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ HistoricPreservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other _____

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status: Reviewer _____
☐ Approved ☐ Approved w/Conditions See Attached ☐ Denied

Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets Attached
☐ Condition Compliance _____ signature _____ date

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted _____ date _____ amount _____ expiration date

☐ Inspection Fee Paid _____ date _____ amount

☐ Building Permit Issue _____ date

☐ Performance Guarantee Reduced _____ date _____ remaining balance _____ signature

☐ Temporary Certificate of Occupancy _____ date ☐ Conditions (See Attached) _____ expiration date

☐ Final Inspection _____ date _____ signature

☐ Certificate Of Occupancy _____ date

☐ Performance Guarantee Released _____ date _____ signature

☐ Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date

☐ Defect Guarantee Released _____ date _____ signature

SPRINT

75.6

48'20"
900.16'

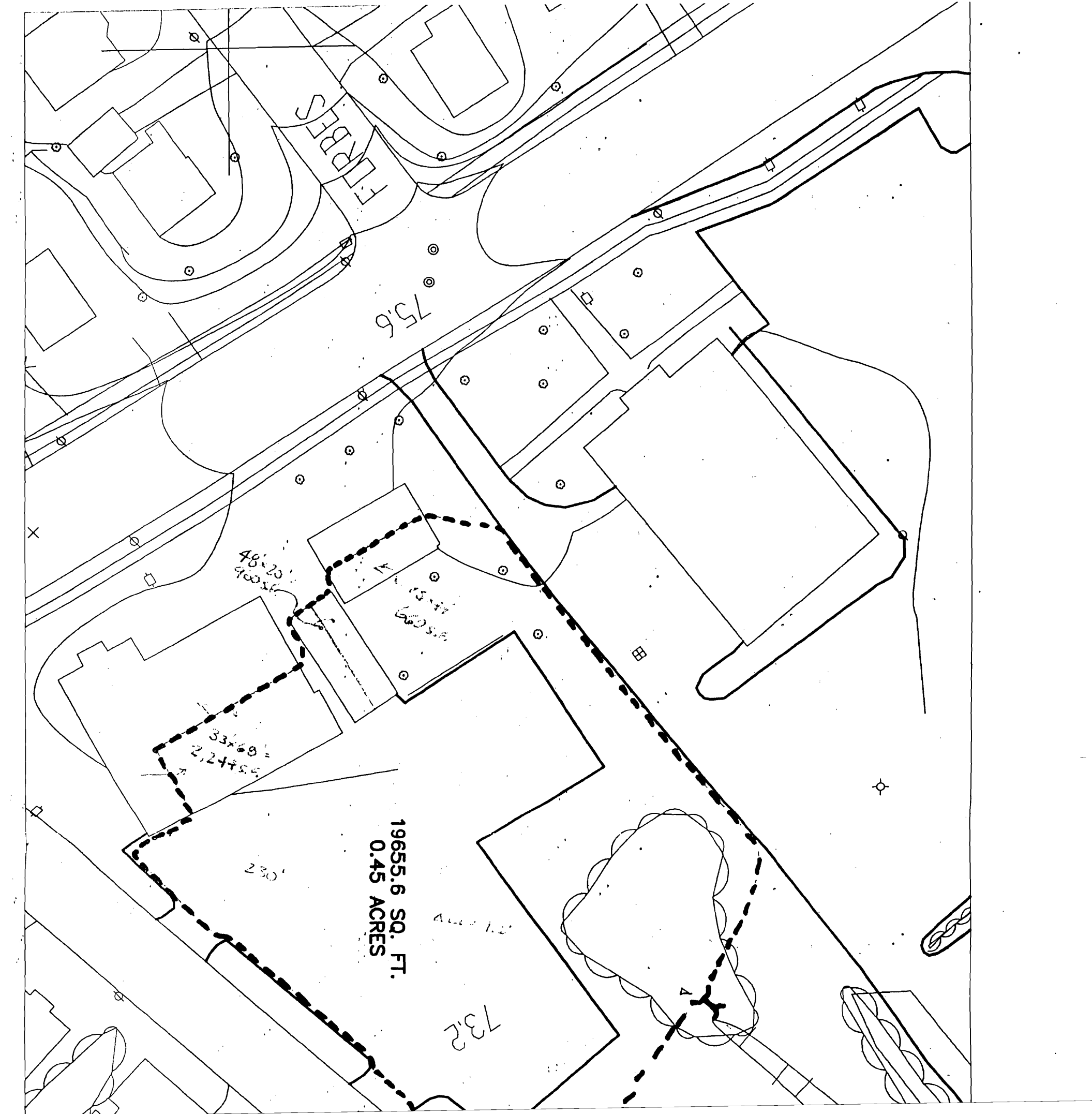
13'41"
605.16'

