



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that BEAN INC LL

Located At 75 NORTHPORT

Job ID: 2010-12-137-ALTCOMM

CBL: 401 - - A - 005 - 075 - - - -

has permission to

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer


Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR

PERMIT ISSUED

JAN 18 2011

City of Portland

Business Name:	Contractor Name: Duncan, Nick/Pizzagalli	Contractor Address: 31 Presumpscot Street	Phone: 874-2323 x118
Lessee/Buyer's Name:	Phone:	Permit Type:	Zone: B-2
Past Use: Business Offices and Call Center	Proposed Use: Same - Business Offices & Call Center	Permit Fee:	Cost of Work:
CEO District:			
Proposed Project Description: Interior Alterations			
Permit Taken By:	Date Applied For: 12/22/10		

PERMIT ISSUED

JAN 18 2011

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 75 Northport Drive			
Total Square Footage of Proposed Structure/Area 68,000 sf renovation		Square Footage of Lot N/A	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Pizzagalli Construction Co. Address 131 Presumpscot Street City, State & Zip Portland, ME 04103		Telephone: 207-874-2323
401 A 005-75			6'750
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name LL Bean, Inc. Address 15 Casco Street City, State & Zip Freeport, ME 04033	Cost Of (\$672,495) Work: \$ 6,744.85 C of O Fee: \$ 75.00 Total Fee: \$ 6,819.95	
Current legal use (i.e. single family) <u>Business (call center and support spaces)</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Business (call center and support spaces)</u> Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Northport Business</u> Project description: <u>Park Condominium</u> <u>Renovation of portion of existing call center and support spaces.</u>			\$16,825
Contractor's name: <u>Pizzagalli Construction Company</u> Address: <u>131 Presumpscot Street</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>207-874-2323</u> Who should we contact when the permit is ready: <u>Nick Duncan</u> Telephone: <u>207-874-2323 x118</u> Mailing address: <u>Pizzagalli Construction Co., 131 Presumpscot St., Portland, ME 04103</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information, or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record has authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 12/22/10

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED
DEC 22 2010
Dept. of Building Inspections
City of Portland, Maine



Certificate of Design Application

From Designer: Michael Charek Architects
 Date: December 22, 2010
 Job Name: LL Bean Northport Contact Center
 Address of Construction: 75 Northport Drive, Portland, ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) B Business, A2 & A3 Assembly

Type of Construction II-B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) non-separated

Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

See Plans Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	<u>N/A</u>
↓	↓
↓	↓
↓	↓
↓	↓

Wind loads (1603.1.4, 1609)

<u>N/A</u>	Design option utilized (1609.1.1, 1609.6)
↓	Basic wind speed (1809.3)
↓	Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
↓	Wind exposure category (1609.4)
↓	Internal pressure coefficient (ASCE 7)
↓	Component and cladding pressures (1609.1.1, 1609.6.2.2)
↓	Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

<u>N/A</u>	Design option utilized (1614.1)
↓	Seismic use group ("Category")
↓	Spectral response coefficients, S_D & S_{D1} (1615.1)
↓	Site class (1615.1.5)

<u>N/A</u>	Live load reduction
↓	Roof <i>live</i> loads (1603.1.2, 1607.11)
↓	Roof snow loads (1603.7.3, 1608)
↓	Ground snow load, P_g (1608.2)
↓	If $P_g > 10$ psf, flat-roof snow load P_f
↓	If $P_g > 10$ psf, snow exposure factor, C_e
↓	If $P_g > 10$ psf, snow load importance factor, I_s
↓	Roof thermal factor, C_t (1608.4)
↓	Sloped roof snowload, P_s (1608.4)
↓	Seismic design category (1616.3)
↓	Basic seismic force resisting system (1617.6.2)
↓	Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
↓	Analysis procedure (1616.6, 1617.5)
↓	Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

<u>N/A</u>	Flood Hazard area (1612.3)
↓	Elevation of structure

Other loads

<u>N/A</u>	Concentrated loads (1607.4)
↓	Partition loads (1607.5)
↓	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: December 22, 2010

From: Michael Charek Architects

To the best of my knowledge and belief,
These plans and / or specifications covering construction work on:

LL Bean Northport Contact Center: Renovation of existing call center

and support spaces.

Have been designed and drawn up by the undersigned, a Maine registered Architect /
Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

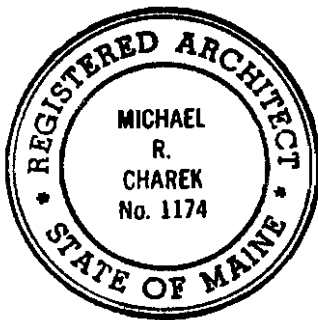
Title: Principal

Firm: Michael Charek Architects

Address: 25 Hartley Street

Portland, ME 04103

Phone: 207-761-0556



**For more information or to download this form and other permit applications visit the Inspections Division
on our website at www.portlandmaine.gov**

75 Northpat Dr. unit #6 - Zanj Comments

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain business offices and call center. Any change of use shall require a separate permit application for review and approval.

**City of Portland, Maine - Building or
Use Permit Application**
89 Congress Street, 04101
Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2010-12-137- ALTCOMM	Applicatin Date: 12/22/2010	CBL: 401--A-005-075
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Location of Construction: 75 NORTHPORT DRIVE - Unit #6	Owner Name: LL BEAN, INC.	Owner Address: 15 CASCO STREET FREEPORT, ME 04033	Phone:
Business Name:	Contractor Name: Duncan, Nick/Pizzagalli	Contractor Address: 31 Presumpscot Street	Phone: 874-2323 x118
Lessee/Buyer's Name:	Phone:	Permit Type:	Zone: B-2
Past Use: Business Offices and Call Center	Proposed Use: Same - Business Offices & Call Center	Permit Fee:	Cost of Work:
		CEO District:	

Proposed Project Description:

