



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that HVAC Services Inc.,

Located At 27 NORTHPORT

has permission to Install a Trane unit On the roof

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

[Signature]
Fire Prevention Officer

[Signature] 203-1
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CARD.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Final - Commercial

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Conditions of Approval:

Fire

1. Installation shall comply with City Code Chapter 10.
2. Installation shall comply with NFPA 211, *Standard for Chimneys, Fireplaces, Vents, and Solid Fuel-Burning Appliances*; NFPA 54, *National Fuel Gas Code*, NFPA 70, *National Electrical Code* and the manufacturer's published instructions.

Fire

1. The sprinkler system shall be installed in accordance with NFPA 13.
2. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
3. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC and R317.3.1.2 of the IRC
3. The installation must comply with the State of Maine Gas Regulations.
4. Maintain proper setbacks from property lines/buildings and proper clearances from vertical openings when direct venting.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-1113	Date Applied: 12/28/2010	CBL: 401 - - A - 005 - 027 - - - - -	
<i>SEQUENCE 1 - HVAC/FIRE</i>			
Location of Construction: 27 NORTHPORT DR	Owner Name: BEAN INC LL	Owner Address: 15 CASCO ST FREEPORT, ME - MAINE 04033	Phone:
Business Name:	Contractor Name: HVAC Services INC.	Contractor Address: 73 BRADLEY DR, WESTBROOK, ME	Phone: 854-4822
Lessee/Buyer's Name:	Phone:	Permit Type: FIRE ALARM - Fire Alarm	Zone: B-2
Past Use: OFFICES	Proposed Use: SAME: OFFICES - INSTALL HVAC SYSTEM	Cost of Work: 19000.000000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type:
		Signature: <i>[Signature]</i> (58)	Signature:
Proposed Project Description: HVAC SYSTEM		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>approved conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

CERTIFICATION *9/28/11*

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

Fire conditions

Installation shall comply with City Code Chapter 10.

Installation shall comply with NFPA 211, *Standard for Chimneys, Fireplaces, Vents, and Solid Fuel-Burning Appliances*; NFPA 54, *National Fuel Gas Code*, NFPA 70, *National Electrical Code* and the manufacturer's published instructions.

Job Summary Report
Job ID: 2010-12-150-FAFS

2011-1113

HVAC

Report generated on Feb 8, 2011 2:36:11 PM

Page 1

Job Type:	Fire Alarm / Suppression	Job Description:	Fire Alarm	Job Year:	2010
Building Job Status Code:	Permit Issued	Pin Value:	292	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	19,000	Square Footage:			
Related Parties:		BEAN LL		<i>Property Owner</i>	
		Owner Contractor		<i>ELECTRICAL CONTRACTOR</i>	
		HVAC Services Inc. - HVAC Services Inc. HVAC Services Inc.		<i>MECHANICAL CONTRACTOR</i>	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
Job Valuation Fees	\$210.00		\$210.00	12/23/10	425	\$210.00		\$210.00	\$0.00

Location ID: 49586

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude	
	401 A 005 027						-70.285095	43.700152	
		Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)			
		1				27 NORTHPORT DRIVE			
Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Code	Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
COMMERCIAL CONDOS		BUSINESS COMMUNITY						DISTRICT 5	

Structure Details

Structure: Commercial Office "Martin's Point"

Occupancy Type Code:									
Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address					
Office & Professional Buildings	0			27 NORTHPORT DRIVE					
Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property Value			

Permit #: 20111113

Job Summary Report
Job ID: 2010-12-150-FAFS

Report generated on Feb 8, 2011 2:36:11 PM

Permit Data								
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date		
49586	Commercial Office "Martin's Point"	Initialized	Install a Trane unit On the roof					
Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
HVAC Permit Fee	\$2,920.00							

Permit #: FIRE ALARM-431

Permit Data								
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date		
49586	Location Permit	Final Insp Comp	Install Fire Alarm main entrance vestibule	1/18/11		7/17/11		
Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment



CITY OF PORTLAND, MAINE

Division of Building Inspections

Original Receipt

Jan. 20

Received from HVAC Services, Inc

Location of Work 77 North Park

Cost of Construction \$ _____	Building Fee \$ _____
Permit Fee \$ _____	Site Fee \$ _____
	Certificate of Occupancy Fee \$ _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other HVAC

CBL: 401 A005009

Check #: 393 88 Total Collected 2,990.00

No work is to be started until permit issued.
Please keep original receipt for you records.

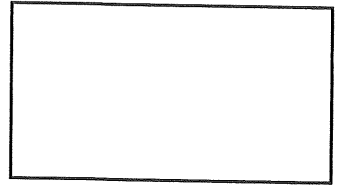
Taken by: [Signature]



Service Received
Per Brent Grass
electronic 8165

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



401 A005027

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 27 NORTH POINT DRIVE PORT ME Use of Building OFFICES Date 1/28/11

Name and address of owner of appliance MARTIN'S POINT
331 YEVANDA ST PORT ME 04103

Installer's name and address HVAC SERVICES INC
13 Bradley Dr. WESTBROOK ME Telephone 207 854 4822

Location of appliance:

Basement Floor
 Attic Roof

Type of Fuel:

Gas Oil Solid

Appliance Name: FRANE

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

Master Plumber # _____
 Solid Fuel # _____
 Oil # _____
 Gas # PNT 1138
 Other _____

Type of Chimney:

Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____

Type of Fuel Tank

Oil
 Gas

Size of Tank N/A

Number of Tanks N/A

Distance from Tank to Center of Flame _____ feet.