33'68"
2,244.55'

19655.6 SQ. FT.
0.45 ACRES

230'

73.2



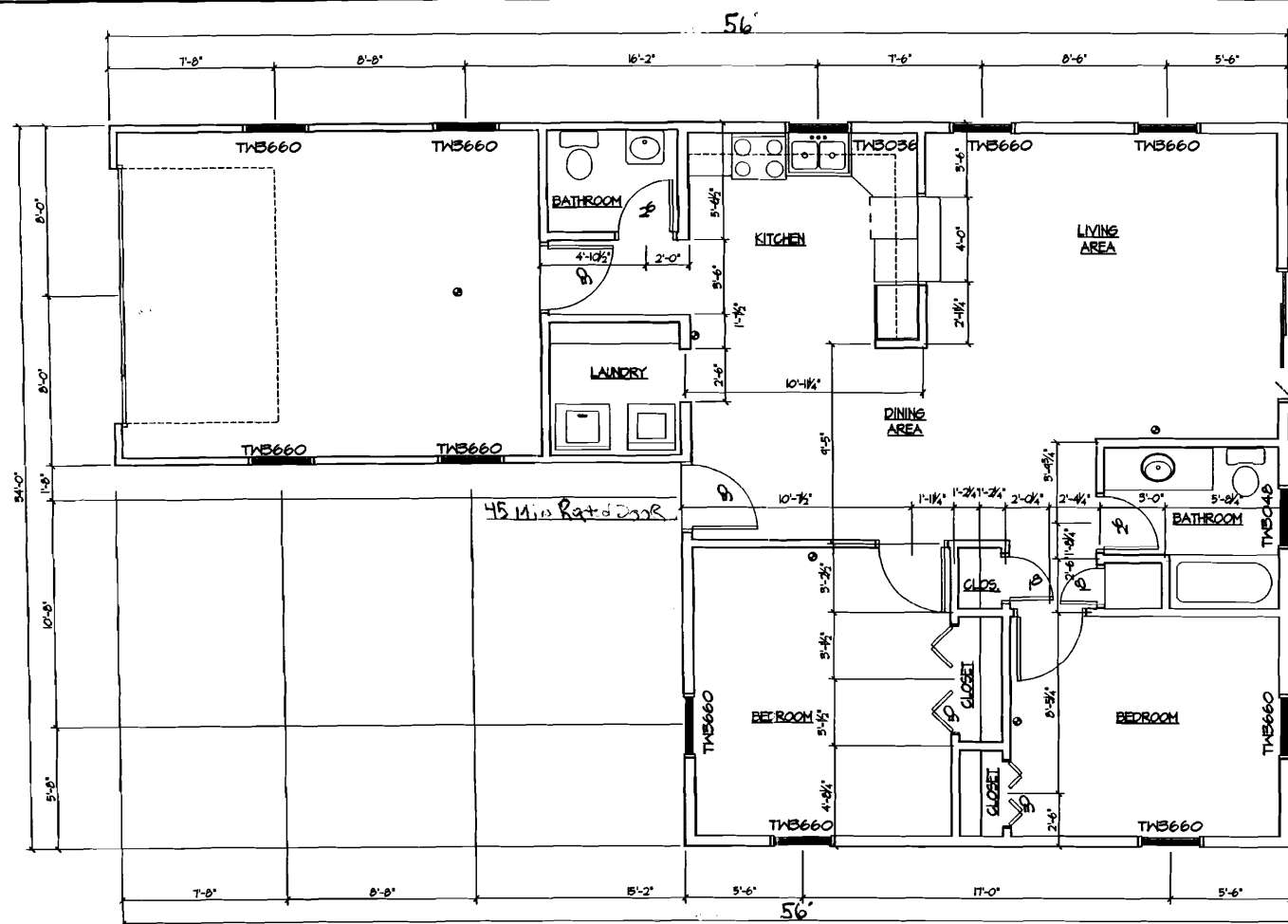
● SMOKE DETECTOR

U-factor for all windows shall be 0.33

1

First Floor Plan

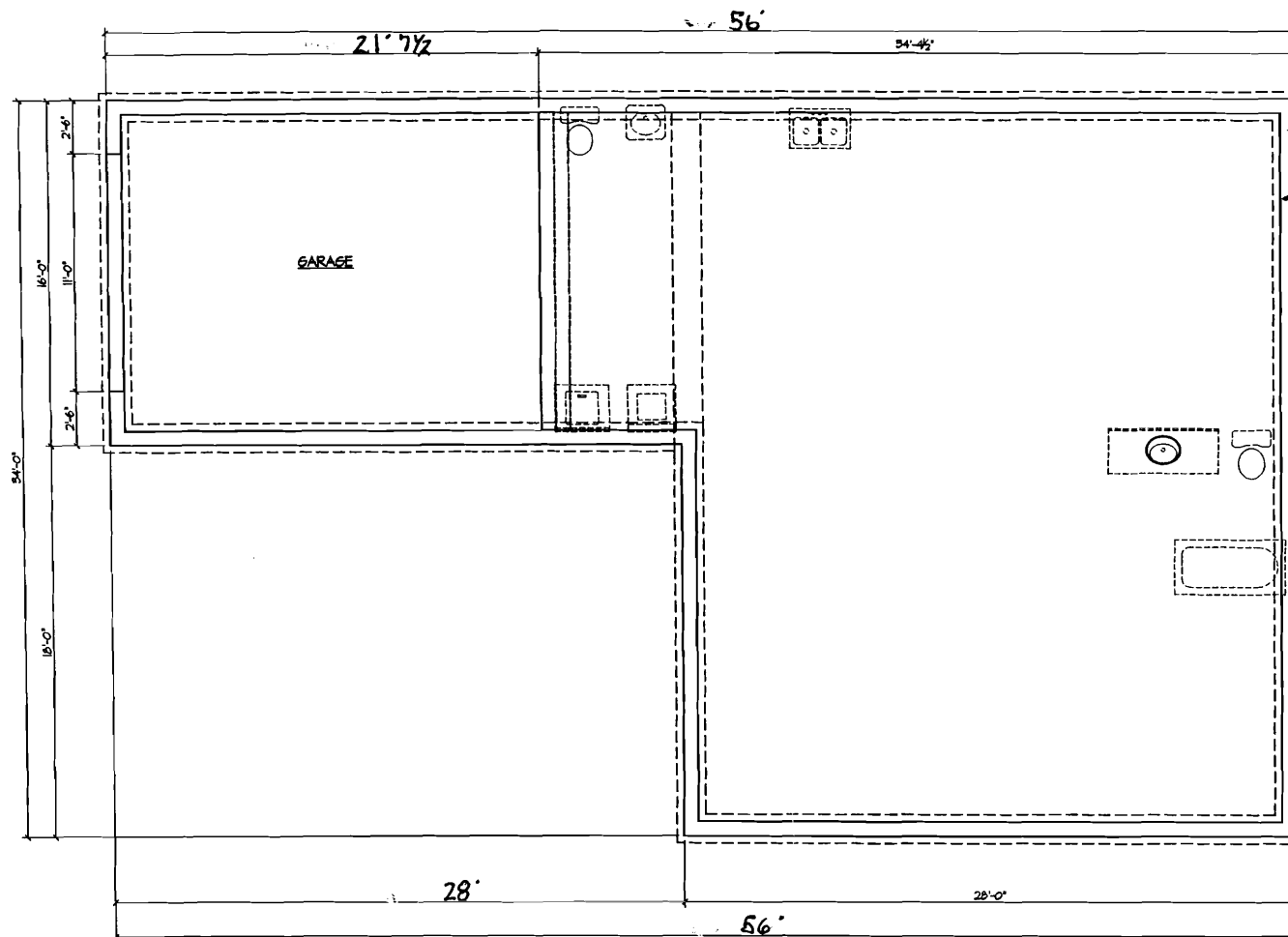
1/4" = 1'-0"



2

Foundation Plan

1/4" = 1'-0"