Interior Alterations

PERMIT ISSUED

JAN 18 2011

City of Portland

Permit Taken By:	Date Applied For: 12/22/10
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EQUIPMENT SCHEDULE

NO	AREA SERVED	EMPANORER TYP		ELECTRIC		TYPE		DIMS		WEIGHT		MATERIAL		FINISH		REMARKS
		CH	ESP	CH	ESP	TYPE	DIM	HT	WT	HT	WT	HT	WT	HT	WT	
HR-1	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-2	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-3	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-4	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-5	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-6	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-7	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-8	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-9	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-10	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-11	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE
HR-12	1st FLOOR OFFICE	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	1200	TRASH VESTIBULE

NET WEIGHT DOES NOT INCLUDE GAPS

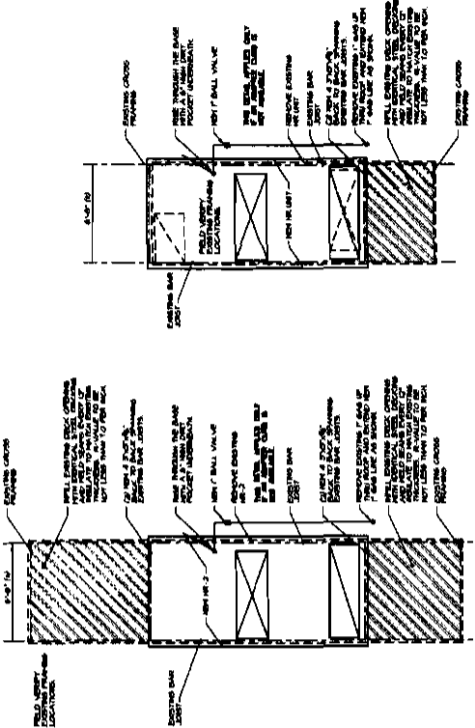
FAN SCHEDULE

TAG	AREA SERVED	TYPE	CH	ESP	SIZES	RPM	HP	ELECTRIC	WEIGHT	REMARKS
EF-2	TOILETS	ROOF CURT.	1200	6 T	6 T	215	4	120V-60-1P	17	PROVIDE UNDER ALTERNATE #1

NET WEIGHT DOES NOT INCLUDE GAPS

SYMBOLS AND ABBREVIATIONS

AC	AIR CONDITIONING	NS	NATURAL GAS
AD	ACCESS DOOR	NTS	NOT TO SCALE
AF	ACCESS FLOOR	OA	OUTDOOR AIR
AP	ACCESS PANEL	OD	OUTSIDE DRAINAGE
APD	AIR PRESSURE DROP	PC	PLUMBING CONTRACTOR
ATC	AUTOMATIC TEMP. CONTROL	R	RETURN AIR
BL	BAR JEST	RA	RETURN AIR GRILLE
CA	CLING FEET PER HOUR	RB	RETURN REGISTER
CAH	CLING FEET PER HOUR	RS	RETURN REGISTER
CAH	CLING FEET PER HOUR	S	SUPPLY AIR
CAH	CLING FEET PER HOUR	SA	STATIC PRESSURE
CAH	CLING FEET PER HOUR	SK	SUPPLY REGISTER
CAH	CLING FEET PER HOUR	TC	TEMPERATURE CONTROL
CAH	CLING FEET PER HOUR	TS	TEMPERATURE CONTROL
CAH	CLING FEET PER HOUR	TSP	TOTAL STATIC PRESSURE
CAH	CLING FEET PER HOUR		GAS PIPING
CAH	CLING FEET PER HOUR		BALL VALVE
CAH	CLING FEET PER HOUR		CONNECT TO EXISTING
CAH	CLING FEET PER HOUR		HANDUAL DAMPER
CAH	CLING FEET PER HOUR		FLEXIBLE DUCT
CAH	CLING FEET PER HOUR		LAY-IN DIFFUSER
CAH	CLING FEET PER HOUR		SURFACE MOUNT DIFFUSER
CAH	CLING FEET PER HOUR		SUPPLY AIR DUCT
CAH	CLING FEET PER HOUR		RETURN / RELIEF AIR DUCT
CAH	CLING FEET PER HOUR		HANDUAL DAMPER

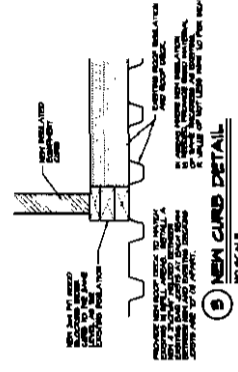


1 HR-1 SUPPORT & GAS PIPING NO SCALE

2 HR-2 SUPPORT & GAS PIPING NO SCALE

3 HR-3 & 4 SUPPORT & GAS PIPING NO SCALE

4 HR-12 SUPPORT NO SCALE



5 NEW CURB DETAIL NO SCALE

Michael R. Charak
Architects
25 Hatley Street
Portland, Maine 04103
(207) 781-0556

MECHANICAL SYSTEMS ENGINEERS
1000 BROADWAY
SUITE 1000
PORTLAND, MAINE 04103
(207) 781-0556



L.L. Bean
Northport Contact
Center
75 Northport Drive
Portland, Maine 04103

Title
MECHANICAL
PLAN
NEW WORK
Scale: NOTED
Date: 10/20/10
Revisions

Sheet
M2



Sheet
E3

Revisions

Date: 10/20/10

Scale: NONE

The
PANEL
SCHEDULES

Ll Bean
Northport Center
Northport, ME
79 Northport Drive



Michael
Charek
Architects
25 Harley Street
Portland, Maine 04103
(207) 761-0556

NOTE: SEE PLAN FOR PANELS TO BE USED IN THIS AREA.

