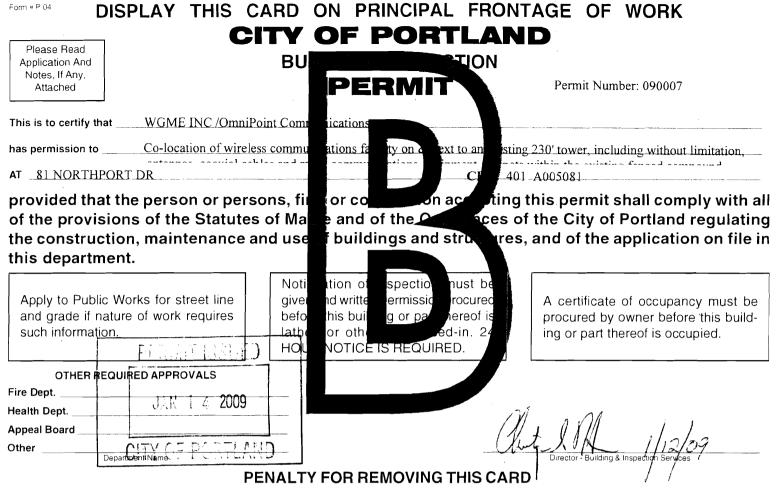
City of Portland, Mai 389 Congress Street, 041	•		VII	mit No: 09-0007	Issue Date:	0	CBL: 401 A	005081
Location of Construction:	Owner Name:	7. T dx. (207) 074-07		Address:	1440	7	Phone:	
81 NORTHPORT DR	WGME INC			6 BEAVER	DAMRD		a mone,	
Business Name:	Contractor Name			cinr Address:			Phone	
		mmunications		A GENERAL CHIEF	t.,Suite 2200	Boston	6174568	184
Lessee/Buyer's Name	Phone:		Permit	Гурс	nunications I			Zone: B-7
Past Use:	Proposed Use:		Permi	t Fee:	Cost of Work	e Ci	EO District:	
Radio Tower	Radio Tower	- Co-location of		\$545.00	\$45,00	0.00	4	
	wireless comm	nunications facility on	FIRE	DEPT:	1011	INSPECT	IQN:	
		existing 230' tower,		1	Denied	1)se Group	R	Type 77 B
		nout limitation,		1	Demea		1-70	57
	20 100 L L	vial cables and radio				10	xau	5
Proposed Project Description:			-			1		1. 1
Co-location of wireless cor	nmunications facility on &	next to an existing	Signali	ure:		Signature	CL -	1/12/0
230' tower, including withe			PEDES	STRIAN ACT	VITIES DIST	RICT (P.A	O.)	11
communications equipmen	t cabinets within the existing	ng fenced compound	Action	Appro	and Ann	roved w/Co	addiese []	Denied
			Astron	vebtuo	rea App	IDIED WICH	multions	17Cmca
			Signal	ure.		ט	ule	
Permit Taken Øy:	Date Applied For:		Signal				ule	
Permit Taken Ay: Idobson	Date Applied For: 01/02/2009		Signalı		, Approva		ulc	
Idobson	01/02/2009	Special Zone or Rev		Zoniag			ule Historic Pre	servation
1. This permit application		Special Zone or Rev		Zoniag	, Approva ng Appeal	ī	Hiktoric Pre	
 Idobson This permit application Applicant(s) from mee Federal Rules. Building permits do no 	01/02/2009 n does not proclude the sting applicable State and of include plumbing,			Zoniag Zoni	y Approva ng Appesi e		Historic Pre Not in Distr	servation iel of Londona equite Review
 Idobson This permit application Applicant(s) from mee Federal Rules. Building permits do no septie or electrical wor Building permits are v 	01/02/2009 n does not preclude the sting applicable State and of include plumbing, ck. old if work is not started	Shoreland		Zoning Zoni U Varianc	g Approva ng Appeal e ancous		Historic Pre Not in Distr	iel of Londnia cquire Review
 Idobson This permit application Applicant(s) from mee Federal Rules. Building permits do no septie or electrical work 	01/02/2009 n does not proclude the sting applicable State and of include plumbing, ck. old if work is not started of the date of issuance. invalidate a building	U Shoreland		Zooing Zoni U Varianc	ng Approva ng Appeal e ancous onal Lise		Historic Pre Not in Distr Docs Not Ke	iet of Londnia cquire Review
 Idobson This permit application Applicant(s) from mee Federal Rules. Building permits do no septic of electrical word Building permits are v within six (6) months of False information may permit and stop all wo 	01/02/2009 n does not preclude the sting applicable State and or include plumbing, ek. old if work is not started of the date of issuance. invalidate a building rk.	Shoreland Wetland Flood Zone		Zoning Zoni Uvariance Miscylla Condutio	s Approva ng Appeal e ancous onal Lise tation		Historic Pre Not in Distr Docs Not Ki Requires Re	iel of Landnia cymre Review view
 Idobson This permit application Applicant(s) from mee Federal Rules. Building permits do no septic or electrical word Building permits are v within six (6) months of False information may permit and stop all wo 	01/02/2009 n does not proclude the sting applicable State and of include plumbing, ck. old if work is not started of the date of issuance. invalidate a building	Shoreland Wetland Flood Zone Subdivision	iews	Zooing Zoni Uvrianc Miscylla Condution	s Approva ng Appeal e ancous onal Lise tation		Historic Pre Not in Distr Docs Not Ko Requires Re Approved	iel oc Landnia cymre Review view