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DIMENSIONS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
AND DRAINED IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES. NONE OF THE EMPLOYEES OF RYC CADD DRAFTING
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
BEGINS RYC CADD DRAFTING SERVICES, INC. WILL BE HELD HARMLESS.
RYC CADD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES
AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: IN BOOK 22401, PAGE 023.
2. BEARINGS ARE BASED UPON SITE ON FEBRUARY 15, 2005.
3. AREA OF ORIGINAL PARCEL: 1
4. REFERENCE IS MADE TO THE a. THE NORTHPORT BUSINESS PROPERTY IN PORTLAND MAINE 1986 MADE BY H. I. & E.C. JOR
5. CITY OF PORTLAND STREET U PORTLAND ENGINEERING DEPT.
6. PLAN OF WADCO PARK WASH WESCOTT, RECORDED OCT. 21, 11
7. PARKING LOT EXPANSION DRA BY DUFRESNE-HENRY INC. DATE DEPT.
8. CITY OF PORTLAND, MAINE DE RECONSTRUCTION DATED AUG. 1
9. CITY OF PORTLAND ASSESSOR A.
10. NO CHANGE TO THE EXISTING LANDSCAPING.
11. NO OTHER EASEMENTS WERE EASEMENTS FOR THE SIMPSON

ZONING.
THE SUBJECT
SETBACKS:
FRONT YARD:
REAR YARD:
SIDE YARD:
MINIMUM FROM
MINIMUM LOT

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN - 9 2006

RECEIVED

18" CONCRETE
CULVERT
INVERT = 98.2'

GENERAL DIRECTION
AS OBSERVED

RUTH C. MAGNUSON
BOOK 5000, PAGE 249

WOOD GUARDRAIL

FALL BROOK SEWER RIGHT-OF-WAY
1/2 INCH REINFORCED CONCRETE
PIPE - 36" DIA
NEW EASEMENT
2118.1 SQ. FT.

FLOOD 1
OF THE
- 7C, W
SPECIAL

FALL BROOK
EASEMENT

GERTRUDE AVE

RIM 102.49'
INVERT IN
INVERT OUT: 92.94'

INSTALL
TIPDOWN
CURB

GRANITE
CURB

N/F
RAYMOND A. CARYE ETAL

GARAGE

EXISTING #32
GERTRUDE AVE
ONE STORY
CIRCA 1940

PROPOSED
1- STORY
WOOD FRAME
FFE=104'