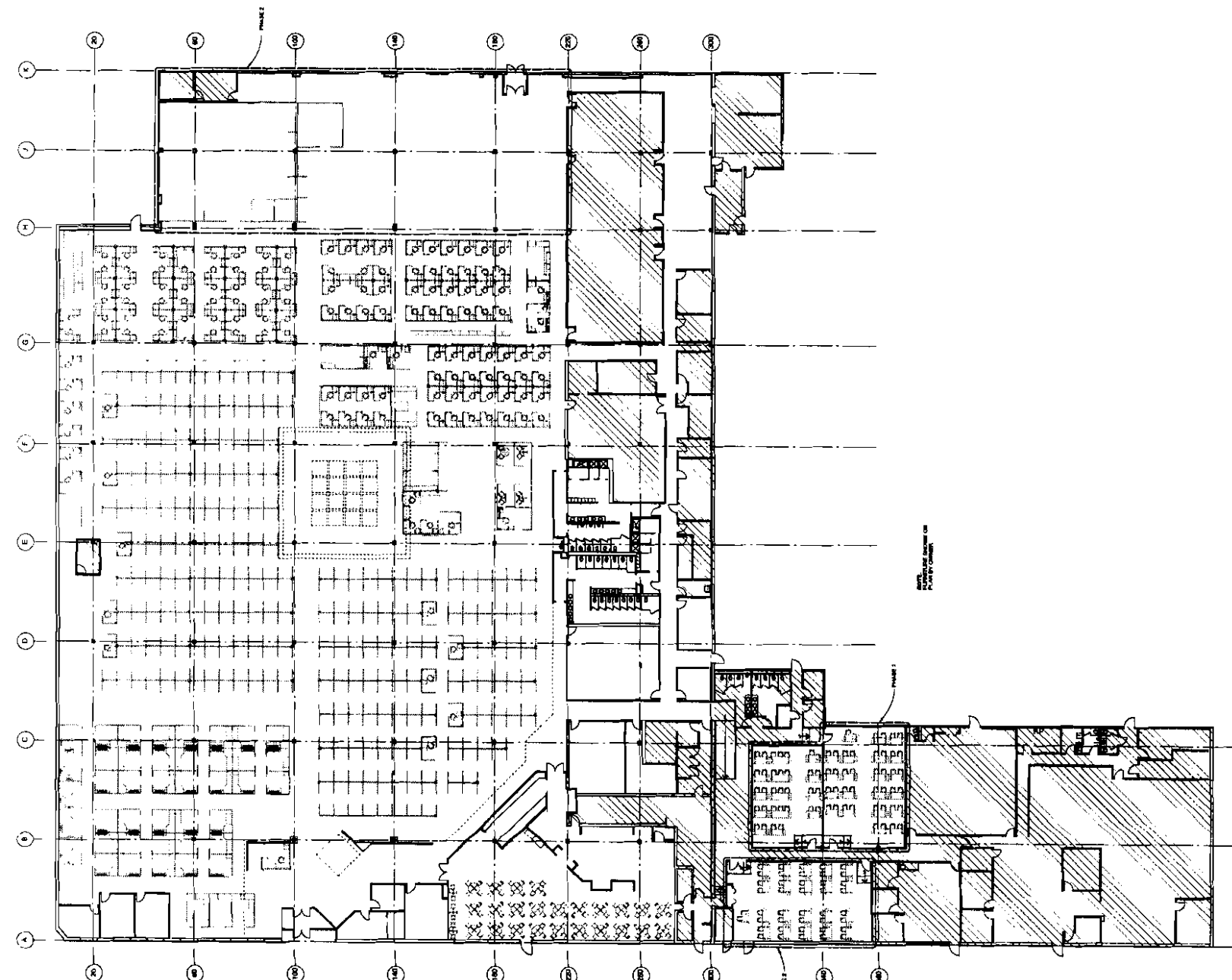
SCHEDULE	NO. OF PANELS			TOTAL AREA (SQ. FT.)	TOTAL PERCENTAGE OF TOTAL AREA
	1	2	3		
1.01	1	0	0	1.00	0.00
1.02	1	0	0	1.00	0.00
1.03	1	0	0	1.00	0.00
1.04	1	0	0	1.00	0.00
1.05	1	0	0	1.00	0.00
1.06	1	0	0	1.00	0.00
1.07	1	0	0	1.00	0.00
1.08	1	0	0	1.00	0.00
1.09	1	0	0	1.00	0.00
1.10	1	0	0	1.00	0.00
1.11	1	0	0	1.00	0.00
1.12	1	0	0	1.00	0.00
1.13	1	0	0	1.00	0.00
1.14	1	0	0	1.00	0.00
1.15	1	0	0	1.00	0.00
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1.22	1	0	0	1.00	0.00
1.23	1	0	0	1.00	0.00
1.24	1	0	0	1.00	0.00
1.25	1	0	0	1.00	0.00
1.26	1	0	0	1.00	0.00
1.27	1	0	0	1.00	0.00
1.28	1	0	0	1.00	0.00
1.29	1	0	0	1.00	0.00
1.30	1	0	0	1.00	0.00
1.31	1	0	0	1.00	0.00
1.32	1	0	0	1.00	0.00
1.33	1	0	0	1.00	0.00
1.34	1	0	0	1.00	0.00
1.35	1	0	0	1.00	0.00
1.36	1	0	0	1.00	0.00
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1.38	1	0	0	1.00	0.00
1.39	1	0	0	1.00	0.00
1.40	1	0	0	1.00	0.00
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1.42	1	0	0	1.00	0.00
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1.44	1	0	0	1.00	0.00
1.45	1	0	0	1.00	0.00
1.46	1	0	0	1.00	0.00
1.47	1	0	0	1.00	0.00
1.48	1	0	0	1.00	0.00
1.49	1	0	0	1.00	0.00
1.50	1	0	0	1.00	0.00
1.51	1	0	0	1.00	0.00
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1.59	1	0	0	1.00	0.00
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1.62	1	0	0	1.00	0.00
1.63	1	0	0	1.00	0.00
1.64	1	0	0	1.00	0.00
1.65	1	0	0	1.00	0.00
1.66	1	0	0	1.00	0.00
1.67	1	0	0	1.00	0.00
1.68	1	0	0	1.00	0.00
1.69	1	0	0	1.00	0.00
1.70	1	0	0	1.00	0.00
1.71	1	0	0	1.00	0.00
1.72	1	0	0	1.00	0.00
1.73	1	0	0	1.00	0.00
1.74	1	0	0	1.00	0.00
1.75	1	0	0	1.00	0.00
1.76	1	0	0	1.00	0.00
1.77	1	0	0	1.00	0.00
1.78	1	0	0	1.00	0.00
1.79	1	0	0	1.00	0.00
1.80	1	0	0	1.00	0.00
1.81	1	0	0	1.00	0.00
1.82	1	0	0	1.00	0.00
1.83	1	0	0	1.00	0.00
1.84	1	0	0	1.00	0.00
1.85	1	0	0	1.00	0.00
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1.87	1	0	0	1.00	0.00
1.88	1	0	0	1.00	0.00
1.89	1	0	0	1.00	0.00
1.90	1	0	0	1.00	0.00
1.91	1	0	0	1.00	0.00
1.92	1	0	0	1.00	0.00
1.93	1	0	0	1.00	0.00
1.94	1	0	0	1.00	0.00
1.95	1	0	0	1.00	0.00
1.96	1	0	0	1.00	0.00
1.97	1	0	0	1.00	0.00
1.98	1	0	0	1.00	0.00
1.99	1	0	0	1.00	0.00
2.00	1	0	0	1.00	0.00