Cost of Work: \$ 290,000

Permit Fee: \$ 2,900.00

RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine

Approved

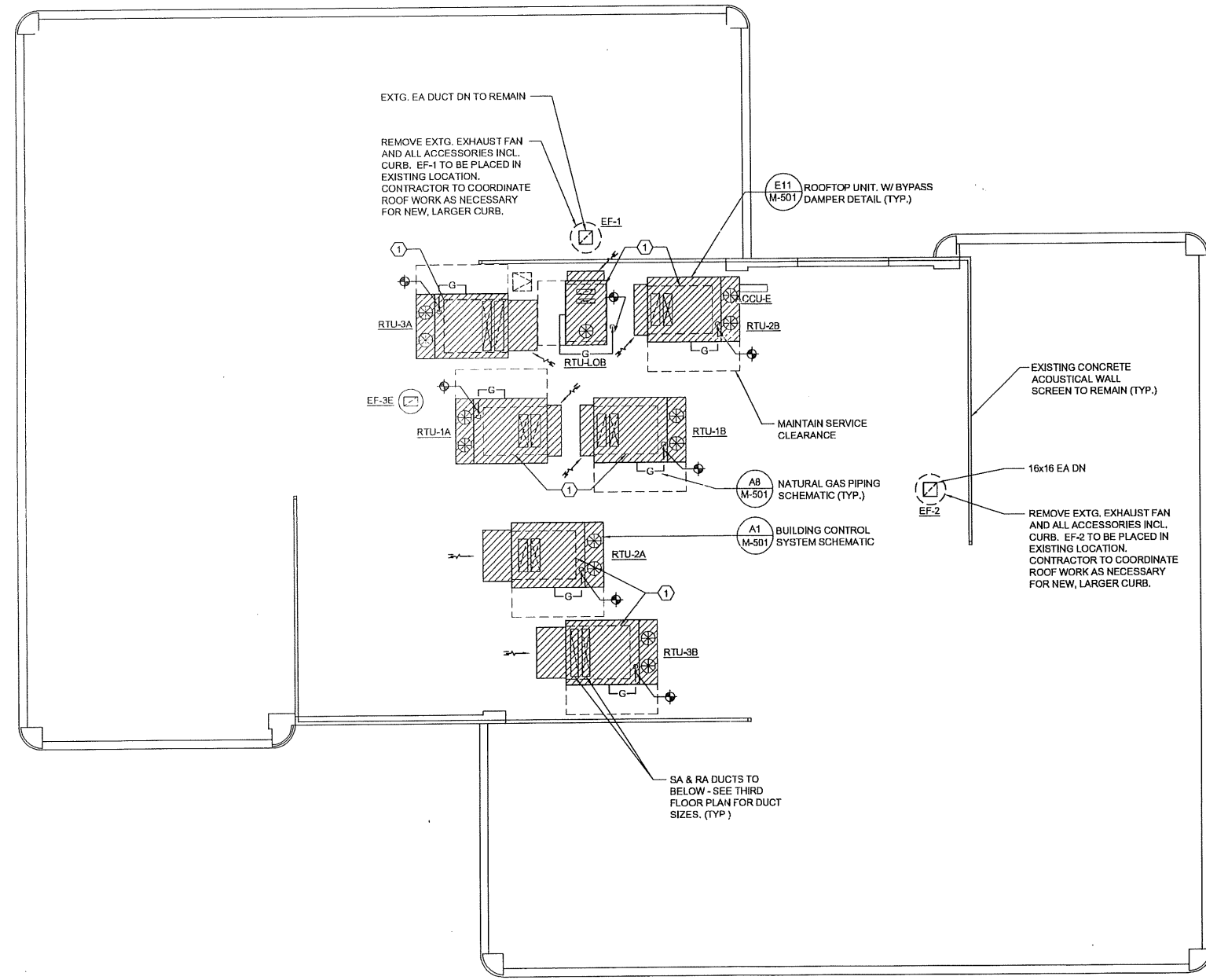
Approved with Conditions

See attached letter or requirement

Fire: _____
Ele.: _____
Bldg.: _____

Inspector's Signature _____ Date Approved _____
Brent Grass

Signature of Installer _____



GENERAL NOTES:

1. REMOVE ALL EXISTING DIFFUSERS & BRANCH DUCTS, EXCEPT IN LOBBY/PUBLIC AREAS.
2. DIFFUSER BRANCH DUCT SIZES SHALL BE EQUAL TO DIFFUSER CONNECTION SIZE.
3. DIRECT OUTERMOST SLOT OF LINEAR SLOT DIFFUSER AT EXTERIOR WALL; REMAINDER OF SLOTS TO BE SET TO PROJECT AIRFLOW ALONG CEILING & AWAY FROM EXTERIOR WALL WINDOWS.
4. ALL NEW CONTROL WIRING TO BE PLENUM RATED.
5. ALL EXISTING FIRE DAMPERS (TO REMAIN): DISCONNECT FIRE DAMPER FUSE AND OPERATE DAMPER WITH NORMAL SYSTEM AIR FLOW TO INSURE PROPER DAMPER OPERATION. VISUALLY INSPECT, TEST, AND CONFIRM FOR EACH EXISTING FIRE DAMPER. VISUALLY INSPECT AND CONFIRM THAT EACH FIRE DAMPER IS PROPERLY SEALED AND INSTALLED TO MAINTAIN PROPER FIRE SEPARATION AND INTEGRITY. NOTIFY PROJECT ENGINEER IMMEDIATELY OF ANY AND ALL MALFUNCTIONING FIRE DAMPERS OR IMPROPER INSTALLATIONS. RESET ALL FIRE DAMPERS AT CONCLUSION OF TESTING OF EACH DAMPER.
6. ALL EXISTING DUCTS SCHEDULED TO REMAIN "AS-IS". CLEAN ALL EXISTING SUPPLY AIR, RETURN AIR & EXHAUST AIR DUCTWORK. COMPANY/SUPERVISOR MUST BE NATIONALLY CERTIFIED TO PERFORM CLEANING AND FOLLOW CURRENT NADCA STANDARDS. CLEANING SHALL BE COMPLETED PRIOR TO FINAL AIR BALANCING. PROVIDE INSULATED & GASKETED ACCESS DOORS FOR DUCT ACCESS DURING CLEANING. REPAIR AND/OR REPLACE ANY DETERIORATED OR DAMAGED DUCT LINER OR FLEXIBLE DUCT.
7. EXISTING ELECTRIC RESISTANCE HEAT & ASSOCIATED THERMOSTATS SHALL REMAIN AS IS.
8. TAG & LABEL ALL NEW HVAC EQUIPMENT & CONTROL DEVICES.
9. ALL EXTG. DUCT SMOKE DETECTORS TO REMAIN. CLEAN & TEST TO CONFIRM PROPER OPERATION. NOTIFY OWNER/ENGINEER OF ANY NONOPERABLE DEVICES.

TECHNICAL NOTES:

- 1) EXISTING CURB TO REMAIN. ADAPTER CURB FOR NEW UNIT TO BE INSTALLED ON TOP OF EXIST. CURB. FIELD VERIFY AND COORDINATE NEW RTU & CURB ADAPTERS WITH EXISTING ROOF CURB LOCATIONS AND CONSTRUCTION, AS REQUIRED FOR PROPER INSTALLATION AND TO MEET MANUFACTURERS REQUIREMENTS FOR OPERATION AND MAINTENANCE.

REV.	DESCRIPTION	DATE
2	REISSUED	12.03.10
1	REISSUED	10.20.10
0	CONSTRUCTION DOCS	10.20.10

CONSTRUCTION DOCUMENTS
12.03.10

CURRENT ISSUE STATUS:

PROJECT
NORTH

12.03.10

WBRC
ARCHITECTS • ENGINEERS
WWW.WBRCAE.COM
BANGOR, MAINE 207-947-4511
PORTLAND, MAINE 207-828-4511
SARASOTA, FLORIDA 941-556-0757