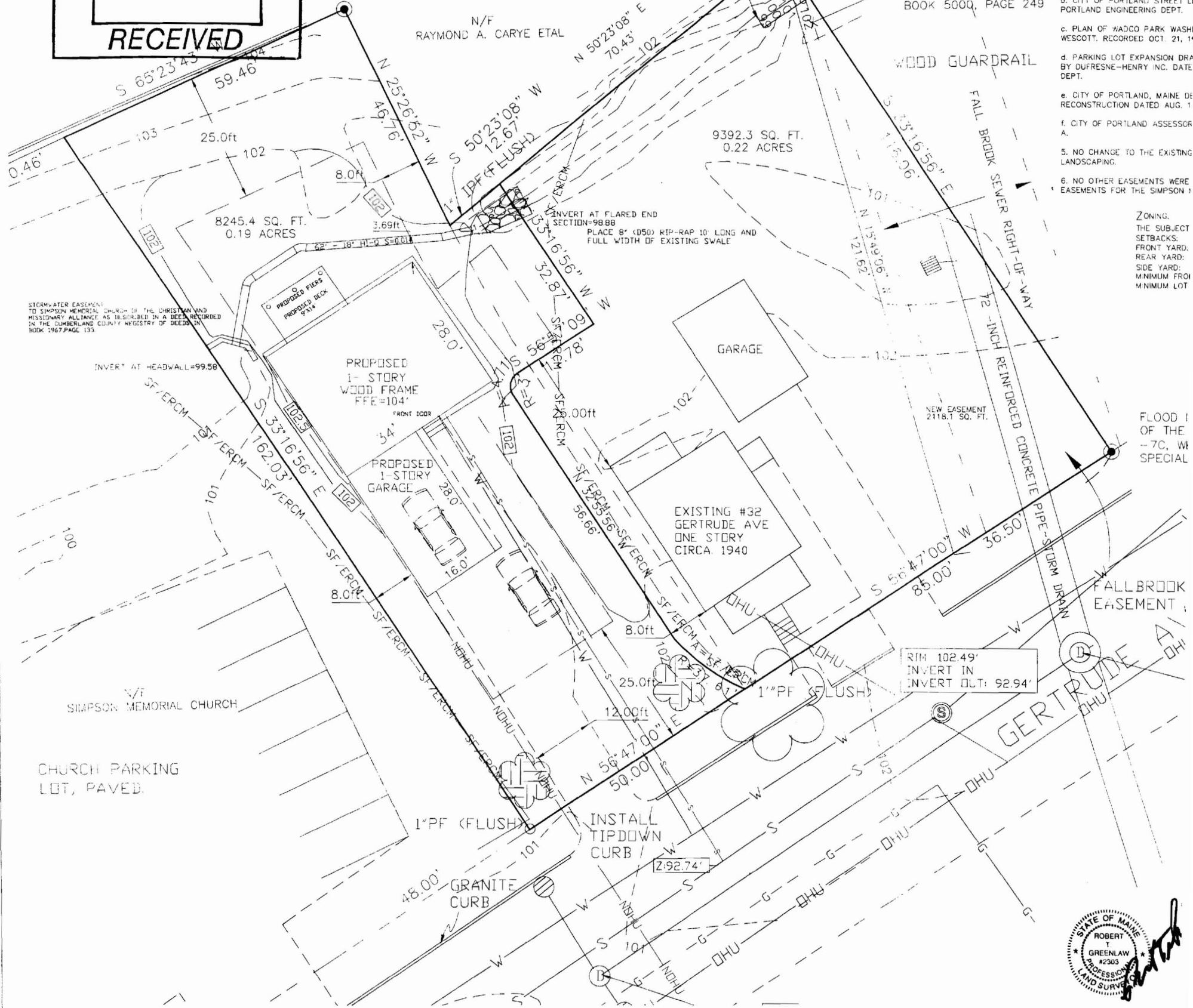
PROPOSED
1- STORY
GARAGE

INVERT AT HEADWALL=99.58

STORMWATER EASEMENT
TO SIMPSON MEMORIAL CHURCH OF THE CHRISTIAN AND
MISSIONARY ALLIANCE AS DESCRIBED IN A DEED RECORDED
IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS ON
BOOK 1967 PAGE 133

N/F
SIMPSON MEMORIAL CHURCH

CHURCH PARKING
LOT, PAVED.

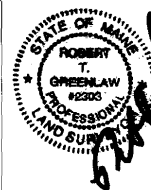
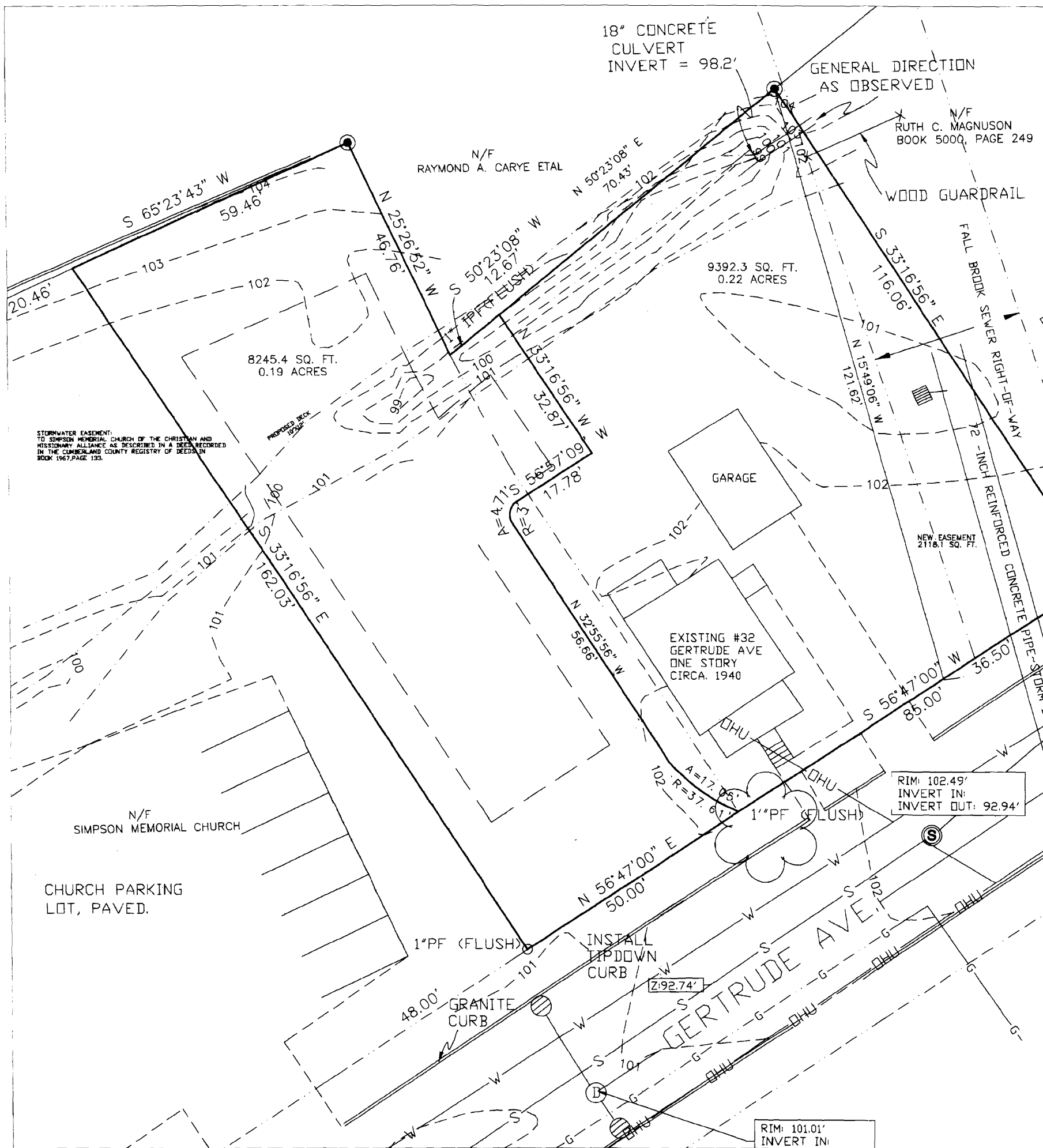