CERTIFICATION

t hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

CLOSED NO PERODIC INSPECTIONS



Eorm # P 04

Cit	y of Portland, Maine - Buil	ding or Use l	Permi	t Application	Per	rmit No:	Issue Date:		CBL:	
	Congress Street, 04101 Tel: (2	-				09-0007	1/12/0	7	401 A0	05081
Loca	tion of Construction:	Owner Name:			Owner	r Address:	77-		Phone:	
81	NORTHPORT DR	WGME INC	INC		1070	10706 BEAVER DAM RD				
Business Name: Contractor Name		:		Contra	actor Address:			Phone		
OmniPoint Cor		mmunic	ations	100 0	Cambridge St	.,Suite 2200	Boston	61745681	84	
Lessee/Buyer's Name Phone:				Permi	t Type:				Zone:	
				Rad	io/Telecomm	unications E	quipme	nt	B-7-	
Past	Use:	Proposed Use:			Permi	it Fee:	Cost of Work	: C	EO District:	7
Rac	lio Tower	Radio Tower -	Co-loc	ation of		\$545.00	\$45,00	0.00	4	_
		wireless comm		· · ·	FIRE	DEPT:	Approved	INSPECT		
		and next to an					Denied	Use Grou	^{ip:} B	Type: IB
		including with antennas, coax						TH	IBC-2003	
		communication						-+		-
-	oosed Project Description:								00	1.1
	location of wireless communication			~	Signat			Signature		[112/09
	" tower, including without limitation munications equipment cabinets v				PEDE	STRIAN ACTIV	VITIES DIST	RICT (P.A	A.D.)	
COI	innumeations equipment cabinets v	within the existin	ig ichee	a compound	Action	n: 📋 Approv	ed 🗌 App	roved w/C	onditions	Denied
					Signa	ture:		г	Date:	
		- K-d Ferry			Jigha				<u> </u>	
		oplied For: 2/2009				Zoning	Approva	1		
			Spe	cial Zone or Review	ws	Zonin	g Appeal	<u>-</u>	Historic Pres	ervation
1.	This permit application does not								Not in District or Landmark	
	Applicant(s) from meeting applic Federal Rules.	able State and	Shoreland			Variance				
			Wetland			Miscellaneous			Does Not Require Review	
2.	Building permits do not include p	plumbing,								
2	septic or electrical work.	. :- u -t stantad		lood Zone Conditional Use		nal Use	l r	Requires Review		
3.	Building permits are void if work within six (6) months of the date									
	False information may invalidate		Subdivision			Interpretation) r	Approved	
	permit and stop all work	Ũ								1
			🗌 🗆 Si	te Plan			d		Approved w/	Conditions
	PERMITISSUE	J								\sim
			Maj		$\overline{\Box}$	Denied			Denied C	
	JAN 1 4 2009			LA						\mathcal{D}
	UAN 1 4 2003		Date	TH	ノ	Date:		Dat	ie:	1
			·	ISTAG						<u> </u>
	CITY OF PORTLA	MD								
		and a subscription of the		l						

CERTIFICATION

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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

	Project Name/Description <u>81 Notport</u> Address of Proposed Site <u>401-A-00</u> Assessor's Reference (Chart- <u>Munication Stac</u>	on and Planning Board C_{y}
1. Applicant Information	2. Project Information	ⁿ , 9
Unvipoint Communications for	$C = \frac{1}{5}$	0
do Printy Lobel Glausky & Type	, Lypplication Date	
	all t	Nr
	Address of Proposed Site	
1 17) / C(. 8184	401 - A - 00	5081
$\frac{1}{2} \frac{1}{2} \frac{1}$	Assessor's Reference (Chart-I	Block-Lot)
Description of Proposed Development:		
Co-location of wheless com	munications frac.	I ty og i Next to an
	1	nSequipment.
Kistan 230' tour will	$I \neq I \neq$	
Blisting 230' tower put	h communication	- schut way
Et 1Stry 230' tower wil C2briets on The ground (Please Attach Sketch/Plan of Proposal/Development)	MOMMONICATE	
Colonets on The ground (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2	· · · · · · · · · · · · · · · · · · ·	
(Please Attach Sketch/Plan of Proposal/Development)	· · · · · · · · · · · · · · · · · · ·	Planning Division Use Only
(Please Attach Sketch/Plan of Proposal/Development)	of this application) Applicant's Assessment	8
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 (4) a) Within Existing Structures: No New Buildings, Demolitions or Additions 	of this application) Applicant's Assessment	8
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of a section	of this application) Applicant's Assessment	Use Only
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of a section	of this application) Applicant's Assessment	Use Only
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of a section 14-523 (4) on page 2 of a section of a section section and section section and section section and section section and section section section and section section section and section s	of this application) Applicant's Assessment	Use Only
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of a section 14-523 (4) on page 2 of a section of a section section 14-523 (4) on page 2 of a section of a section section section (Section 14-523 (4) on page 2 of a section of a section section (Section 14-523 (4) on page 2 of a section (S	of this application) Applicant's Assessment	Use Only <u>NU Press Them Soc</u> <u>less them SCD</u> sq <u>V</u>
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of Additions a) Within Existing Structures: No New Buildings, Demolitions or Additions b) Footprint Increase Less Than 500 sq. ft. c) No New Curb Cuts, Driveways, Parking Areas d) Curbs and Sidewalks in Sound Condition/Comply with ADA e) No Additional Parking/No Traffic Increase b) No Known Stormwater Problems 	of this application) Applicant's Assessment	Use Only NU Press Them Scio
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of a section 14-523 (4) on page 2 of a section of the sec	of this application) Applicant's Assessment	Use Only NU Press Them Scio
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of Additions a) Within Existing Structures: No New Buildings, Demolitions or Additions b) Footprint Increase Less Than 500 sq. ft. c) No New Curb Cuts, Driveways, Parking Areas d) Curbs and Sidewalks in Sound Condition/Comply with ADA e) No Additional Parking/No Traffic Increase b) No Known Stormwater Problems 	of this application) Applicant's Assessment	Use Only NU Press Them Scio
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 of a section 14-523 (4) on page 2 of a section of a section for a section of the sectio	of this application) Applicant's Assessment	Use Only NU Press Them Scio
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 (4) a) Within Existing Structures: No New Buildings, Demolitions or Additions b) Footprint Increase Less Than 500 sq. ft. c) No New Curb Cuts, Driveways, Parking Areas d) Curbs and Sidewalks in Sound Condition/Comply with ADA e) No Additional Parking/No Traffic Increase c) No Known Stormwater Problems c) Sufficient Property Screening Exists d) Adequate Utilities 	of this application) Applicant's Assessment (Yes, No, N/A)	Use Only No best them Solo
 (Please Attach Sketch/Plan of Proposal/Development) Criteria for Exemptions: (See Section 14-523 (4) on page 2 (4) a) Within Existing Structures: No New Buildings, Demolitions or Additions b) Footprint Increase Less Than 500 sq. ft. c) No New Curb Cuts, Driveways, Parking Areas d) Curbs and Sidewalks in Sound Condition/Comply with ADA e) No Additional Parking/No Traffic Increase c) No Known Stormwater Problems c) Sufficient Property Screening Exists d) Adequate Utilities 	of this application) Applicant's Assessment (Yes, No, N/A)	Use Only NU Press Them Scio Loss them Sciology V V V