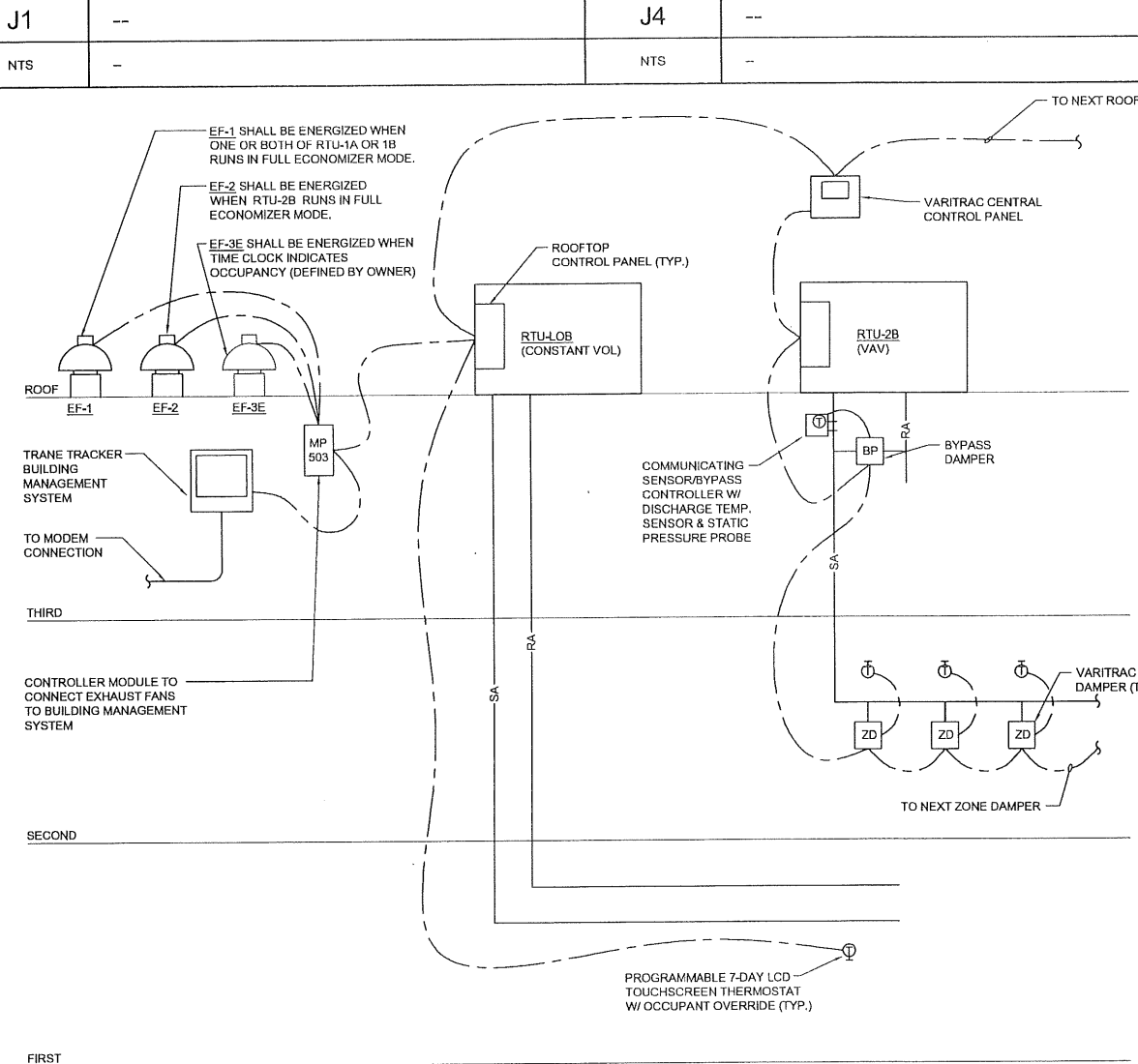
MARTIN'S POINT HEALTH CARE
NORTHPORT PLAZA HVAC
RENOVATIONS
PORTLAND, ME

MECHANICAL ROOF PLAN

WBRC CAD FILE:	3626.00 - M-104
PROJECT No.	3626.00
SCALE:	AS NOTED
GRAPHIC SCALE:	0" 1"
PM:	RLR
DRAWN BY:	CGB
CHECKED BY:	RLR
SHEET No.	M-104
A/E OF RECORD:	RLR

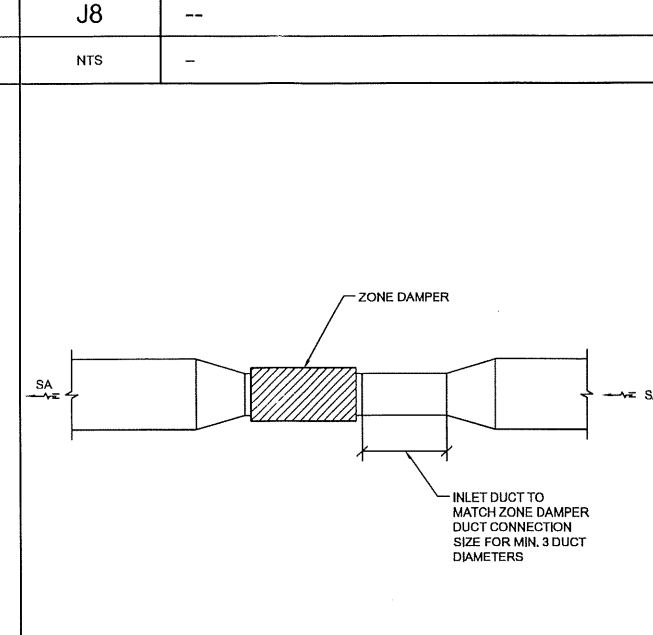
A1 MECHANICAL ROOF PLAN

1/8" = 1'-0"



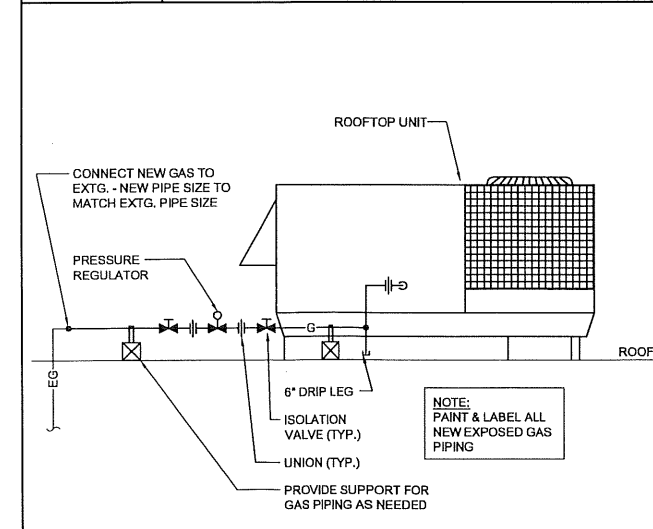
A1 BUILDING CONTROL SYSTEM SCHEMATIC

NTS -



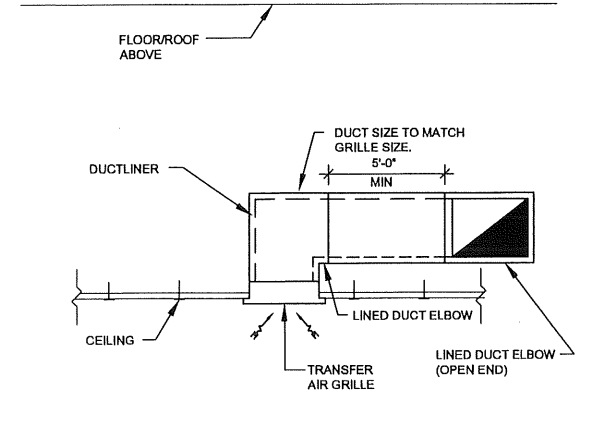
E8 ZONE DAMPER DUCTWORK DETAIL

NTS -



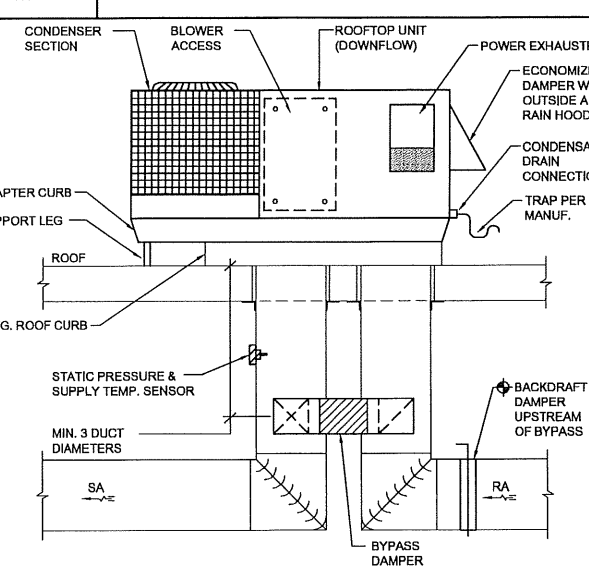
A8 NATURAL GAS PIPING SCHEMATIC

NTS -



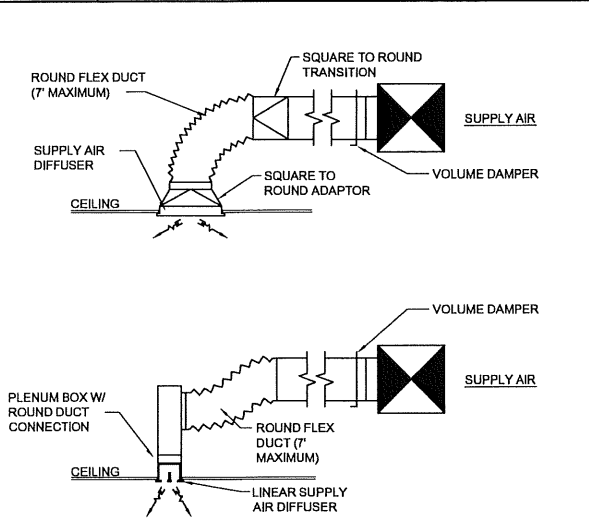
J11 PLENUM RETURN GRILLE DETAIL

NTS -



E11 ROOFTOP UNIT. W/ BYPASS DAMPER DETAIL

NTS -



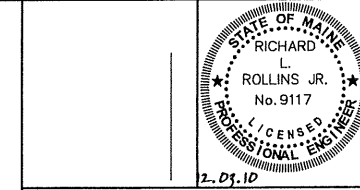
A11 TYP. DIFFUSER/GRILLE DETAIL

NTS -

REV.	DESCRIPTION	DATE
2	REISSUED	12.03.10
1	REISSUED	10.20.10
0	CONSTRUCTION DOCS	10.20.10

CONSTRUCTION DOCUMENTS
12.03.10

CURRENT ISSUE STATUS:



