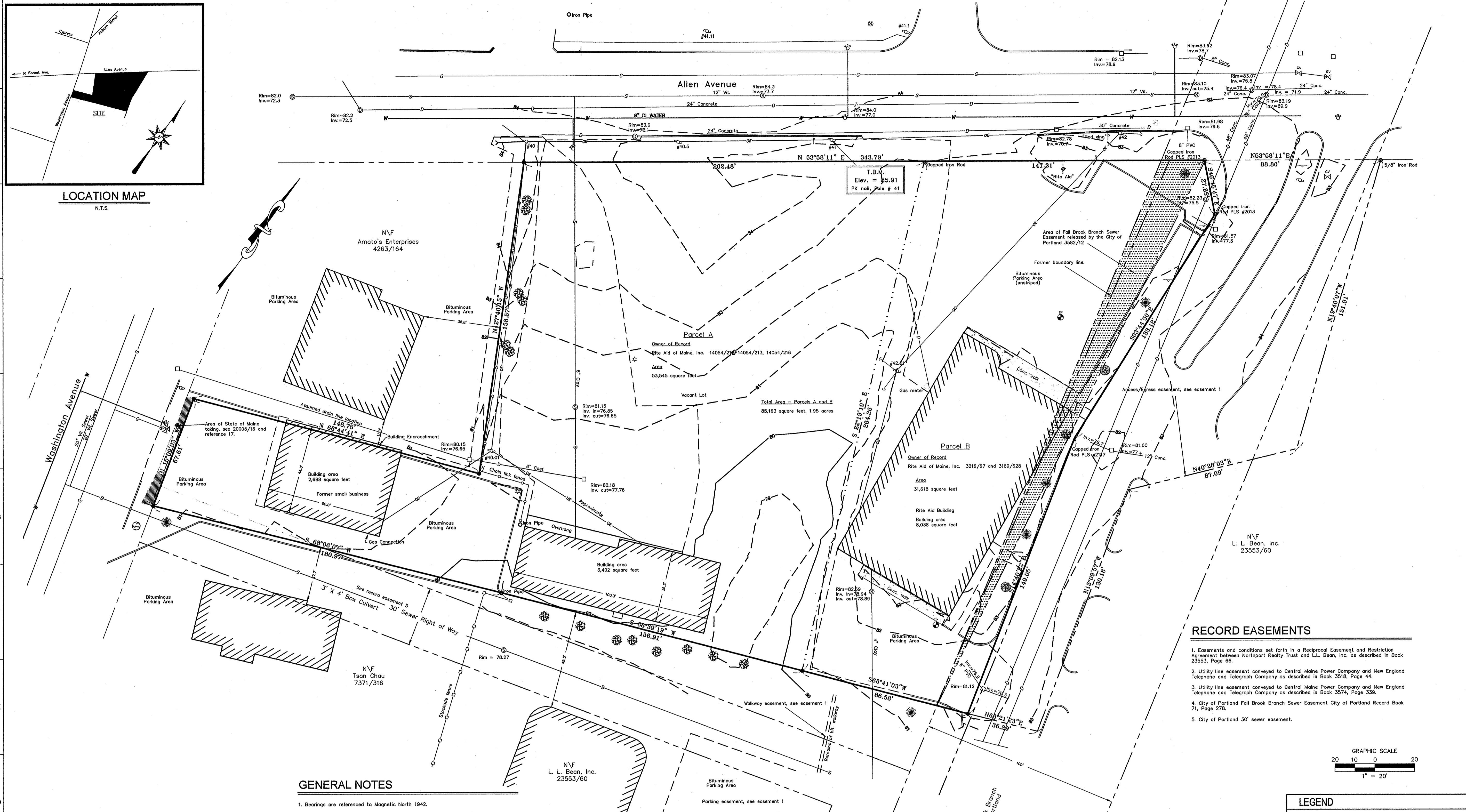


LOCATION MAP  
N.T.S.