GENERAL

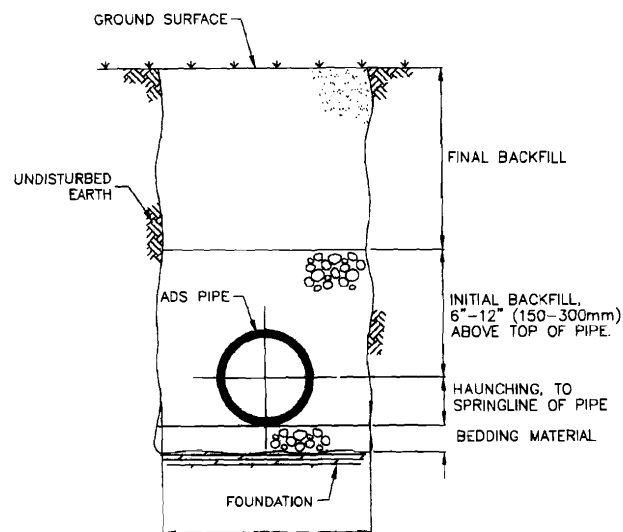
1. RECORD OWNER OF IN BOOK 22401, PAGE
2. BEARINGS ARE BASED ON SITE ON FEBRUARY 15
3. AREA OF ORIGINAL
4. REFERENCE IS MADE TO THE NORTHPORT BL PROPERTY IN PORTLAND 1986 MADE BY H. I. &
- b. CITY OF PORTLAND PORTLAND ENGINEERING
- c. PLAN OF WADCO P. WESCOTT, RECORDED
- d. PARKING LOT EXPANDED BY DUFRESNE-HENRY DEPT.
- e. CITY OF PORTLAND RECONSTRUCTION DATA
- f. CITY OF PORTLAND A.
5. NO CHANGE TO THE LANDSCAPING.
6. NO OTHER EASEMENTS FOR THE

ZONING:
THE SUBJECT PROPERTY
SETBACKS:
FRONT YARD: 2
REAR YARD: 2
SIDE YARD: 6
MINIMUM FRONT
MINIMUM LOT W

FLOOD MAP
OF THE
-7C, WH
SPECIAL



TRENCH INSTALLATION DETAIL



TYPICAL TRENCH CROSS-SECTION
(N.T.S.)