WBRC
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BANGOR, MAINE 207-947-4511
PORTLAND, MAINE 207-828-4511
SARASOTA, FLORIDA 941-556-0757

MARTIN'S POINT HEALTH CARE
NORTHPORT PLAZA HVAC RENOVATIONS
PORTLAND, ME

MECHANICAL DETAILS

SHEET TITLE:

WBRC CAD FILE: 3626.00 - M-501

PROJECT No. 3626.00 GRAPHIC SCALE: 0"

SCALE: AS NOTED

FW: RLR SHEET No.

DRAWN BY: CGB

A/E OF RECORD: RLR

M-501

ZONE DAMPER SCHEDULE						
UNIT	AREAS SERVED	MODEL	MAX. CFM	DUCT SIZE (WxH)	FPM	NOTES
ZD-1A-1	CAFETERIA (1A)	VARA-8R-B	1640	16x10	1477	①
ZD-1A-2	KITCHEN (1B)	VADA-06-B	200	6"Ø	1020	①
ZD-1A-3	CONFERENCE (1C)	VARA-5R-B	800	12x8	1200	①
ZD-1A-4	CONFERENCE (1D)	VARA-5R-B	800	12x8	1200	①
ZD-1A-5	CONFERENCE (1E)	VARA-7R-B	1040	16x8	1170	①
ZD-1A-6	BREAK ROOM (1F)	VADA-06-B	290	6"Ø	1480	①
ZD-1B-1	CONFERENCE (1G)	VARA-6R-B	960	14x8	1233	①
ZD-1B-2	EXT OFF (1H, 1P, 1Q)	VARA-5R-B	840	12x8	1260	①
ZD-1B-3	INTERIOR OFFICES	VADA-08-B	480	8"Ø	1375	①
ZD-1B-4	SE OPEN OFFICES	VARA-8R-B	1320	16x10	1190	①
ZD-1B-5	SE OPEN OFFICES	VARA-8R-B	1320	16x10	1190	①
ZD-1B-6	CONFERENCE (1S)	VADA-10-B	640	10"Ø	1173	①
ZD-2A-1	OFFICE (2A)	VADA-06-B	200	6"Ø	1020	①
ZD-2A-2	NORTH OPEN OFFICES	VARA-7R-B	1120	16x8	1260	①
ZD-2A-3	NORTHEAST OPEN OFFICES	VARA-8R-B	1280	16x10	1153	①
ZD-2A-4	NORTHWEST OPEN OFFICES	VARA-8R-B	1400	16x10	1261	①
ZD-2A-5	WEST OPEN OFFICES	VARA-5R-B	800	12x8	1200	①
ZD-2A-6	OFFICES (2B & 2C)	VADA-08-B	400	8"Ø	1146	①
ZD-2A-7	BREAK ROOM	VADA-06-B	160	6"Ø	816	①
ZD-2B-1	PENOBSCOT ROOM	VADA-10-B	600	10"Ø	1100	①
ZD-2B-2	SE OPEN OFFICES	VARA-7R-B	1040	16x8	1170	①
ZD-2B-3	SOUTH OPEN OFFICES	VARA-9R-B	1760	20x10	1267	①
ZD-2B-4	SOUTHWEST OPEN OFFICES	VARA-8R-B	1580	16x10	1423	①
ZD-2B-5	SOUTHWEST OPEN OFFICES	VARA-8R-B	1580	16x10	1423	①
ZD-2B-6	OFFICES (2D & 2E)	VADA-06-B	160	6"Ø	816	①
ZD-2B-7	CONFERENCE (2F)	VADA-08-B	320	8"Ø	916	①
ZD-3A-1	OFFICE (3A)	VADA-08-B	320	8"Ø	916	①
ZD-3A-2	NORTHEAST OPEN OFFICES	VARA-8R-B	1240	16x10	1116	①
ZD-3A-3	OFFICES (3B & 3C)	VADA-10-B	760	10"Ø	1395	①
ZD-3A-4	NORTHWEST OPEN OFFICES	VARA-9R-B	2000	20x10	1440	①
ZD-3A-5	OFFICE (3D)	VADA-10-B	680	10"Ø	1248	①
ZD-3A-6	ACADIA ROOM	VARA-5R-B	840	12x8	1260	①
ZD-3B-1	OFFICES (3J)	VADA-06-B	240	6"Ø	1225	①
ZD-3B-2	SOUTHEAST OPEN OFFICES	VARA-8R-B	1320	16x10	1190	①
ZD-3B-3	SOUTH OPEN OFFICES	VARA-9R-B	1600	20x10	1152	①
ZD-3B-4	OFFICES (3G & 3H)	VADA-10-B	720	10"Ø	1321	①
ZD-3B-5	SOUTHWEST OPEN OFFICES	VARA-9R-B	2000	20x10	1440	①
ZD-3B-6	OFFICES (3E & 3F)	VADA-10-B	640	10"Ø	1175	①
ZD-3B-7	OFFICES (3K)	VADA-06-B	80	6"Ø	408	①

VARIABLE VOLUME BOX SCHEDULE NOTES:

- ① BASED ON TRANE VARITRAC

BYPASS DAMPER SCHEDULE						
TAG	SERVES	CFM	MODEL	DUCT SIZE	FPM	NOTES
BPD-1A	RTU-1A	4000	VARA-2R-J	16x16	2,250	①②
BPD-1B	RTU-1B	4000	VARA-2R-J	16x16	2,250	①②
BPD-2A	RTU-2A	4000	VARA-2R-J	16x16	2,250	①②
BPD-2B	RTU-2B	4000	VARA-2R-J	16x16	2,250	①②
BPD-3A	RTU-3A	4800	VARA-3R-J	20x20	1,730	①②
BPD-3B	RTU-3B	4800	VARA-3R-J	20x20	1,730	①②

BYPASS DAMPER SCHEDULE NOTES:

- ① BASED ON TRANE VARITRAC
- ② CFM BASED ON 80% OF RTU AIRFLOW

ROOFTOP UNIT SCHEDULE														
UNIT	NOMINAL COOLING TONS	INDOOR FAN PERFORMANCE					MIN. OA CFM	ELECTRICAL						
		CFM	ESP	BHP	MOTOR HP	DRIVE		VOLTS/PH/Hz	COMPRESSOR QTY	RLA/LRA	INDOOR FAN FLA/LRA	OUTDOOR FAN FLA/LRA	MIN. BRANCH CIRCUIT (AMPS)	FUSE SIZE (MAX.)
RTU-1A	12 1/2	5000	1.5	3.22	3.0	BELT	300	208/3/60	2	25.0/164	10.6/81	3.2/8.8	65	80
RTU-1B	12 1/2	5000	1.5	3.22	3.0	BELT	300	208/3/60	2	25.0/164	10.6/81	3.2/8.8	65	80
RTU-2A	12 1/2	5000	1.5	3.22	3.0	BELT	300	208/3/60	2	25.0/164	10.6/81	3.2/8.8	65	80
RTU-2B	12 1/2	5000	1.5	3.22	3.0	BELT	300	208/3/60	2	25.0/164	10.6/81	3.2/8.8	65	80
RTU-3A	15	6000	1.5	4.09	5.0	BELT	300	208/3/60	2	29.5/267	10.6/81	3.2/8.8	72	90
RTU-3B	15	6000	1.5	4.09	5.0	BELT	300	208/3/60	2	29.5/267	10.6/81	3.2/8.8	72	90
RTU-LOB	5	2000	1.0	0.86	1.0	BELT	200	208/3/60	1	17.6/123	2.5/6.6	5.0/32.2	29	45