Original - Planning Division

Copy - Inspections Division and Applicant

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Cit	y of Portland, Maine	- Building or Use	Permit Appli	cation	Permit No:	Issue Date		CBL:	
	Congress Street, 04101	_			09-0007			401 AC	05081
Loc	ation of Construction:	Owner Name:		0	Owner Address:			Phone:	
81	NORTHPORT DR	WGME INC			10706 BEAVER	DAM RD			
Busi	ness Name:	Contractor Name	2:		Contractor Address:			Phone	
		OmniPoint Co	mmunications		100 Cambridge St	t.,Suite 220) Bosto	n 6174568	184
Less	ee/Buyer's Name	Phone:		1	Permit Type:				Zone:
				. [Radio/Telecomm	unications	Equipm	ent	B-C
Past	Use:	Proposed Use:	·····		Permit Fee:	Cost of Wor	k:	CEO District:	7
Ra	dio Tower	Radio Tower	Co-location of	_]	\$545.00	\$45,00	0.00	4	
l			nunications facili		FIRE DEPT:	Approved	INSPEC	CTION:	
			existing 230' tov	ver,		Denied	Use Gr	oup:	Турс:
			out limitation, tial cables and radiated	dia	L]			
		,	ne equinment cab						
Prop	oosed Project Description:								
	location of wireless comm				Signature:		Signatu	re:	
	b' tower, including without				PEDESTRIAN ACTIVITIES DISTRI		RICT (F	СТ (Р.А.Д.)	
cor	nmunications equipment ca	binets within the existing	ng fenced compo	und	Action: C Approv	ed 🦳 App	roved w/	Conditions	Denied
					L				
					Signature:			Date:	
	nit Taken By:	Date Applied For:			Zoning	Approva	1		
ldo	obson	01/02/2009				······································			
1.	This permit application do	bes not preclude the	Special Zone o	r Reviews	s Zonin	g Appeal		Historic Pres	ervation
	Applicant(s) from meeting Federal Rules.	g applicable State and	Shoreland		Variance			Not in District or Landmark	
2.	Building permits do not in septic or electrical work.	clude plumbing,	U Wetland		Miscellaneous			Does Not Require Review	
3.	Building permits are void within six (6) months of th		Flood Zone		Condition	Conditional Use		Requires Review	
	False information may inv permit and stop all work		Subdivision		Interpretation			Approved	
	-		Site Plan		Approved			Approved w/Conditions	
			Maj 📋 Minor 🗌] MM [] Denied			Denied C	$ \left \right $
			Date:		Date:		Da	te:	//

CERTIFICATION

.