**GENERAL NOTES**

- Bearings are referenced to Magnetic North 1942.
- Washington Avenue is varies in width, as shown on Plan Reference 10.
- Plan Book and Page, and Book and Page references are to the Cumberland County Registry of Deeds.
- Tax Map and Lot references are to the City of Portland, Maine.
- Elevations and contours are based on the US Coast and Geodetic Survey 1929 Datum. Benchmark: granite monument of Auburn Street at second angle point northerly of Washington Avenue. Elevation: 95.60 feet.
- Locations are based on field survey by Titcomb Associates, 133 Gray Road, Falmouth, Maine on May 18, 2005.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated though they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. The contractor shall confirm the location of all utilities prior to the commencement of excavation.
- Property is located in Flood Hazard Zone A2 as depicted on F.I.R.M. Community-Panel Number 230051 0002 B, dated July 17, 1986.

**PRELIMINARY PLAN**

**PLAN REFERENCES**

- Standard Boundary Survey, made for Portland House of Pizzo, by Titcomb Associates, dated August 30, 1994.
- Standard Boundary Survey, made for Citicorp Bank, by Titcomb Associates, dated September 12, 1988.
- Standard Boundary Survey, made for Northport Realty Trust, by Owen Haskell, dated April 23, 1992, recorded in Plan Book 185, Page 116.
- Plan of Property, made for Northport Realty Trust, by H.I. & E.C. Jordan, dated July 15, 1987, recorded in Plan Book 185, Page 17.
- Plan of Property, made for Wardsford Corporation, by H.I. & E.C. Jordan, dated August 19, 1977, recorded in Plan Book 118, Page 53.
- Plan of Property, made for New England Land Company, by H.I. & E.C. Jordan, dated April 6, 1971, recorded in Plan Book 88, Page 29.
- Plan of Property, made for New England Land Company, by H.I. & E.C. Jordan, dated February 12, 1971, recorded in Plan Book 85, Page 31.
- Plan of Property, made for Northport Realty Trust, by H.I. & E.C. Jordan, dated October 24, 1977, recorded in Plan Book 185, Page 32.
- City of Portland Engineering Department Right of Way Plans, on file at the City of Portland, Department of Public Works.
- State Department of Transportation Right of Way Map, State Highway "10", dated September, 1978, D.O.T. File No. 3-206.
- Plan of Property, made for Kenneth L. Maxwell, by Robert P. Titcomb, Inc., dated February 11, 1974, unrecorded.
- Sketch of Properties, made for Kenneth L. Maxwell, by Robert P. Titcomb, Inc., dated December 12, 1984, unrecorded.
- Standard Boundary Survey, made for Ejon Realty, by Titcomb Associates, Inc., dated July 14, 1992, unrecorded.
- Portland Sewer System Infiltration-Inflow Analysis, made for Portland Water District, by Hunter-Bell Associates, dated August 1979 and revised August 8, 1988, on file at the City of Portland, Department of Public Works.
- City of Portland, Engineering Department, field notes, dated March 3, 1969, and February 24, 1977.
- ALTA/ACSM Land Title Survey made for Killam Associates by Titcomb Associates, dated January 9, 1997.
- State of Maine Department of Transportation Right of Way Map State Aid Highway 15, D.O.T. File No. 3-489, dated January 2003.
- Final Subdivision Plan Amendment 4, made for Northport Realty Trust by Owen Haskell, Inc. dated December 12, 2005, recorded in Plan Book 205, Page 801.

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors.