NOTE: SEE PLAN FOR PANELS TO BE USED IN THIS AREA.

SCHEDULE	NO. OF PANELS			TOTAL AREA (SQ. FT.)	TOTAL PERCENTAGE OF TOTAL AREA
	1	2	3		
1.01	1	0	0	1.00	0.00
1.02	1	0	0	1.00	0.00
1.03	1	0	0	1.00	0.00
1.04	1	0	0	1.00	0.00
1.05	1	0	0	1.00	0.00
1.06	1	0	0	1.00	0.00
1.07	1	0	0	1.00	0.00
1.08	1	0	0	1.00	0.00
1.09	1	0	0	1.00	0.00
1.10	1	0	0	1.00	0.00
1.11	1	0	0	1.00	0.00
1.12	1	0	0	1.00	0.00
1.13	1	0	0	1.00	0.00
1.14	1	0	0	1.00	0.00
1.15	1	0	0	1.00	0.00
1.16	1	0	0	1.00	0.00
1.17	1	0	0	1.00	0.00
1.18	1	0	0	1.00	0.00
1.19	1	0	0	1.00	0.00
1.20	1	0	0	1.00	0.00
1.21	1	0	0	1.00	0.00
1.22	1	0	0	1.00	0.00
1.23	1	0	0	1.00	0.00
1.24	1	0	0	1.00	0.00
1.25	1	0	0	1.00	0.00
1.26	1	0	0	1.00	0.00
1.27	1	0	0	1.00	0.00
1.28	1	0	0	1.00	0.00
1.29	1	0	0	1.00	0.00
1.30	1	0	0	1.00	0.00
1.31	1	0	0	1.00	0.00
1.32	1	0	0	1.00	0.00
1.33	1	0	0	1.00	0.00
1.34	1	0	0	1.00	0.00
1.35	1	0	0	1.00	0.00
1.36	1	0	0	1.00	0.00
1.37	1	0	0	1.00	0.00
1.38	1	0	0	1.00	0.00
1.39	1	0	0	1.00	0.00
1.40	1	0	0	1.00	0.00
1.41	1	0	0	1.00	0.00
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1.43	1	0	0	1.00	0.00
1.44	1	0	0	1.00	0.00
1.45	1	0	0	1.00	0.00
1.46	1	0	0	1.00	0.00
1.47	1	0	0	1.00	0.00
1.48	1	0	0	1.00	0.00
1.49	1	0	0	1.00	0.00
1.50	1	0	0	1.00	0.00
1.51	1	0	0	1.00	0.00
1.52	1	0	0	1.00	0.00
1.53	1	0	0	1.00	0.00
1.54	1	0	0	1.00	0.00
1.55	1	0	0	1.00	0.00
1.56	1	0	0	1.00	0.00
1.57	1	0	0	1.00	0.00
1.58	1	0	0	1.00	0.00
1.59	1	0	0	1.00	0.00
1.60	1	0	0	1.00	0.00
1.61	1	0	0	1.00	0.00
1.62	1	0	0	1.00	0.00
1.63	1	0	0	1.00	0.00
1.64	1	0	0	1.00	0.00
1.65	1	0	0	1.00	0.00
1.66	1	0	0	1.00	0.00
1.67	1	0	0	1.00	0.00
1.68	1	0	0	1.00	0.00
1.69	1	0	0	1.00	0.00
1.70	1	0	0	1.00	0.00
1.71	1	0	0	1.00	0.00
1.72	1	0	0	1.00	0.00
1.73	1	0	0	1.00	0.00
1.74	1	0	0	1.00	0.00
1.75	1	0	0	1.00	0.00
1.76	1	0	0	1.00	0.00
1.77	1	0	0	1.00	0.00
1.78	1	0	0	1.00	0.00
1.79	1	0	0	1.00	0.00
1.80	1	0	0	1.00	0.00
1.81	1	0	0	1.00	0.00
1.82	1	0	0	1.00	0.00
1.83	1	0	0	1.00	0.00
1.84	1	0	0	1.00	0.00
1.85	1	0	0	1.00	0.00
1.86	1	0	0	1.00	0.00
1.87	1	0	0	1.00	0.00
1.88	1	0	0	1.00	0.00
1.89	1	0	0	1.00	0.00
1.90	1	0	0	1.00	0.00
1.91	1	0	0	1.00	0.00
1.92	1	0	0	1.00	0.00
1.93	1	0	0	1.00	0.00
1.94	1	0	0	1.00	0.00
1.95	1	0	0	1.00	0.00
1.96	1	0	0	1.00	0.00
1.97	1	0	0	1.00	0.00
1.98	1	0	0	1.00	0.00
1.99	1	0	0	1.00	0.00
2.00	1	0	0	1.00	0.00