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

 \vec{F} If you of the property owner owes real estate of personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 81 Northp	ort Drive		
Total Square Footage of Proposed Structure/A	\rea	Square Footage of Lot 849,	040 sq. ft.
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 401 A 5081	Name Omn c/o I Address Bria	nust be owner, Lessee or Buye ipoint Communications, Inc. Prince, Lobel, Glovsky & Tye, L in Grossman, 100 Cambridge St. Zip Boston, MA 02114	617-456-8184
Lessee/DBA (If Applicable)	Name WGM Address 81 City, State &	fferent from Applicant) IE, Inc. Northport Drive Zip Portland, ME 04103	Cost Of Work: <u>\$ 45,000</u> C of O Fee: <u>\$ 75</u> Total Fee: <u>\$ 545</u>
Current legal use (i.e. single family) Wireless If vacant, what was the previous use?	If Imunications fa Imunications ec	yes, please name cility on and next to an existing uipment cabinets within the exis	230' tower, including without
City, State & Zip_Boston, MA 02114		Te	elephone: <u>617-456-8000</u>
Who should we contact when the permit is read Mailing address: Prince, Lobel, Glovsky & Tye, I		rossman Te	lephone: 617-456-8184
Please submit all of the information do so will result in the		· ·	st. Failure to
order to be sure the City fully understands the f ay request additional information prior to the iss is form and other applications visit the Inspectio ivision office, room 315 City Hall or call 874-8703.	suance of a per	mit. For further information o	r to download copies of
pereby certify that I am the Owner of record of the na at I have been authorized by the owner to make this a vs of this jurisdiction. In addition, if a permit for wor thorized representative shall have the authority to ent ovisions of the codes applicable to this permit.	application as hi k described in t	s/her authorized agent. I agree to his application is issued, I certify t	o conform to all applicable hat the Code ()fficial's
anatura:		12/-1	

Signature: <u>June</u> <u>June</u> <u>June</u> <u>June</u> <u>June</u> This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer:	Hudson Design Group LLC
Date:	12/31/08
Job Name:	WGME Portland
Address of Construction:	81 Northport Drive

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Cod	de & Year 2003 IBC Use Group Classificatio	on (s)
Type of Con	struction Wireless Communications Facility	
Will the Struc	ture have a Fire suppression system in Accordance with	Section 903.3.1 of the 2003 IRC <u>N/A</u>
Is the Structur	re mixed use? <u>N/A</u> If yes, separated or non sep	parated or non separated (section 302.3) N/A
Supervisory al	arm System? <u>N/A</u> Geotechnical/Soils report	required? (See Section 1802.2) <u>N/A</u>
Structural De	esign Calculations	Live load reduction
	Submitted for all structural members (106.1 – 106.11)	Roof <i>live</i> loads (1603.1.2, 1607.11)
		Roof snow loads (1603.7.3, 1608)
	s on Construction Documents (1603)	Ground snow load, Pg (1608.2)
Uniformly distributed floor live loads Floor Area Use L		If $P_g > 10 \text{ psf}$, flat-roof snow load p_f
	· · · · · · · · · · · · · · · · · · ·	If $Pg > 10$ psf, snow exposure factor, G
		If $Pg > 10$ psf, snow load importance factor,
		Roof thermal factor, ₍₍ 1608.4)
		Sloped roof snowload, p.(1608.4)
ind loads (1	1603.1.4, 1609)	Seismic design category (1616.3)
N/A	Design option utilized (1609.1.1, 1609.6)	Basic seismic force resisting system (1617.6.2)
80 MPH	Basic wind speed (1809.3)	Response modification coefficient, RI and
1.0	Building category and wind importance Factor, by table 1604.5, 1609.5)	deflection amplification factor ₍₁ (1617.6.2)
C N/A	Wind exposure category (1609.4)	Analysis procedure (1616.6, 1617.5)
N/A N/A	Internal pressure coefficient (ASCE 7)	Dcsign base shear (1617.4, 16175.5.1)
Variable	Component and cladding pressures (1609.1.1, 1609.6.2.2) Main force wind pressures (7603.1.1, 1609.6.2.1)	Flood loads (1803.1.6, 1612) N/A
arth design	data (1603.1.5, 1614-1623)	Flood Hazard area (1612.3)
	Design option utilized (1614.1)	Elevation of structure
	Seismic use group ("Category")	Other loads N/A
	Spectral response coefficients, SD&& SDI (1615.1)	Concentrated loads (1607.4)
	Site class (1615.1.5)	Partition loads (1607.5)
		Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404

Building Inspections Division • 389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936



Certificate of Design

Date:

December 30, 2008

From:

Hudson Design Group LLC

These plans and / or specifications covering construction work on:

Omnipoint Communications Site 4PB-0288A WGME Portland, 81 Northport Dr. Portland ME 04103

Sheet # T-1, C-1, A-1, S-1, S-2 and E-1 dated 12/29/08.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

DANIEL P. HAMM No. 10344	Signature:	Defffammer Principal
(SEAL)	Title: Firm:	Hudson Design Group LLC
	Address:	1600 Osgood St. Building 20 North, Suite 2-101
		North Andover MA 01845 (978) 557-5553
	Phone:	

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Building Inspections Division • 389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TIY (207) 874-8936

5

•		lding or Use Permit (207) 874-8703, Fax: (4-8716	Permit No: 09-0007	Date Applied For: 01/02/2009	CBL: 401 A005081
Location of Construction:		Owner Name:		0	Owner Address:		Phone:
81 NORTHPORT DR		WGME INC			10706 BEAVER I	DAM RD	
Business Name:		Contractor Name:		0	Contractor Address:		Phone
		OmniPoint Communic	ations		100 Cambridge St	"Suite 2200 Boston	(617) 456-8184
Lessee/Buyer's Name		Phone:		F	ermit Type:		
					Radio/Telecomm	inications Equipment	t
Proposed Use:				Proposed	Project Description:		
	and radio co	cluding without limitatio mmunications equipmen ompound		cables		ding without limitatic lications equipment co d	
Dept: Zoning Note:	Status: A	Approved	Re		Marge Schmucka	al Approval Da	ate: 01/05/2009 Ok to Issue: 🗹
• •	Status: 7	Approved with Condition		viewer:		al Approval Da Approval Da	Ok to Issue: 🗹
Note: Dept: Building Note: 1) Tower must be perm	Status: A	Approved with Condition effectively grounded.	is Re	viewer:	Marge Schmucka Chris Hanson	al Approval Da Approval Da	Ok to Issue: 🗹
Note: Dept: Building Note: 1) Tower must be perm 2) Equipment must be	Status: Ananently and installed in co	Approved with Condition	is Re	viewer: viewer: s specific	Marge Schmucka Chris Hanson cations	al Approval Da Approval Da	Ok to Issue: te: 01/12/2009 Ok to Issue:

