

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 070979

Please Read Application And Notes, If Any, Attached

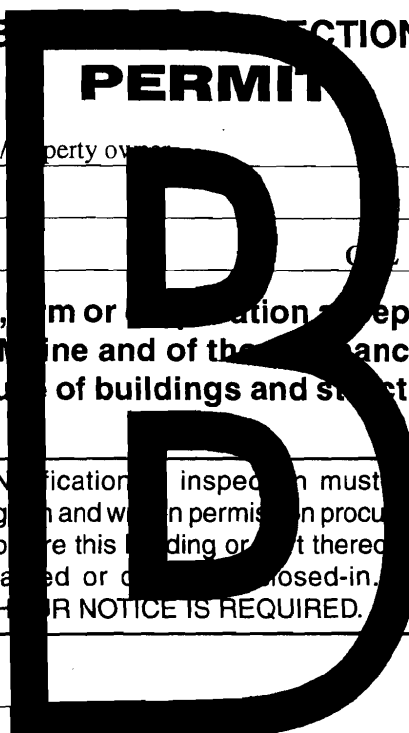
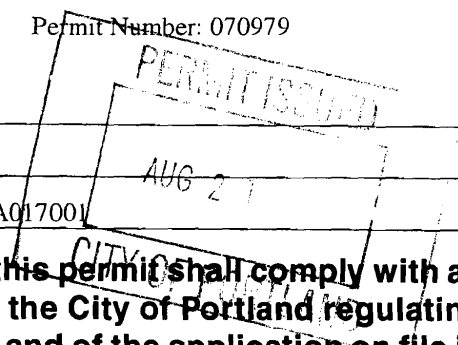
This is to certify that CIANCHETTE TUCKER J property owner

has permission to Interior renovations

AT 419 ALLEN AVE

401 A017001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or demolished. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas W. Wally 8/21/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0979	Issue Date:	CBL: 401 A017001
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Location of Construction: 419 ALLEN AVE	Owner Name: CIANCHETTE TUCKER J	Owner Address: 419 ALLEN AVE	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family Interior renovations <i>Connecticut permit 07-080 to legalize illegal unit for a total of two units</i>	Permit Fee: \$270.00	Cost of Work: \$25,000.00	CEO District: 4
Proposed Project Description: Interior renovations		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>JM 8/21/07</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 08/13/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with condition</i> Date: <i>8/13/07 ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

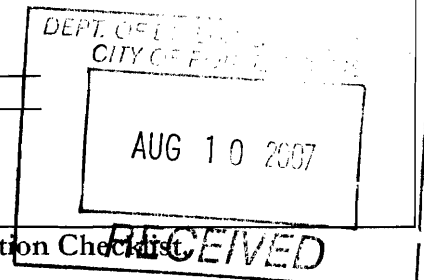
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 419 ALLEN AVE		
Total Square Footage of Proposed Structure 2770	Square Footage of Lot 38,280	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: TUCKER CIANCHETTE	Telephone: 207-610-2500
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: TUCKER CIANCHETTE 265 STEVENS AVE PORTLAND, ME 04103	Cost Of Work: \$ 25,000.00 Fee: \$ 270.00 C of O Fee: \$ D/A
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? <u>2-UNIT</u> Proposed Specific use: <u>2-UNIT</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED; Interior Renovation</u>		
Contractor's name, address & telephone: <u>SAME</u>		
Who should we contact when the permit is ready: <u>TUCKER CIANCHETTE</u>		
Mailing address: _____ Phone: <u>610-2500</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: 8/10/07
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This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0979	Date Applied For: 08/10/2007	CBL: 401 A017001
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Location of Construction: 419 ALLEN AVE	Owner Name: CIANCHETTE TUCKER J	Owner Address: 419 ALLEN AVE	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Two family (connected to permit #07-0800 to legalize illegal unit) Interior renovations	Proposed Project Description: Interior renovations
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 08/13/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) With the issuance of permit # 07-0800 and the certificate of occupancy, this property will be a two family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 08/21/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