Rex J. Croteau Maine PLS #2273

**SURVEY CERTIFICATION**

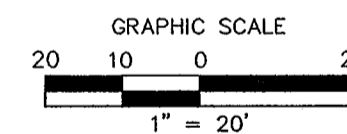
I HEREBY CERTIFY TO RITE AID OF MAINE, INC., FIRST AMERICAN TITLE COMPANY AND THEIR SUCCESSORS AND ASSIGNS THAT THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY OF THE PREMISES ON THE GROUND, THAT THE SAME SHOWS THE LOCATION OF THE BOUNDARIES, AND ALL IMPROVEMENTS THEREON, THAT THE DIMENSIONS OF THE IMPROVEMENTS AND THE LOCATION THEREOF WITH RESPECT TO THE BOUNDARIES ARE AS SHOWN, THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS APPURTENANT TO ADJOINING PREMISES UPON SUBJECT PREMISES, NOR FROM SUBJECT PREMISES UNLESS SHOWN HEREON, AND THAT ANY EASEMENTS APPARENT FROM A VISUAL INSPECTION ARE DELINEATED HEREON.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 2-6, 7(a), 7(b), 11(a) AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS, AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF MAINE, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATED: \_\_\_\_\_ SIGNED: \_\_\_\_\_  
Rex J. Croteau Maine PLS #2273

**RECORD EASEMENTS**

- Easements and conditions set forth in a Reciprocal Easement and Restriction Agreement between Northport Realty Trust and L.L. Bean, Inc. as described in Book 23553, Page 66.
- Utility line easement conveyed to Central Maine Power Company and New England Telephone and Telegraph Company as described in Book 3518, Page 44.
- Utility line easement conveyed to Central Maine Power Company and New England Telephone and Telegraph Company as described in Book 3574, Page 338.
- City of Portland Fall Brook Branch Sewer Easement City of Portland Record Book 71, Page 278.
- City of Portland 30' sewer easement.



**LEGEND**

- Iron pin found
- Iron pin set
- Property Line
- Easement Line
- Water Line
- Gas Line
- Sanitary sewer line
- Storm drain line
- Overhead Wires
- Chain Link Fence
- Edge of pavement
- Curb
- Guy wire
- Utility Pole
- Light Pole
- Catch Basin
- Drain Manhole
- Sewer manhole
- Hydrant
- Meter Gate
- Gas Gate
- Sign
- Existing 5' contour
- Existing 1' contour
- Test boring
- Existing building
- Deciduous Tree
- Coniferous Tree
- Shrub

**BULK AREA REQUIREMENTS**

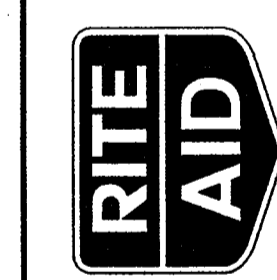
LOCATION: 365 Allen Avenue Portland, Maine		
ZONE: B2 Community Business Zone		
USE: Business		
ITEM	REQUIREMENTS	EXISTING
MINIMUM LOT AREA	Non Residential Use, 10,000 square feet	—
MINIMUM FRONT SETBACK	See note above.	—
MINIMUM SIDE SETBACK	Principal structures: none, accessory 5' Abutting first floor residential use, 10'	—
MINIMUM REAR SETBACK	Principal structures: 10', accessory 5' Abutting first floor residential use, 20'	—
MAXIMUM BUILDING HEIGHT	45'	—
MAXIMUM BUILDING COVERAGE	Maximum impervious surface ratio: 80%	—
OFF-STREET PARKING	No off-street parking in front yard. If building exceeds min. front yard, 10% of total parking allowed in front yard.	—
SANITARY SEWAGE	Public	—
WATER SUPPLY	Public	—

**Titcomb Associates**  
ARCHITECTURE  
ENGINEERING  
PLANNING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ENVIRONMENTAL SCIENCES

355 Research Parkway  
Meriden, CT 06450  
(203) 638-1406  
(203) 638-2915 Fax

**Titcomb Associates**  
133 Gray Road  
Falmouth, Maine 04105 (207) 797-9199

**PROPOSED RITE AID**  
**365 ALLEN AVENUE**  
CUMBERLAND COUNTY  
PORTLAND, MAINE



REDUCED FROM  
30" X 42" TO 24" X 36"

Surveyed \_\_\_\_\_  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_  
Scale 1"=20'  
Project No. X00004  
Date 11/01/05  
CAD File

Title  
**ALTA/ACSM LAND TITLE SURVEY**

Sheet No.  
**SU-101**