Comments:

1/5/2009-mes: I made out a site plan review form for planning because of the new communication boxes on the ground. The existing tower is legally nonconforming. WAIT FOR THE PLANNING SIGN OFF BEFORE ISSUING PERMIT>

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects <u>DO</u> require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 81 Northpo	rt Drive			
Total Square Footage of Proposed Structure/A	rea	Square Footage of Lot	49,040 s	sq. ft.
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 401 A 5081	Name Omn c/o F Address Bria	nust be owner, Lessee or B ipoint Communications, Inc. Prince, Lobel, Glovsky & Ty an Grossman, 100 Cambridg Zip Boston, MA 02114	e, LLP	Telephone: 617-456-8184 te 2200
Lessee/DBA (If Applicable)	Name WGN		W	ost Of ork: \$ 45,000
		Northport Drive z Zip Portland, ME 04103		of O Fee: \$ <u>75</u>
If vacant, what was the previous use? Proposed Specific use: <u>Co-location of Wireless</u> Is property part of a subdivision? <u>No</u> Project description: Co-location of wireless com limitation, antennas, coaxial cables and radio com	Communicatio If munications fa munications ec	f yes, please name icility on and next to an exist quipment cabinets within the		tower, including without fenced compound.
Contractor's name: Prince Lobel Telecommunic Address: 100 Cambridge Street, Suite 2200	ations Services	s Group, LLC		
City, State & Zip_Boston, MA 02114 Who should we contact when the permit is read Mailing address: Prince, Lobel, Glovsky & Tye, I			Telepł	hone: <u>617-456-8000</u> hone: <u>617-456-8184</u> 2114

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Develophent Departing may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <u>www.portlandmaine.gov</u>, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Date:

This is not a permit; you may not commence ANY work until the permit is issue

Prince, Lobel, Glovsky & Tye LLP Attorneys at Law

100 Cambridge Street Suite 2200 Boston, MA 02114

617 456.8000 Tel 617 456.8100 Fax PrinceLobel.com

Janelle Gaudino, Legal Assistant Direct Dial: 617.456.8040 jgaudino@PrinceLobel.com

December 31, 2008

VIA OVERNIGHT MAIL

Suzanne Hunt Code Enforcement Officer City of Portland 389 Congress Street Room 315 Portland, Maine 04101

> **Building Permit Application** 81 Northport Drive, Portland, ME 04103 Property Address: Chart 401, Block A, Lot 5081 (the "Property") Omnipoint Communications, Inc., a wholly owned subsidiary of T-Mobile USA, Inc. (the "Applicant")

Applicant:

Re:

Dear Ms. Hunt:

Enclosed for filing in connection with the above-referenced matter is a building permit application and site plans for the Applicant's proposed installation at the Property. Also enclosed is a check made payable to the City of Portland in the amount of five-hundred and forty-five dollars (\$545.00) representing the building permit application fee.

Kindly date stamp the enclosed copy of this letter and return it to me, along with the building permit, in the FedEx envelope that is provided.

Please do not hesitate to contact me if any questions or concerns.

Thank you for your anticipated assistance.

Very truly yours,

lleauden Janelle Gaudino (

Legal Assistant to Brian S. Grossman

Enclosures





Certificate of Design Application

From Designer:	Hudson Design Group LLC
Date:	12/31/08
Job Name:	WGME Portland
Address of Construction:	81 Northport Drive

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s)	
Type of Construction Wireless Communications Facility	
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC <u>N/A</u>	_
Is the Structure mixed use? <u>N/A</u> If yes, separated or non separated or non separated (section 302.3) <u>N/A</u>	
Supervisory alarm System? <u>N/A</u> Geotechnical/Soils report required? (See Section 1802.2) <u>N/A</u>	

Structural Design Calculations

Structural De	esign Calculations	Live load reduction
	Submitted for all structural members (106.1 – 106.11)	Roof live loads (1603.1.2, 1607.11)
D ' I '		Roof snow loads (1603.7.3, 1608)
	ls on Construction Documents (1603) ributed floor live loads (7603.11, 1807)	Ground snow load, Pg (1608.2)
Floor Area		If $P_g > 10$ psf, flat-roof snow load $_{If}$
		If $Pg > 10$ psf, snow exposure factor, C_{e}
		If $Pg > 10$ psf, snow load importance factor, I_{i}
		Roof thermal factor, <i>(i</i> (1608.4)
		Sloped roof snowload, $P_3(1608.4)$
	1603.1.4, 1609)	Seismic design category (1616.3)
N/A	Design option utilized (1609.1.1, 1609.6)	Basic seismic force resisting system (1617.6.2)
80 MPH	Basic wind speed (1809.3)	Response modification coefficient, R1 and
1.0 C	Building category and wind importance Factor, by table 1604.5, 1609.5)	deflection amplification factor _{(d} (1617.6.2)
 	Wind exposure category (1609.4)	Analysis procedure (1616.6, 1617.5)
N/A	Internal pressure coefficient (ASCE 7)	Design base shear (1617.4, 16175.5.1)
Variable	Component and cladding pressures (1609.1.1, 1609.6.2.2) Main force wind pressures (7603.1.1, 1609.6.2.1)	Flood loads (1803.1.6, 1612) N/A
Earth design	data (1603.1.5, 1614-1623)	Flood Hazard area (1612.3)
	Design option utilized (1614.1)	Elevation of structure
	Seismic use group ("Category")	Other loads N/A
	Spectral response coefficients, SD: & SDI (1615.1)	Concentrated loads (1607.4)
	Site class (1615.1.5)	Partition loads (1607.5)
		Misc. loads (l'able 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404