GAS HEAT PERFORMANCE													
UNIT	INPUT		OUTPUT		EAT	TEMP RISE	FUEL	AFUE %	GAS CONN.	RECOMMENDED GAS PRESS.	BURNER TYPE	NOTES	
	HIGH	LOW	HIGH	LOW								1/2"	
RTU-1A	350	70	284	57	54	35-65	NATURAL GAS	80	3/4"	2.5-14.0 IN. WC	INDIRECT / MODULATING	(1) (2) (5) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19)	
RTU-1B	350	70	284	57	54	35-65	NATURAL GAS	80	3/4"	2.5-14.0 IN. WC	INDIRECT / MODULATING	(1) (2) (5) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19)	
RTU-2A	350	70	284	57	54	35-65	NATURAL GAS	80	3/4"	2.5-14.0 IN. WC	INDIRECT / MODULATING	(1) (2) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19)	
RTU-2B	350	70	284	57	54	35-65	NATURAL GAS	80	3/4"	2.5-14.0 IN. WC	INDIRECT / MODULATING	(1) (2) (5) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19)	
RTU-3A	350	70	284	57	56	35-65	NATURAL GAS	80	3/4"	2.5-14.0 IN. WC	INDIRECT / MODULATING	(1) (3) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19)	
RTU-3B	350	70	284	57	56	35-65	NATURAL GAS	80	3/4"	2.5-14.0 IN. WC	INDIRECT / MODULATING	(1) (3) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19)	
RTU-LOB	130	N/A	104	N/A	51	35-65	NATURAL GAS	79	1/2"	4.5-14.0 IN. WC	INDIRECT / SINGLE STAGE	(1) (4) (5) (7) (8) (9) (12) (14) (15) (16) (17) (18) (19)	

ROOFTOP UNIT SCHEDULE:

- ① BASED ON TRANE
- ② PROVIDE W/ OFFSET INSULATED ADAPTER CURB TO ALLOW NEW UNIT TO BE PLACED ON EXTG. TRACE BYC-130 CURB.
- ③ PROVIDE W/ OFFSET INSULATED ADAPTER CURB TO ALLOW NEW UNIT TO BE PLACED ON EXTG. TRACE BYC-170 CURB.
- ④ PROVIDE W/ OFFSET INSULATED ADAPTER CURB TO ALLOW NEW UNIT TO BE PLACED ON EXTG. TRACE BYC-100 CURB.
- ⑤ MOTORIZED ECONOMIZER W/ RAIN HOOD & COMPARATIVE ENTHALPY CONTROLS.
- ⑥ UNIT POWERED RELIEF FAN - 208V/3
- ⑦ 2" PLEATED MERV 8 FILTERS
- ⑧ HINGED ACCESS DOORS
- ⑨ PREMIUM EFFICIENCY INDOOR FAN MOTOR
- ⑩ PROVIDE W/ TXV REFRIGERENT METERING
- ⑪ PROVIDE W/ HIGH STATIC FAN PACKAGE
- ⑫ STAINLESS STEEL HEAT EXCHANGER
- ⑬ PROVIDE W/ OVERSIZED FAN MOTOR & DRIVE
- ⑭ PROVIDE W/ VERTICAL FURNACE FLUE EXTENSION
- ⑮ PROVIDE W/ DUCT MOUNTED CO2 SENSOR & DEMAND CONTROL VENTILATION CONTROLS.
- ⑯ PROVIDE W/ TRANE COMMUNICATION INTERFACE BOARD FOR CONNECTION TO VARITRAC CENTRAL CONTROL PANEL.
- ⑰ DEMAND CONTROL VENTILATION, ECONOMIZER CONTROL & SEER/EER TO COMPLY W/ "EFFICIENCY MAINE" BUSINESS PROGRAM PRESCRIPTIVE CASH INCENTIVES.
- ⑱ EXTERNAL STATIC PRESSURE INCLUDES ADDITIONAL PRESSURE DROP FROM ECONOMIZER AND AIR FILTERS. ESP EQUAL TO 1.22" W/O ECONOMIZER AND FILTERS.
- ⑳ BAROMETRIC RELIEF DAMPER

DIFFUSER/GRILLE AND REGISTER SCHEDULE										
TAG	DESCRIPTION	NECK SIZE WxH	MAX. CFM	S.P. W.C.	THROW (FT)	NC	TYPE	MODEL NO.	MOUNTING	NOTES
SD-1	CEILING SUPPLY DIFFUSER	8"Ø	250	0.064	3-4-8	<15	PLAQUE	24x24 SPD TYPE 31	LAY-IN	①②
SD-1	CEILING SUPPLY DIFFUSER	10"Ø	350	0.077	3-5-9	<15	PLAQUE	24x24 SPD TYPE 31	LAY-IN	①②
LSD-1	LINEAR SUPPLY DIFFUSER	10"Ø	250	0.066	7-11-21	<15	(2) 1" SLOTS	48" TBD-3100	LAY-IN	①②③
LSD-2	LINEAR SUPPLY DIFFUSER	10"Ø	325	0.077	9-13-27	<15	(3) 1" SLOTS	48" TBD-3100	LAY-IN	①②③
RG-1	CEILING RETURN GRILLE	14x14	800	0.066	-	<15	EGG CRATE	80-TBP	LAY-IN	①②
RG-2	CEILING RETURN GRILLE	22x22	1800	0.047	-	<15	EGG CRATE	80-TBP	LAY-IN	①②

DIFFUSER/GRILLE SCHEDULE NOTES:

- ① BASED ON PRICE
- ② WHITE FINISH
- ③ FACTORY INSTALLED EXTERNAL FIBERGLASS PLENUM INSULATION

EXHAUST FAN SCHEDULE									
UNIT	AREA(S) SERVED	MODEL	CFM	ESP	MOTOR HP	BRAKE HP	VOLTS/Ø	RPM	NOTES
EF-1	FIRST FLOOR PLENUM EXH.	ACEB210C6B	4,000	0.50	3/4	0.73	115/1/60	823	①②③④⑤
EF-2	SECOND FLOOR PLENUM EXH.	ACEB165C6B	2,000	0.50	1/2	0.322	115/1/60	940	①②③④⑤
EF-3	FIRST FLOOR SHOWER	GC-320	100	0.25	-	47W	115/1/60	1073	①⑥
EF-4	FIRST FLOOR SHOWER	GC-320	100	0.25	-	47W	115/1/60	1073	①⑥

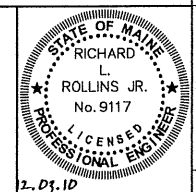
EXHAUST FAN SCHEDULE NOTES:

- ① BASED ON LOREN COOK
- ② 24" HIGH INSULATED ROOF CURB W/ DAMPER TRAY
- ③ PREMIUM EFFICIENT TEFC MOTOR
- ④ BACKDRAFT DAMPER
- ⑤ BELT GUARD & TENSIONER
- ⑥ WHITE ALUMINUM GRILLE, FAN SPEED CONTROLLER, ISOLATION KIT, EAVE CAP (COLOR TO MATCH EXTG. SOFFIT COLOR).