L.L. Bean Northport Call Center Renovations

75 Northport Drive
Portland, ME

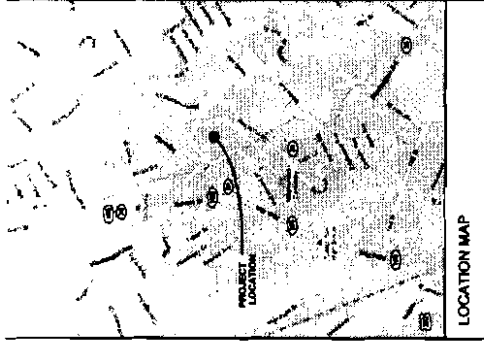


1 KEY PLAN
SCALE: 1/8" = 1'-0"

- DRAWING LIST**
- ARCHITECTURAL**
 - G1 Title Sheet
 - D1 Demolition Plan
 - D2 Ceiling Demolition Plan
 - A1 Floor Plan
 - A2 Training Rooms Demo & Floor Plans, Schedules
 - A3 Reflected Ceiling Plan
 - A4 Enlarged Plans and Interior Elevations
 - A5 Details
 - MECHANICAL**
 - M1 Mechanical Plan New Work
 - M2 Mechanical Plan New Work
 - PLUMBING**
 - P1 Plumbing Demolition and New Work Plan
 - P2 Plumbing Notes and Schedules
 - FIRE PROTECTION**
 - SP1 Sprinkler Adjustment Plan
 - ELECTRICAL**
 - E0 Legend, General Notes & Training Area Lighting Plan
 - E1 Power Plan
 - E2 Lighting Plan
 - E3 Panel Schedules

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS APPLICABLE TO THE PROJECT.
2. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE EXISTING CONDITIONS.
3. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE EXISTING CONDITIONS.
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19. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE EXISTING CONDITIONS.
20. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE EXISTING CONDITIONS.



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Portland, ME

**Michael Charok
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(207) 761-0848



Northport Call Center Renovations

Scale: 1/8" = 1'-0"
Date: 10/20/10

Sheet
G1





MECHANICAL FLOOR PLAN
SCALE 1/4" = 1'-0"

Sheet
M1

Reference

Units: 1000/10
Scale: 1/4" = 1'-0"

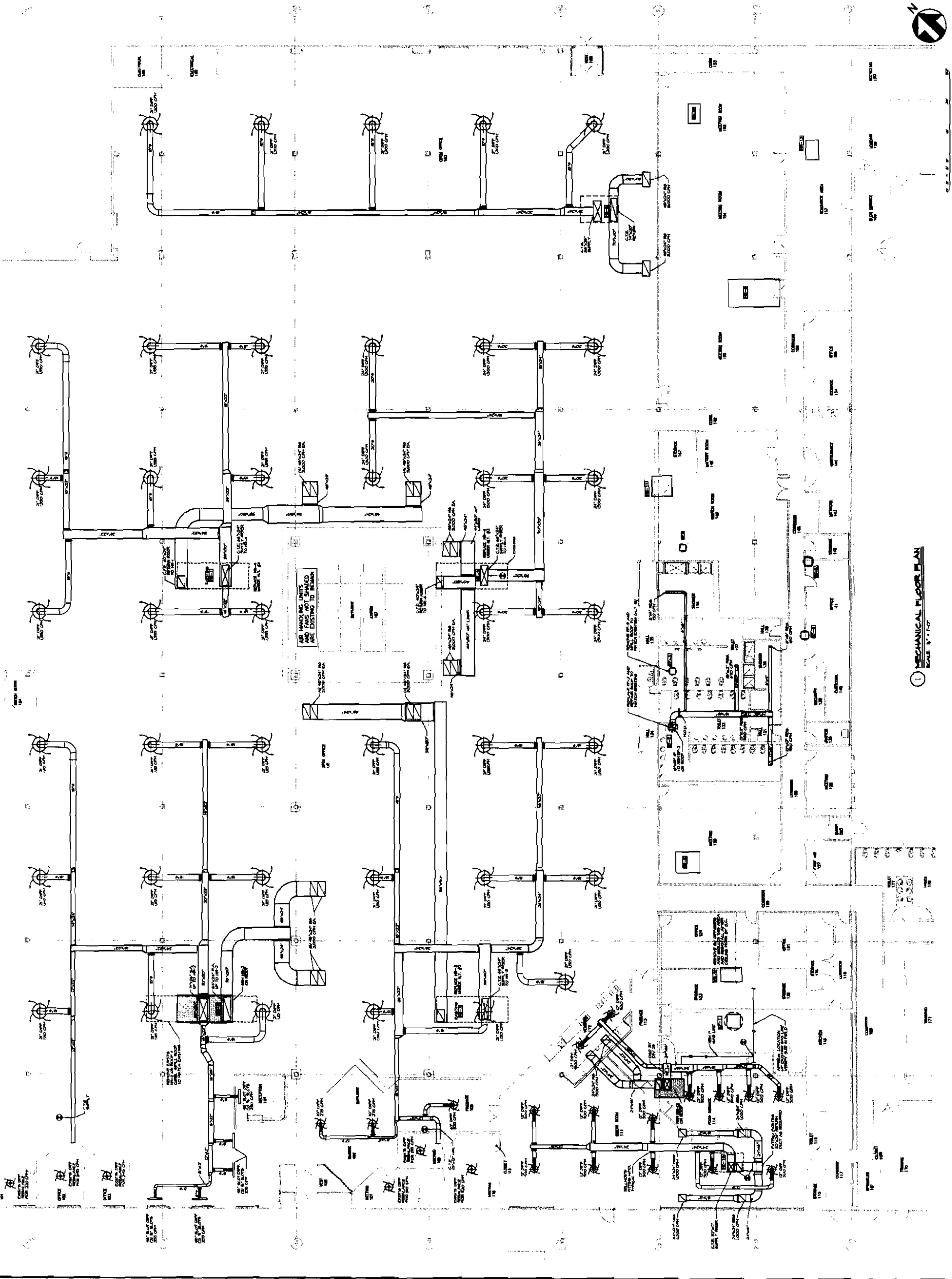
Title
**MECHANICAL FLOOR PLAN
NEW WORK**