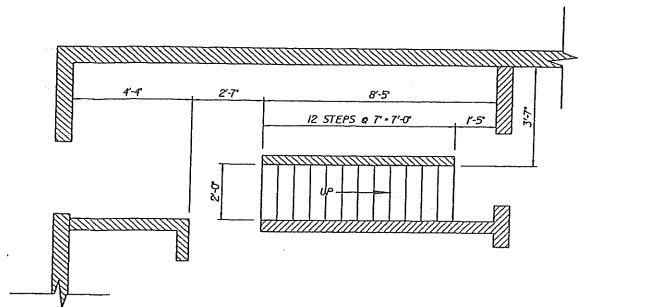
July, 18th 2007

Product Description for General Building Permit Application:

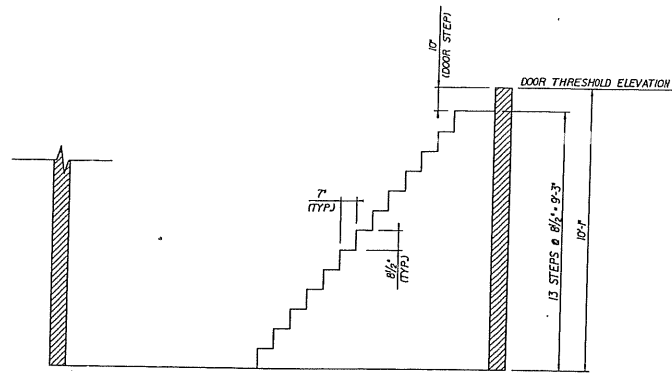
Rehab and Legalize both units, This will consist of updating the 2nd unit's kitchen with new plumbing, cabinets and fixtures. Repair or replace all existing plaster and/or sheet rocked walls. Paint interior walls, ceilings, trim, and floors where needed. Repair replace old flooring with tile, wood or carpet. Repair/replace any exposed or dangerous wiring. Hardwire smoke detectors in each bedroom and an additional smoke detector in common areas. Repair front porch as needed. Update heating system with an energy efficient oil unit. Replace the majority of wood cased windows with Low E windows. Repoint/reflash brick work if needed. Alter 2nd units secondary staircase to improve usability. Update any plumbing that gets altered. Expand 1st units ½ bath to a ¾ bath by moving a wall petition (not load bearing) and doorway.

Tucker Cianchette

265 Stevens Ave
Portland, ME 04103

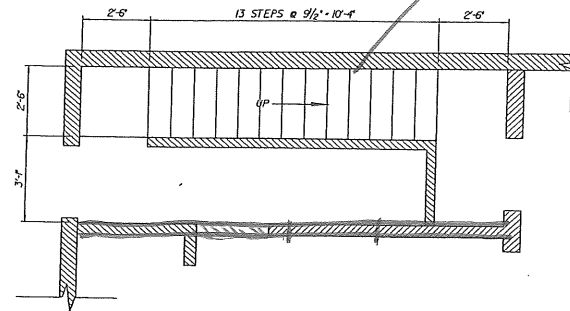


PLAN

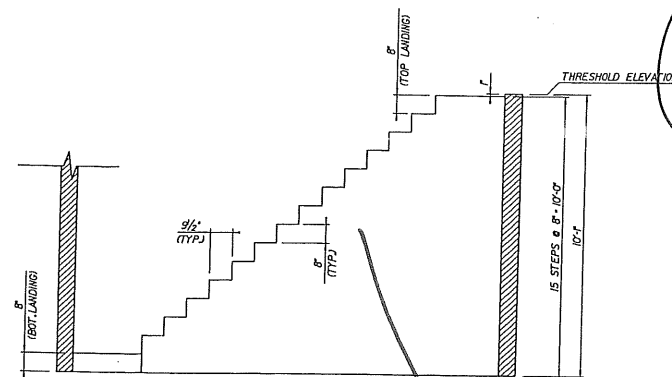


ELEVATION

EXISTING STAIR DETAIL
SCALE: 3/16" = 1'-0"



PLAN



ELEVATION

PROPOSED STAIR DETAIL
SCALE: 3/16" = 1'-0"

GUARDED RAIL to be hung on 36" guard exterior/window side wall, hand rail on opposite side. 34" - 36" handrail

OK per ABC 3403.4 (existing)