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2	REISSUED	12.03.10
1	REISSUED	10.20.10
0	CONSTRUCTION DOCS	10.20.10
REV.	DESCRIPTION	DATE

CONSTRUCTION DOCUMENTS
12.03.10

CURRENT ISSUE STATUS:

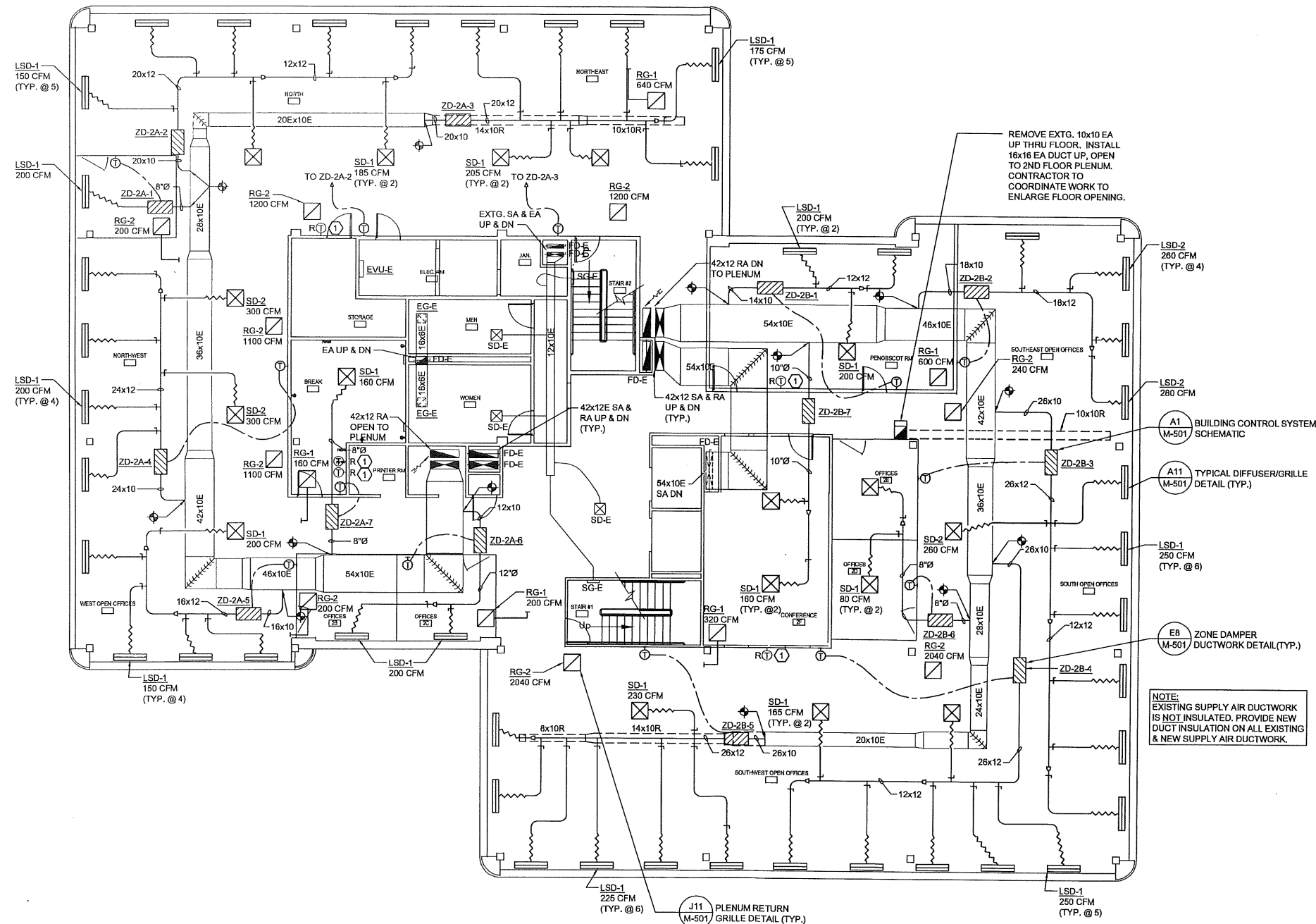


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MARTIN'S POINT HEALTH CARE
NORTHPORT PLAZA HVAC
RENOVATIONS
PORTLAND, ME

MECHANICAL SCHEDULES

SHEET TITLE:	3626.00 - M-601
WBRC CAD FILE:	3626.00
PROJECT No.:	AS NOTED
SCALE:	GRAPHIC SCALE: 0"
DATE:	RLR
DRAWN BY:	CGB
A/E OF RECORD:	RLR
M-601	



GENERAL NOTES:

1. REMOVE ALL EXISTING DIFFUSERS & BRANCH DUCTS, EXCEPT IN LOBBY/PUBLIC AREAS.
2. DIFFUSER BRANCH DUCT SIZES SHALL BE EQUAL TO DIFFUSER CONNECTION SIZE.
3. DIRECT OUTERMOST SLOT OF LINEAR SLOT DIFFUSER AT EXTERIOR WALL; REMAINDER OF SLOTS TO BE SET TO PROJECT AIRFLOW ALONG CEILING & AWAY FROM EXTERIOR WALL WINDOWS.
4. ALL NEW CONTROL WIRING TO BE PLENUM RATED.
5. ALL EXISTING FIRE DAMPERS (TO REMAIN): DISCONNECT FIRE DAMPER FUSE AND OPERATE DAMPER WITH NORMAL SYSTEM AIR FLOW TO INSURE PROPER DAMPER OPERATION. VISUALLY INSPECT, TEST, AND CONFIRM FOR EACH EXISTING FIRE DAMPER. VISUALLY INSPECT AND CONFIRM THAT EACH FIRE DAMPER IS PROPERLY SEALED AND INSTALLED TO MAINTAIN PROPER FIRE SEPARATION AND INTEGRITY. NOTIFY PROJECT ENGINEER IMMEDIATELY OF ANY AND ALL MALFUNCTIONING FIRE DAMPERS OR IMPROPER INSTALLATIONS. RESET ALL FIRE DAMPERS AT CONCLUSION OF TESTING OF EACH DAMPER.
6. ALL EXISTING DUCTS SCHEDULED TO REMAIN "AS-IS". CLEAN ALL EXISTING SUPPLY AIR, RETURN AIR & EXHAUST AIR DUCTWORK. COMPANY/SUPERVISOR MUST BE NATIONALLY CERTIFIED TO PERFORM CLEANING AND FOLLOW CURRENT NADCA STANDARDS. CLEANING SHALL BE COMPLETED PRIOR TO FINAL AIR BALANCING. PROVIDE INSULATED & GASKETED ACCESS DOORS FOR DUCT ACCESS DURING CLEANING. REPAIR AND/OR REPLACE ANY DETERIORATED OR DAMAGED DUCT LINER OR FLEXIBLE DUCT.
7. EXISTING ELECTRIC RESISTANCE HEAT & ASSOCIATED THERMOSTATS SHALL REMAIN AS IS.
8. TAG & LABEL ALL NEW HVAC EQUIPMENT & CONTROL DEVICES.
9. ALL EXTG. DUCT SMOKE DETECTORS TO REMAIN. CLEAN & TEST TO CONFIRM PROPER OPERATION. NOTIFY OWNER/ENGINEER OF ANY NONOPERABLE DEVICES.

TECHNICAL NOTES:

- (1) REMOVE EXISTING THERMOSTAT & PROVIDE BLANK COVER.