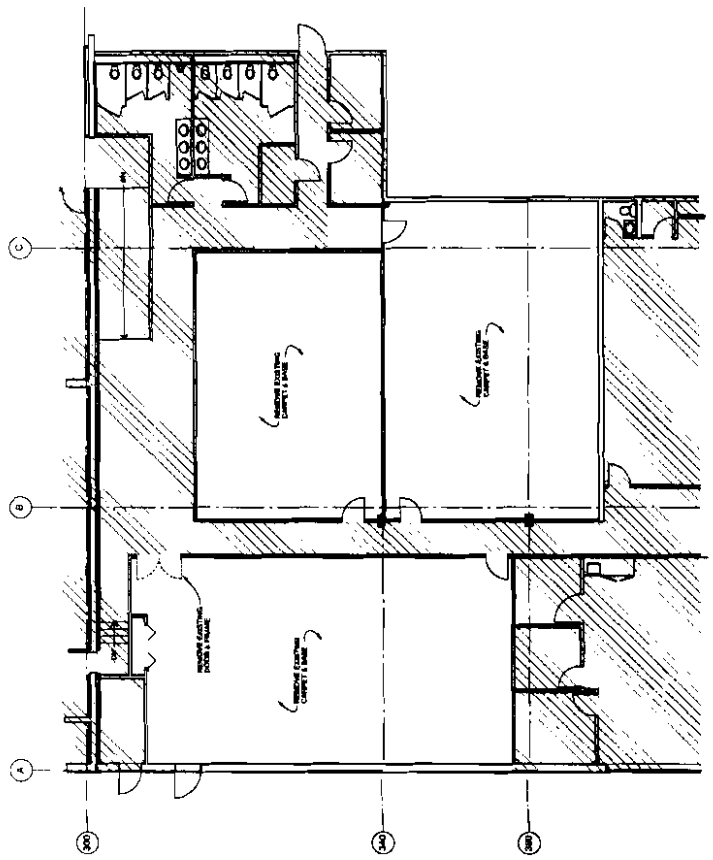
**L.L. Bean
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75 Northport Drive
Portland, Maine 04103



MECHANICAL SYSTEMS ENGINEERS
1000 BROADWAY
PORTLAND, MAINE 04103
TEL: (207) 761-0558
FAX: (207) 761-0559
WWW.LLBEAN.COM

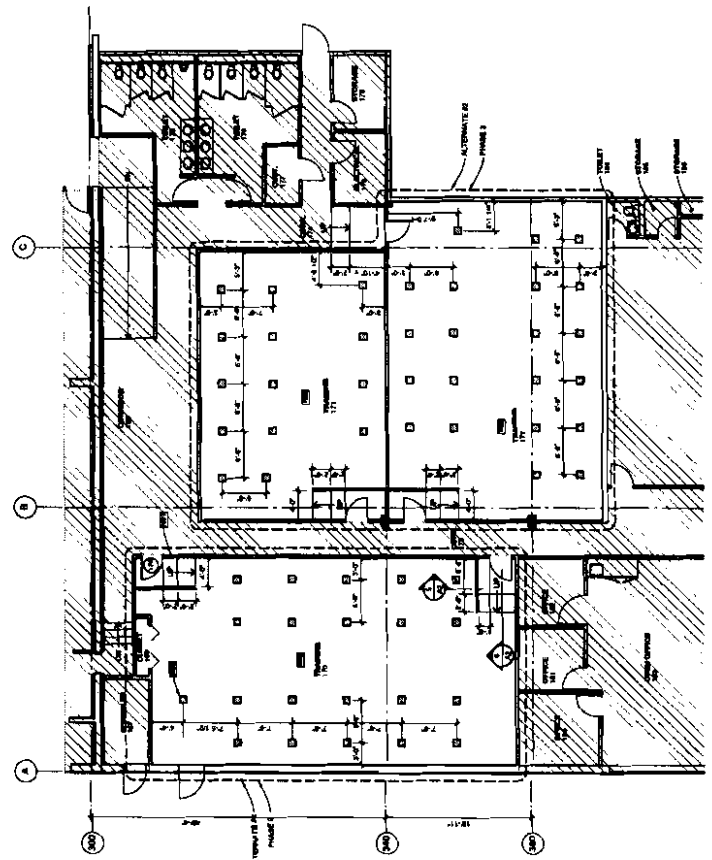
**Michael R. Charek
Architects**
25 Trinity Street
Portland, Maine 04103
(207) 761-0558





1 DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"
 1/8" = 1'-0"

- 1. DEMOLITION - SEE SCHEDULE
- 2. WALL, PARTITION OR CEILING TO REMAIN
- 3. FLOOR TO REMAIN
- 4. FLOOR ELECTRICAL SYMBOLS - SEE SCHEDULE

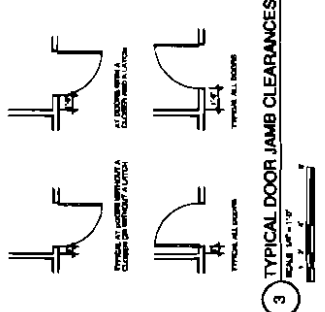


2 FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 1/8" = 1'-0"

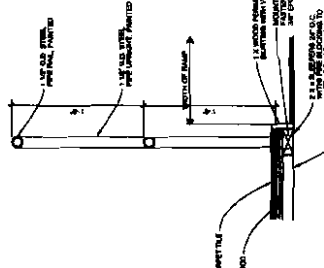
- 1. DEMOLITION - SEE SCHEDULE
- 2. WALL, PARTITION OR CEILING TO REMAIN
- 3. FLOOR TO REMAIN
- 4. FLOOR ELECTRICAL SYMBOLS - SEE SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	SCALE	DATE
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2	2" X 4" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
3	2" X 6" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
4	2" X 8" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
5	2" X 10" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
6	2" X 12" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
7	2" X 14" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
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18	2" X 36" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
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36	2" X 72" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14
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50	2" X 100" X 8" JOIST	120	LF	1/8" = 1'-0"	10/20/14