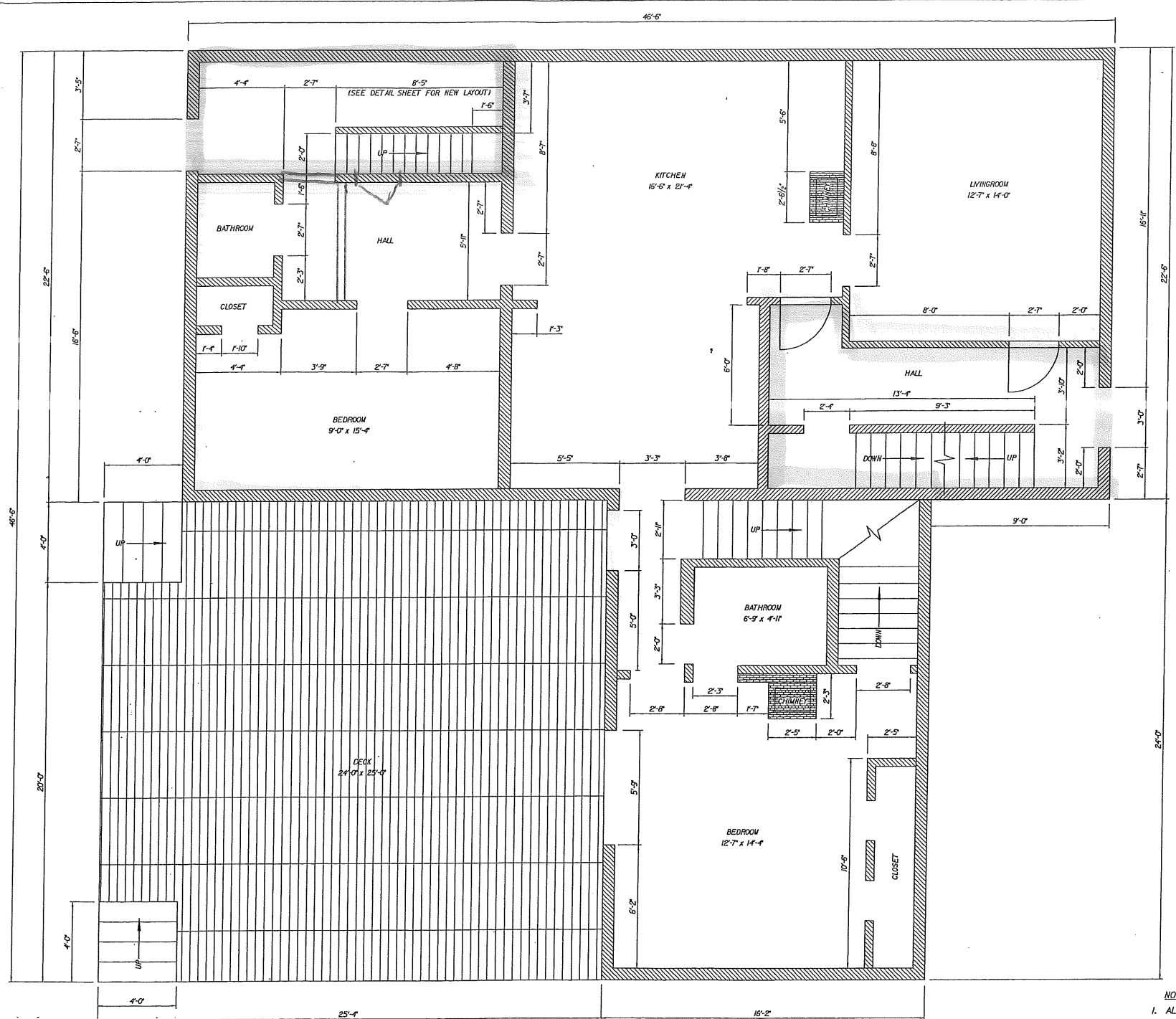
1 1/4" read
2x12 stringers
Advantech decking.
3/4" nosing




Headroom - over proposed stairs will be open to second floor ceiling.

LANDINGS - 2x6 construction with decking.