REV.	DESCRIPTION	DATE
2	REISSUED	12.03.10
1	REISSUED	10.20.10
0	CONSTRUCTION DOCS	10.20.10

CONSTRUCTION DOCUMENTS
12.03.10

PROJECT NORTH

2.03.10

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NORTHPORT PLAZA HVAC
RENOVATIONS
PORTLAND, ME

PROJECT:
SECOND FLOOR MECHANICAL PLAN

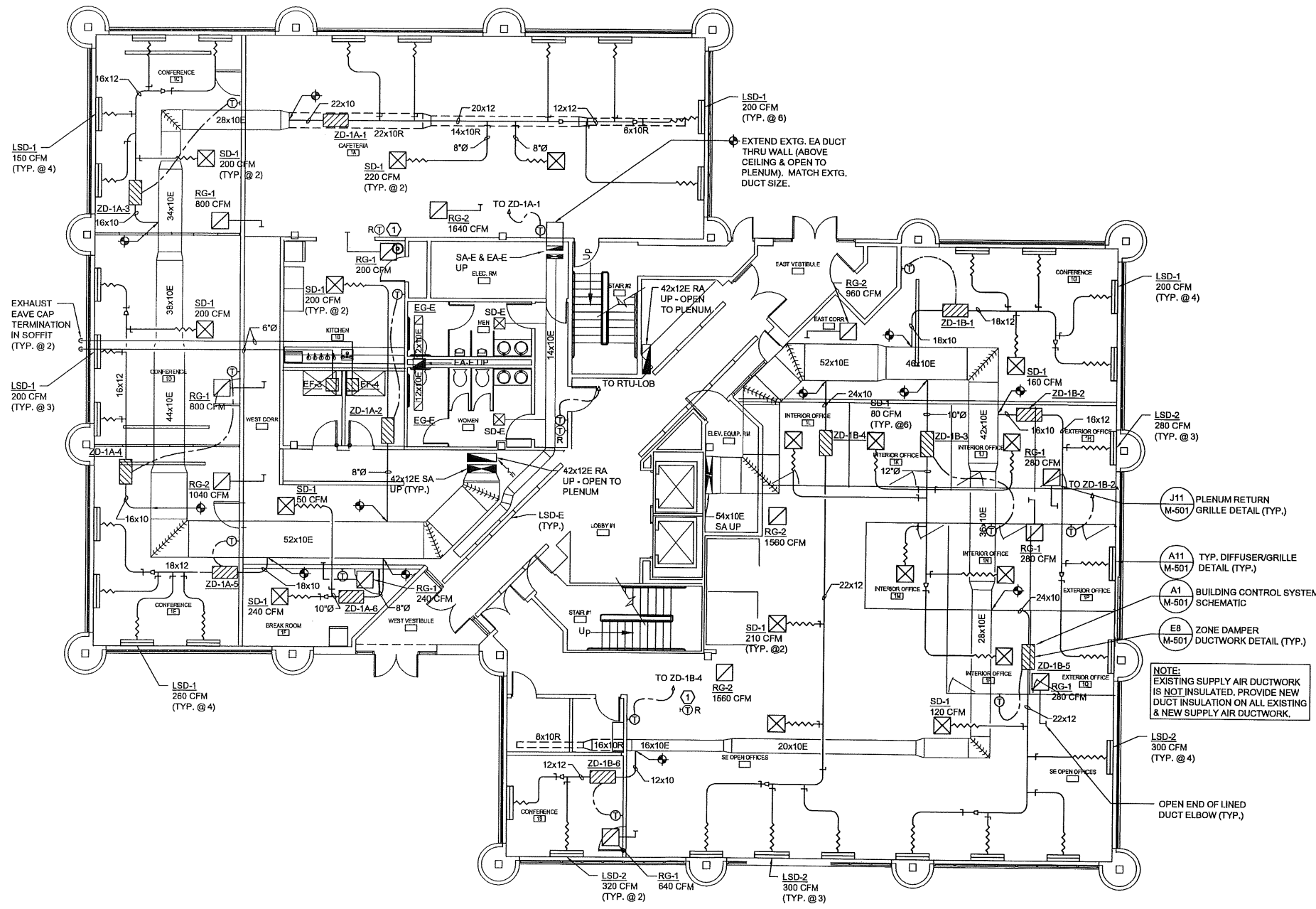
SHEET TITLE:

WBRC CAD FILE:	3626.00 - M-102
PROJECT No.	3626.00
SCALE:	AS NOTED
DATE:	RLR
DRAWN BY:	CGB
A/E OF RECORD:	RLR

SHEET No. **M-102**

A1 SECOND FLOOR MECHANICAL PLAN

1/8" = 1'-0"



GENERAL NOTES:

- REMOVE ALL EXISTING DIFFUSERS & BRANCH DUCTS, EXCEPT IN LOBBY/PUBLIC AREAS.
- DIFFUSER BRANCH DUCTS SHALL BE EQUAL TO DIFFUSER CONNECTION SIZE.
- DIRECT OUTERMOST SLOT OF LINEAR SLOT DIFFUSER AT WALL; REMAINDER OF SLOTS TO BE SET TO PROJECT AIRFLOW ALONG CEILING & AWAY FROM WINDOWS.
- ALL NEW CONTROL WIRING TO BE PLENUM RATED.
- ALL EXISTING FIRE DAMPERS (TO REMAIN); DISCONNECT FIRE DAMPER FUSE AND OPERATE DAMPER WITH NORMAL SYSTEM AIR FLOW TO INSURE PROPER DAMPER OPERATION. VISUALLY INSPECT, TEST, AND CONFIRM FOR EACH EXISTING FIRE DAMPER. VISUALLY INSPECT AND CONFIRM THAT EACH FIRE DAMPER IS PROPERLY SEALED AND INSTALLED TO MAINTAIN PROPER FIRE SEPARATION AND INTEGRITY. NOTIFY PROJECT ENGINEER IMMEDIATELY OF ANY AND ALL MALFUNCTIONING FIRE DAMPERS OR IMPROPER INSTALLATIONS. RESET ALL FIRE DAMPERS AT CONCLUSION OF TESTING OF EACH DAMPER.
- ALL EXISTING DUCTS SCHEDULED TO REMAIN "AS-IS". CLEAN ALL EXISTING SUPPLY AIR, RETURN AIR & EXHAUST AIR DUCTWORK. COMPANY/SUPERVISOR MUST BE NATIONALLY CERTIFIED TO PERFORM CLEANING AND FOLLOW CURRENT NADCA STANDARDS. CLEANING SHALL BE COMPLETED PRIOR TO FINAL AIR BALANCING. PROVIDE INSULATED & GASKETED ACCESS DOORS FOR DUCT ACCESS DURING CLEANING. REPAIR AND/OR REPLACE ANY DETERIORATED OR DAMAGED DUCT LINER OR FLEXIBLE DUCT.
- EXISTING ELECTRIC RESISTANCE HEAT & ASSOCIATED THERMOSTATS SHALL REMAIN AS IS.
- TAG & LABEL ALL NEW HVAC EQUIPMENT & CONTROL DEVICES.
- ALL EXTG. DUCT SMOKE DETECTORS TO REMAIN. CLEAN & TEST TO CONFIRM PROPER OPERATION. NOTIFY OWNER/ENGINEER OF ANY NONOPERABLE DEVICES.

TECHNICAL NOTES:

- ① REMOVE EXISTING THERMOSTAT & PROVIDE BLANK COVER.