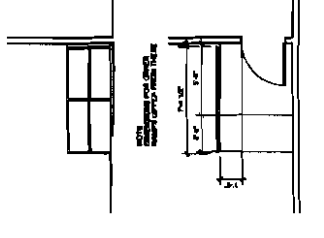
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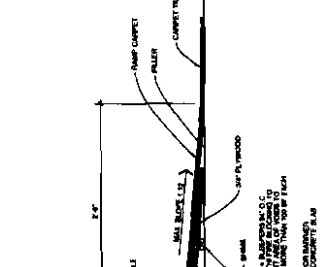
3 TYPICAL DOOR JAMB CLEARANCES
 SCALE: 1/8" = 1'-0"
 1/8" = 1'-0"



5 RAMP HANDRAIL DETAIL
 SCALE: 1/8" = 1'-0"
 1/8" = 1'-0"



4 RAMP PLAN & ELEVATION
 SCALE: 1/8" = 1'-0"
 1/8" = 1'-0"



6 SECTION AT RAMP
 SCALE: 1/8" = 1'-0"
 1/8" = 1'-0"

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Northport Contact
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Northport, ME

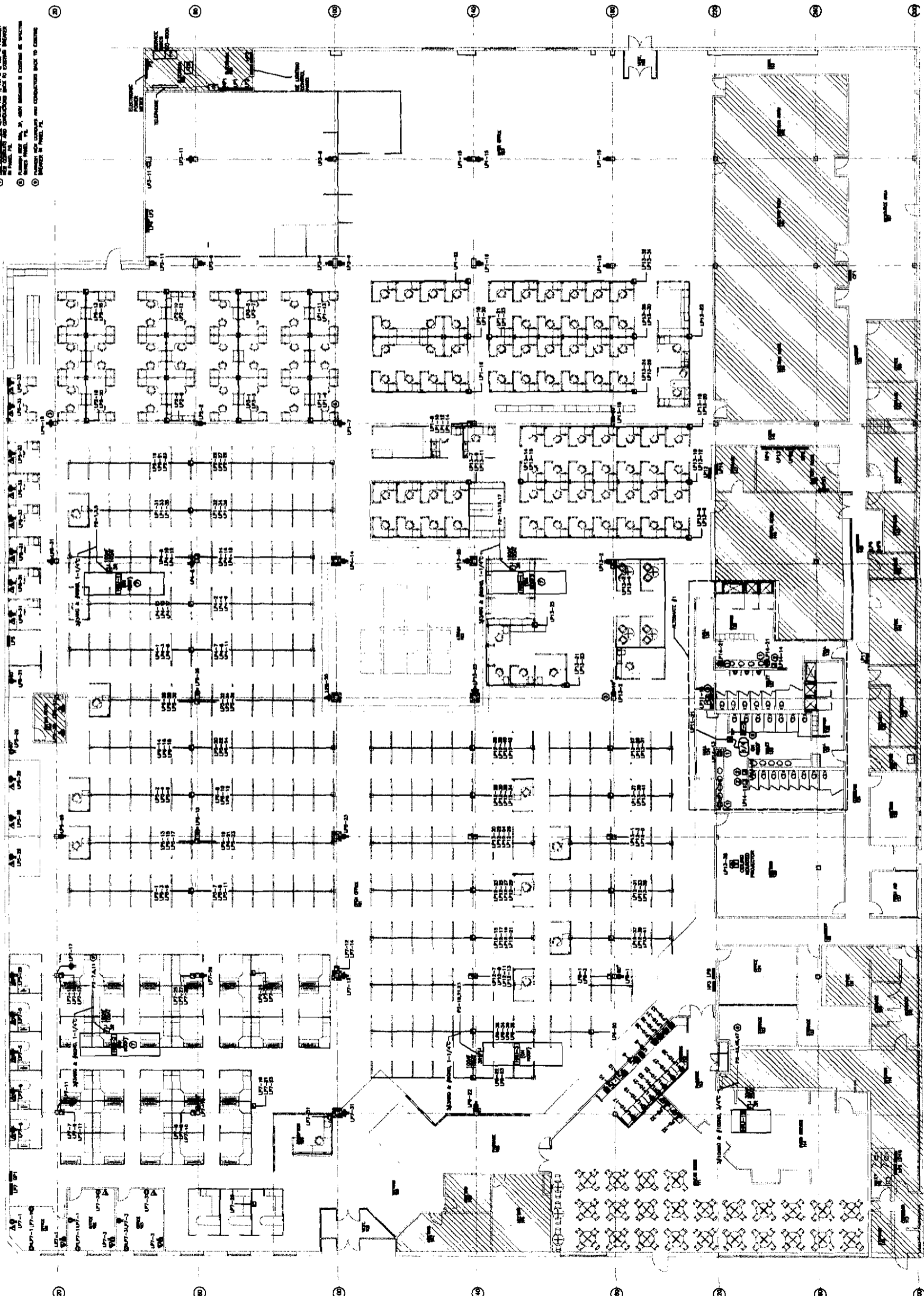
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Scale	1/8" = 1'-0"
Date	10/20/76
Revision	
Sheet	E1

KEYED NOTES:

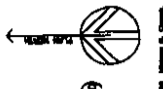
1. MAKE UP ABOVE COUNTER TOP.
2. MAKE UP ABOVE RIMMED FLUSH.
3. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
4. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
5. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
6. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
7. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
8. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
9. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.
10. MAKE UP ABOVE AT 1/2" RISE TO MATCH 1/2" RISE OF ADJACENT WALL.