NOTES:

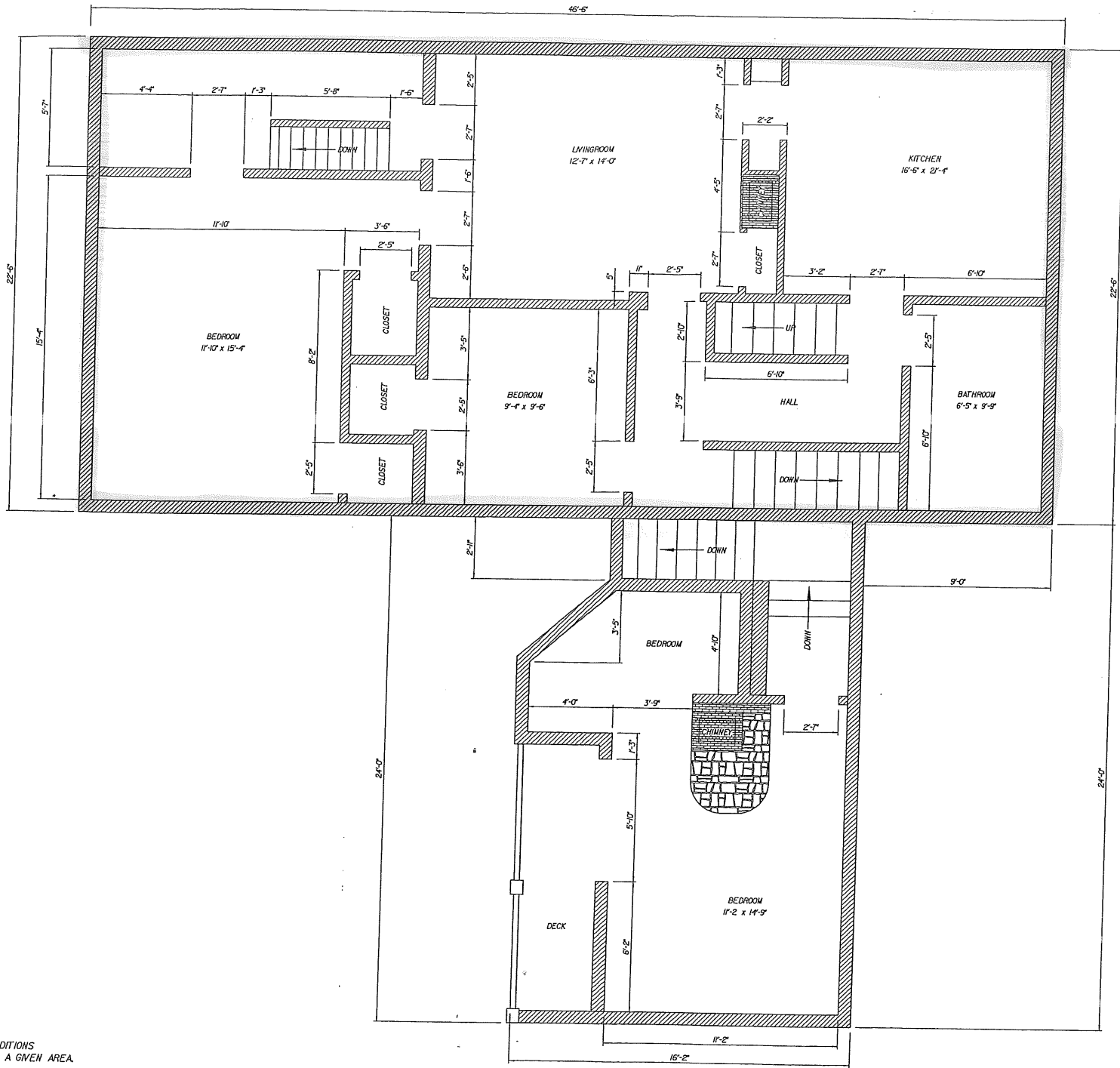
1. ALL EXISTING DIMENSIONS ARE APPROXIMATE.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK IN A GIVEN AREA.
3. ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES, AND PREVAILING ADDITIONS OF ADOPTED BUILDING CODES.



-  1ST UNIT
-  2ND UNIT
-  COMMON AREA
- UM - PROPOSED

1st FLOOR PLAN
 SCALE: 3/16" = 1'-0"

- NOTES:
1. ALL EXISTING DIMENSIONS ARE APPROXIMATE.
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NOTES:

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2nd FLOOR PLAN
 SCALE: $\frac{3}{16}'' = 1'-0''$