REV.	DESCRIPTION	DATE
2	REISSUED	12.03.10
1	REISSUED	10.20.10
0	CONSTRUCTION DOCS	10.20.10

CONSTRUCTION DOCUMENTS
12.03.10

PROJECT NORTH

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PORTLAND, ME

FIRST FLOOR MECHANICAL PLANS

SHEET TITLE: FIRST FLOOR MECHANICAL PLANS

WBRC CAD FILE: 3626.00 - M-101

PROJECT No. 3626.00 GRAPHIC SCALE: 0" = 1'-0"

SCALE: AS NOTED

DATE: RLR

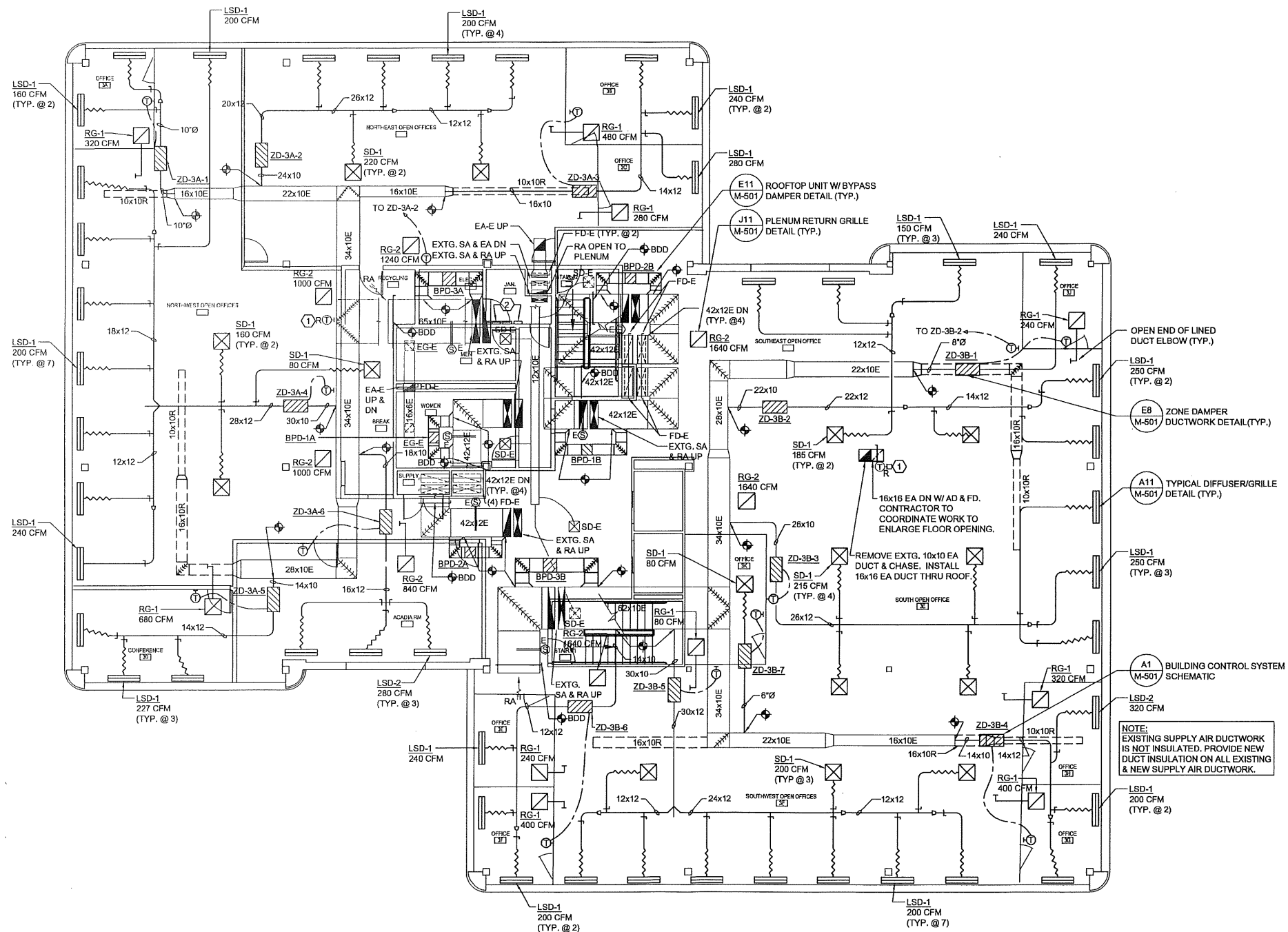
DRAWN BY: CGB

A/E OF RECORD: RLR

SHEET No. **M-101**

A1 FIRST FLOOR MECHANICAL PLANS

1/8" = 1'-0"



GENERAL NOTES:

- REMOVE ALL EXISTING DIFFUSERS & BRANCH DUCTS, EXCEPT IN LOBBY/PUBLIC AREAS.
- DIFFUSER BRANCH DUCT SIZES SHALL BE EQUAL TO DIFFUSER CONNECTION SIZE.
- DIRECT OUTERMOST SLOT OF LINEAR SLOT DIFFUSER AT EXTERIOR WALL; REMAINDER OF SLOTS TO BE SET TO PROJECT AIRFLOW ALONG CEILING & AWAY FROM EXTERIOR WALL WINDOWS.
- ALL NEW CONTROL WIRING TO BE PLENUM RATED.
- ALL EXISTING FIRE DAMPERS (TO REMAIN): DISCONNECT FIRE DAMPER FUSE AND OPERATE DAMPER WITH NORMAL SYSTEM AIR FLOW TO INSURE PROPER DAMPER OPERATION. VISUALLY INSPECT, TEST, AND CONFIRM FOR EACH EXISTING FIRE DAMPER. VISUALLY INSPECT AND CONFIRM THAT EACH FIRE DAMPER IS PROPERLY SEALED AND INSTALLED TO MAINTAIN PROPER FIRE SEPARATION AND INTEGRITY. NOTIFY PROJECT ENGINEER IMMEDIATELY OF ANY AND ALL MALFUNCTIONING FIRE DAMPERS OR IMPROPER INSTALLATIONS. RESET ALL FIRE DAMPERS AT CONCLUSION OF TESTING OF EACH DAMPER.
- ALL EXISTING DUCTS SCHEDULED TO REMAIN "AS-IS". CLEAN ALL EXISTING SUPPLY AIR, RETURN AIR & EXHAUST AIR DUCTWORK. COMPANY/SUPERVISOR MUST BE NATIONALLY CERTIFIED TO PERFORM CLEANING AND FOLLOW CURRENT NADCA STANDARDS. CLEANING SHALL BE COMPLETED PRIOR TO FINAL AIR BALANCING. PROVIDE INSULATED & GASKETED ACCESS DOORS FOR DUCT ACCESS DURING CLEANING. REPAIR AND/OR REPLACE ANY DETERIORATED OR DAMAGED DUCT LINER OR FLEXIBLE DUCT.
- EXISTING ELECTRIC RESISTANCE HEAT & ASSOCIATED THERMOSTATS SHALL REMAIN AS IS.
- TAG & LABEL ALL NEW HVAC EQUIPMENT & CONTROL DEVICES.
- ALL EXTG. DUCT SMOKE DETECTORS TO REMAIN. CLEAN & TEST TO CONFIRM PROPER OPERATION. NOTIFY OWNER/ENGINEER OF ANY NONOPERABLE DEVICES.

TECHNICAL NOTES:

- REMOVE EXISTING THERMOSTAT & PROVIDE BLANK COVER.
- (7) STANDARD TRANE "VARITRAC" CENTRAL CONTROL PANELS LOCATED IN JANITOR CLOSET, ONE PER RTU. ALL CONTROL PANELS CONNECTED TO (1) TRANE "TRACKER" BUILDING MANAGEMENT SYSTEM W/ LCD TOUCH SCREEN AND REMOTE COMMUNICATION CAPABILITIES W/ MODEM CONNECTION FOR OFF-SITE ACCESS TO ALL RTUS FOR PROGRAMMING, MONITORING & TROUBLESHOOTING.

REV.	DESCRIPTION	DATE
2	REISSUED	12.03.10
1	REISSUED	10.20.10
0	CONSTRUCTION DOCS	10.20.10

CONSTRUCTION DOCUMENTS
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THIRD FLOOR MECHANICAL
PLAN

WBRC CAD FILE: 3626.00 - M-103

PROJECT No. 3626.00 GRAPHIC SCALE: 0" = 1'

SCALE: AS NOTED

DATE: RLR SHEET No. M-103

DRAWN BY: CGB

A/E OF RECORD: RLR

A1 THIRD FLOOR MECHANICAL PLAN

1/8" = 1'-0"