NOTES:

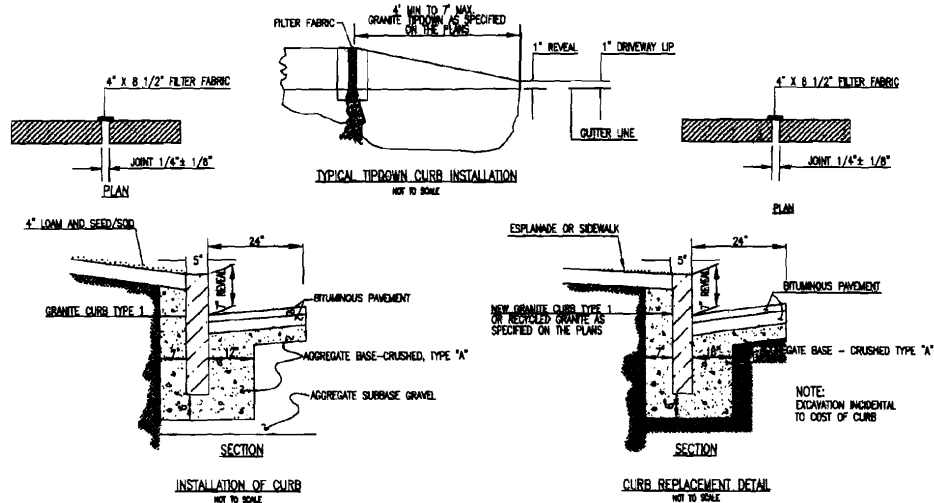
1. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
2. **BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-60" (750-1500mm) CPEP.
3. **HAUNCHING AND INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
4. **UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:**

NOMINAL Ø in (mm)	MIN. RECOMMENDED TRENCH WIDTH, in (mm)
4 (100)	21 (530)
6 (150)	23 (580)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)
18 (450)	39 (990)
24 (600)	48 (1220)
30 (750)	66 (1680)
36 (900)	78 (1980)
42 (1050)	83 (2110)
48 (1200)	89 (2260)
60 (1500)	102 (2590)

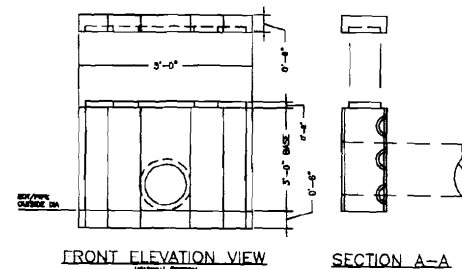
5. **MINIMUM COVER:** MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in (mm)
H25 (FLEXIBLE PAVEMENT)	12 (300), 24 (600) FOR 60" (1500) PIPE*
H25 (RIGID PAVEMENT)	12 (300), 24 (600) FOR 60" (1500) PIPE
E80 RAILWAY	24 (600)
HEAVY CONSTRUCTION	48 (1200)

TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION



TYPICAL INSTALLATION OF CURB
NOT TO SCALE

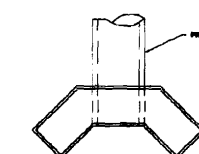


FRONT ELEVATION VIEW

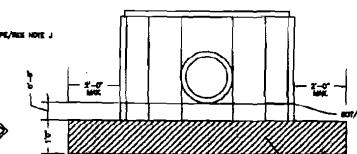
SECTION A-A

MINIMUM TRENCH WIDTH SHALL BE AS FOLLOWS:

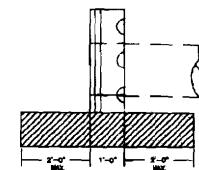
UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-60" (750-1500mm) CPEP.