NOTES:

1. SEE SHEET FOR LEGEND AND SYMBOLS.
2. WALLS AND CEILING SHALL BE CONSTRUCTION WITH FINISHES AS SHOWN ON SHEET E2.
3. FLOOR SHALL BE CONSTRUCTION WITH FINISHES AS SHOWN ON SHEET E2.
4. CEILING SHALL BE CONSTRUCTION WITH FINISHES AS SHOWN ON SHEET E2.
5. FLOOR SHALL BE CONSTRUCTION WITH FINISHES AS SHOWN ON SHEET E2.



1 POWER PLAN
SCALE: 1/8" = 1'-0"

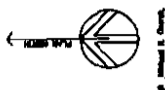


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 Portland, Maine 04103
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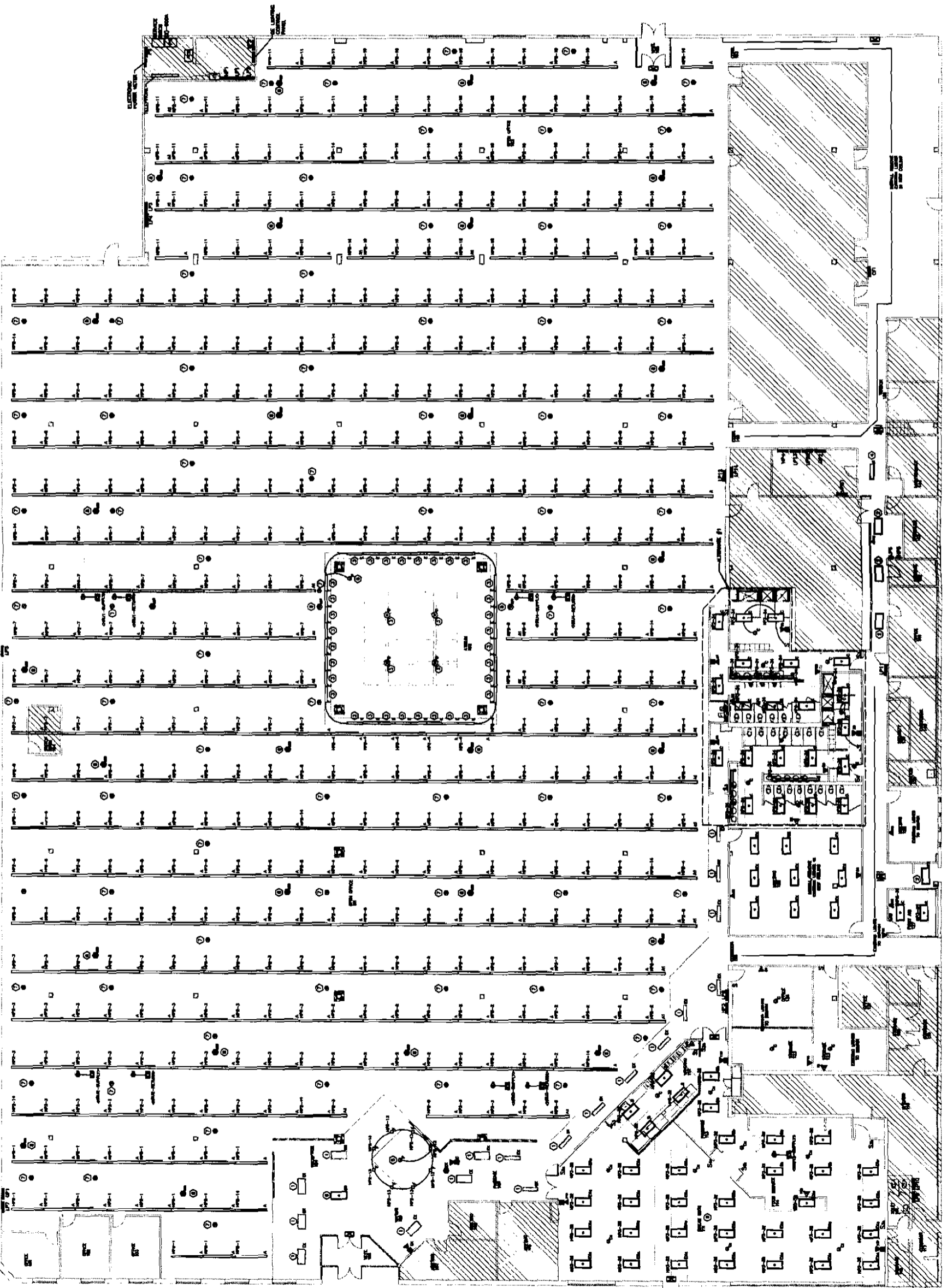
Ll Bean
 Northport Contact
 Center
 73 Northport Drive
 Portland, ME

Title	Lighting & Fire Alarm Plan
Scale	1/8" = 1'-0"
Date	10/20/10
Revision	
Sheet	E2



- NOTES:**
- SEE SHEET OF FLOOR LAYOUT AND GENERAL NOTES.
 - CONNECT WITH/TO EXISTING PIPING TO DIMENSIONAL LIGHTING CIRCUIT.
 - LEADING CABLES SHALL BE INSTALLED IN CONDUIT.
 - THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 - THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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- KEYED NOTES:**
- EXISTING LIGHTING SHALL BE RELOCATED TO THE NEW LOCATION.
 - NEW LIGHTING SHALL BE INSTALLED AT THE NEW LOCATION.
 - NEW LIGHTING SHALL BE INSTALLED AT THE NEW LOCATION.
 - NEW LIGHTING SHALL BE INSTALLED AT THE NEW LOCATION.
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1 LIGHTING & FIRE ALARM PLAN
 SCALE: 1/8" = 1'-0"

2010 Michael S. Charek