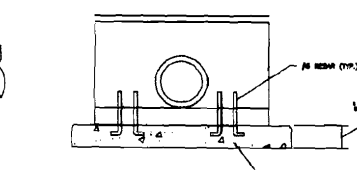
PLAN VIEW OF LID



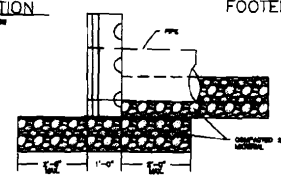
EXCAVATION



EXCAVATION

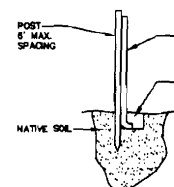


FOOTER



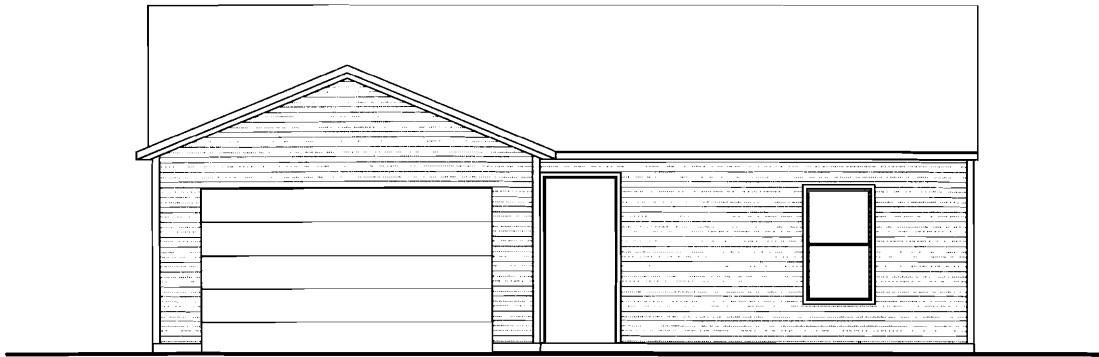
BACKFILL

HARTMAN
ALTERNATIVE TO

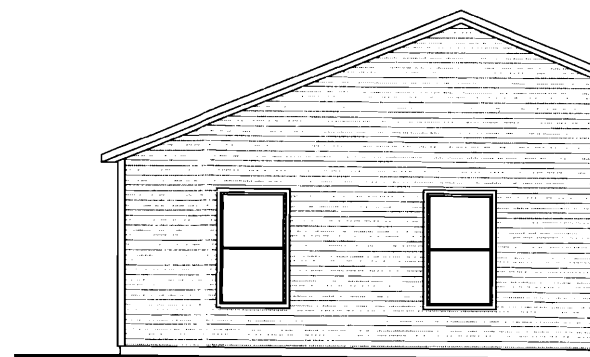


INSTALLATION:

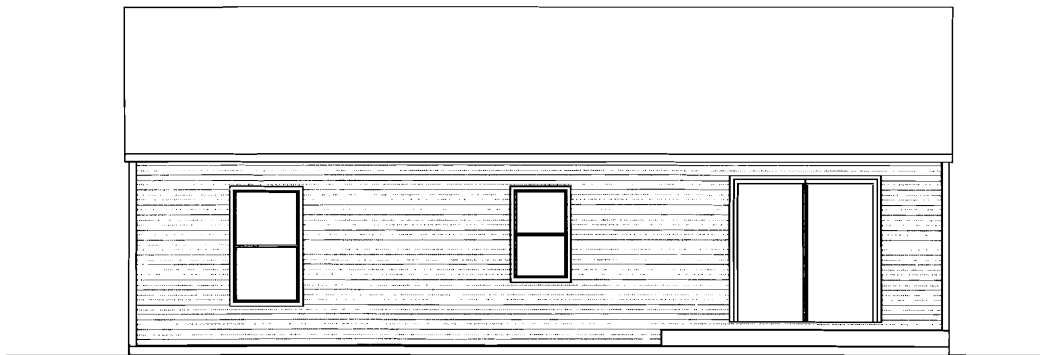
1. EXCAVATE A 6" X 6" TRENCH AT THE WALL OF THE TRENCH.
2. UNROLL A SECTION AT A TIME INTO THE TRENCH.
3. DRIVE POSTS INTO THE GROUND AT THE TRENCH BOTTOM JOINT SECTION.
4. LAY THE TOE-IN FLAP OF FABRIC BACKFILL THE TRENCH AND TAILORING THE FABRIC FLAP ON THE BASE, BUT MUST BE ADDED.
5. BARRIER SHALL BE MIRAFI SBT.



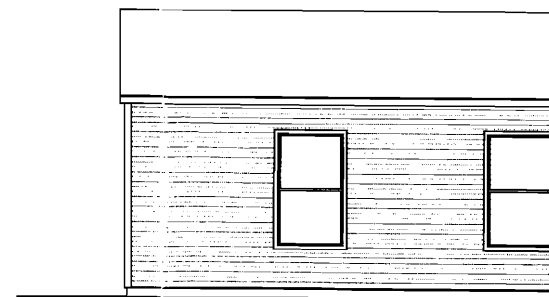
1 Front Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"



3 Rear Elevation
1/4" = 1'-0"



4 Left Elevation
1/4" = 1'-0"

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
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