Building Inspections Division • 389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936



Certificate of Design

Date:

December 30, 2008

From:

Hudson Design Group LLC

These plans and / or specifications covering construction work on:

Omnipoint Communications Site 4PB-0288A WGME Portland, 81 Northport Dr. Portland ME 04103

Sheet # T-1, C-1, A-1, S-1, S-2 and E-1 dated 12/29/08.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

DANIEL P. HAMM No. 10344	Signature: Title: Firm: Address:	Principal Hudson Design Group LLC 1600 Osgood St. Building 20 North, Suite 2-101
		North Andover MA 01845
	Phone:	(978) 557-5553

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

5

Building Inspections Division • 389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936

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Prince, Lobel, Glovsky & Tye LLP Attorneys at Law

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617.456,8000 Tel 617.456.8100 Fax PrinceLobel.com

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December 31, 2008

VIA OVERNIGHT MAIL

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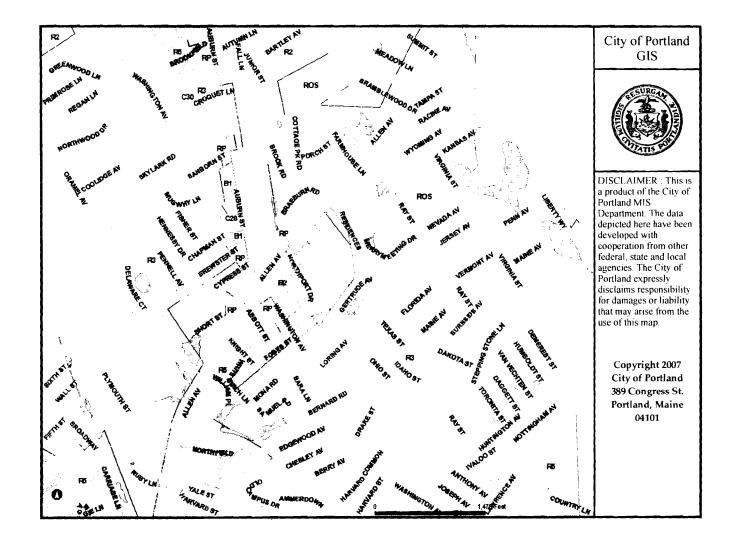
leauden Janelle G**a**udino (

Legal Assistant to Brian S. Grossman

Enclosures



-



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Prince, Lobel, Glovsky & Tye LLP Attorneys at Law

100 Cambridge Street Suite 2200 Boston, MA 02114

617.456.8000 Tel 617.456.8100 Fax PrinceLobel.com Janelle Gaudino, Legal Assistant Direct Dial: 617.456.8040 jgaudino@PrinceLobel.com

December 31, 2008

VIA OVERNIGHT MAIL

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Auden Janelle Gaudino

Legal Assistant to Brian S. Grossman

Enclosures



WGME PORTLAND

81 NORTHPORT DRIVE PORTLAND, ME 04103

SITE NUMBER: 4PB-0288A

SITE TYPE: CO-LOCATION / LATTICE TOWER

T-MOBILE TECHNICIAN SITE SAFETY NOTES

LOCATION SECTOR A: SECTOR B: SECTOR C: GPS/LMU: RADIO CABINETS: PPC DISCONNECT: MAIN CIRCUIT D/C: NIU/T DEMARC: OTHER/SPECIAL:

ACCESS NOT PERMITTED ACCESS NOT PERMITTED ACCESS NOT PERMITTED ACCESS PERMITTED. LADDER REQUIRED UNRESTRICTED UNRESTRICTED UNRESTRICTED UNRESTRICTED NONE

SPECIAL RESTRICTIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURGENCIPANL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCOMANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.

2. THE ARCHITECT/ENGINEER HAS MADE EVERY EFFORT TO SET FORTH 2. THE ANCHITELETPHONECH THAS HADE EVEN TO BE FORTH TO BE FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK, THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH TENT OF THESE DOCUMENTS.

3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.

4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS. EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.

5. THE CONTRACTOR SHALL WIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES PRECEDENCE

8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE STE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.

9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT 9. THE CONTINUE OF STALL SPEAKING AND UNLED THE PRODUCT DESCRIBED HEREIN, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS I HEREI

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.

12. THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.

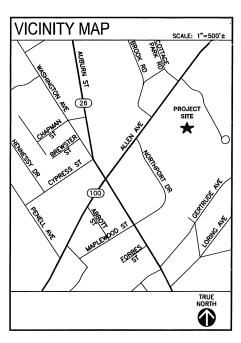
THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT. DEBRIS, RUBBISH AND REMOVE FOUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE

14. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.

15. THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER IS. THE CONTINUE WHERE A CONFLICT OCCUT ON ONLY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE PROJECT OWNER REPRESENTATIVE

-DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY. -DIG-SAFE

18. PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WRELESS COMMUNICATIONS SYSTEMS, PROJECT OWNER IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON DEPENDENT OF COMPARENT AND AMERINAS GENERALL DEVICED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BIS RADIO CABINETS. THE PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL MMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SHI	EET INDEX	
SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	Α
C-1	PLOT PLAN & NOTES	A
A-1	PLAN & ELEVATION	A
S-1	STRUCTURAL NOTES, PLANS & DETAILS	A
S-2	DETAILS	A
E-1	ELECTRICAL & GROUNDING NOTES,	A
	PLAN & RISER	
REG ST PRO\ THESE	LLOWING SHEETS ARE USED ONLY FOR FE ULATORY COMPLIANCE UNDER FCC AND OS ANDARDS. BUILDING CODE LIFE AND SAFET JISIONS ARE NOT APPLICABLE AND THEREF SHEETS HAVE BEEN OMITTED FOR STATE/ PERMITTING AND CONSTRUCTION CONTROL.	SHA 'Y ORE
EME-1	RF/EME SAFETY PLAN	Α
EME-2	RF/EME SIGNAGE PLAN	Α
EME-3	RF/EME SIGNAGE BOM	Α
EME-4	RF/EME DATA TABLE	Α

PROJECT SUMMARY

SITE NUMBER: SITE NAME:

SITE ADDRESS:

ZONING DISTRICT:

DEED BOOK/PAGE:

CONSTRUCTION TYPE:

PROPERTY OWNER!

TOWER OWNER:

APPLICANT:

4PB-0288A

WGME PORTLAND

81 NORTHPORT DRIVE PORTLAND, ME 04103

ASSESSOR'S MAP & LOT #: MAP: 401; BLOCK: A; LOT: 5081

B-2 (BUSINESS 2)

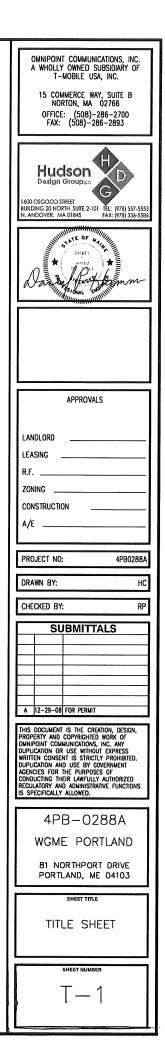
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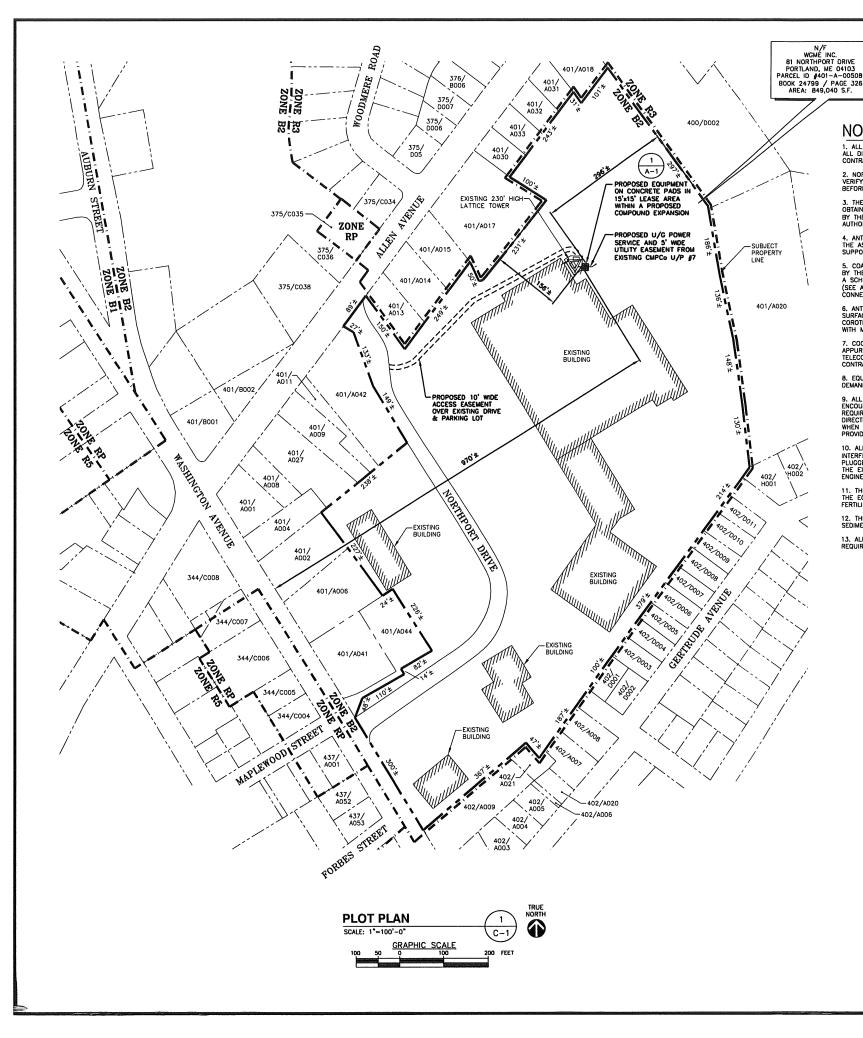
CO-LOCATION / LATTICE TOWER

WGMF INC. 81 NORTHPORT DRIVE PORTLAND, ME 04103

WGME INC. 81 NORTHPORT DRIVE PORTLAND, ME 04103

OMNIPOINT COMMUNICATIONS, INC. 15 COMMERCE WAY, SUITE B NORTON, MA 02766





NOTES:

1. ALL DIMENSIONS SHOWN THUS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WHICH EFFECT THE CONTRACTORS WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH OWNER PRIOR TO CONSTRUCTION.

2. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VENIFY TRUE NORTH AND INFORM CONSTRUCTION MANAGER OF ANY DISCREPANCIES BEFORE STARTING CONSTRUCTION.

3. THE CONTRACTOR AND OR HIS SUB CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTRY OR LOCAL GOVERNMENT AUTHORITY.

4. ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES AND SUPPORT STRUCTURES.

5. COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE PROVIDED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. A SCHEDULE OF OWNER SUPPLIED MATERIALS IS ATTACHED TO THE BID DOCUMENTS (SEE ATTACHMENT K). ALL OTHER HARDWARE TO BE PROVIDED BY THE CONTRACTOR CONNECTION HARDWARE SHALL BE STAINLESS STEEL.

6. ANTENNAS, SUPPORTS AND CABLE MOUNTS SHALL BE PAINTED TO MATCH EXISTING SURFACES TO WHICH IT IS ATTACHED. PAINT SHALL BE SHERWIN WILLIAMS, COROTHANE II. SURFACE PREPARATION AND APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND PROJECT OWNER GUIDELINES.

7. COORDINATION, LAYOUT, AND FURNISHING OF CONDUIT, CABLE AND ALL APPURTENANCES REQUIRED FOR PROPER INSTALLATION OF ELECTRICAL AND TELECOMMUNICATION SERVICE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

8. EQUIPMENT WILL BE INDEPENDENTLY POWERED WITH A UTILITY METER WITH DEMAND REGISTERS.

9. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE ECOUNED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THEIR WORKING CREW.

10. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF UTILITY COMPANY ENGINEERING.

11. THE AREAS OF THE PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT, DRIVEWAY OR GRAVEL, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED AND COVERED WITH MULCH.

12. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN SOIL EROSION AND SEDIMENTATION CONTROLS AT ALL TIMES DURING CONSTRUCTION.

13. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.

SOURCE:

PLOT PLAN BASED ON PLAN BY SEBAGO TECHNICS FOR NORTHROP REALTY TRUST DATED 12/12/05.

2. CITY OF PORTLAND ASSESROR'S MAP #401 DATED 4/1/07.

SITE SPECIFIC NOTES:

1. SITE SURVEY HAS NOT BEEN CONDUCTED BY HUDSON DESIGN GROUP LLC FOR THIS PROJECT. ALL SETBACKS SHOWN ON THIS PLAN IS BASED ON ABOVE REFERENCED DRAWINGS.

2. ALL SETBACKS ARE SHOWN FROM THE PROPOSED EQUIPMENT

	and an other sectors and a sector secto	ومحافظه فالمراجع والمراجع والمحافظ فالمتواهد محرافه والمعارية والمعادية		
ZONII	NG IN	FORMA	TION	
DIMENSION REQUIR	EMENTS:	REQUIRED	PROPOSED±	
EQUIPMENT SETBA	CKS:			xx
FRONT YARD SETE	ACK:	NA	970'±	
SIDE YARD SETBA	CK:	10'	156'±	AN ⁻
REAR YARD SETBA	CK:	10'	296'±	
APPLICANT:	15 COMM	IT COMMUNICATIO IERCE WAY, SUI MA 02766		
OWNER:		: IPORT DRIVE), ME 04103		2
Zoning district: Jurisdiction: Assessor's id:	CITY OF	PORTLAND AND COUNTY, M	E	S
A0020001 3 10.				

ABBREVIATIONS

ADJ	ADJUSTABLE	мах	
APPROX	APPROXIMATE	MECH	
BTS	BASE TRANSMISSION STATION	MFR	
с	CONDUIT	MGB	
CMU	CONCRETE MASONRY UNIT	MIN	
CONC	CONCRETE	MTL	
CONT	CONTINUOUS	NIC	
CJ	CONSTRUCTION JOINT	NTS	
DIA	DIAMETER	ос	
DWG	DRAWING	OPP	
EGB	EQUIPMENT GROUND BAR	SF	
EA	EACH	SHT	
ELEC	ELECTRICAL	SIM	
EL	ELEVATION	STL	
EQ	EQUAL	TOC	
EQUIP	EQUIPMENT	том	
EXISTING	EXISTING	TYP	
EXT	EXTERIOR	VIF	
FF	FINISHED FLOOR	LG	
FG	FINISHED GRADE	WWF	
GA	GAUGE	w/	1
GALV	GALVANIZED	LNA	ļ
GC	GENERAL CONTRACTOR	ሚ	
GWB	GYPSUM WALLBOARD	&c	
UON	UNLESS OTHERWISE NOTED	0	
PCS	PERSONAL COMMUNICATIONS SERVICES		

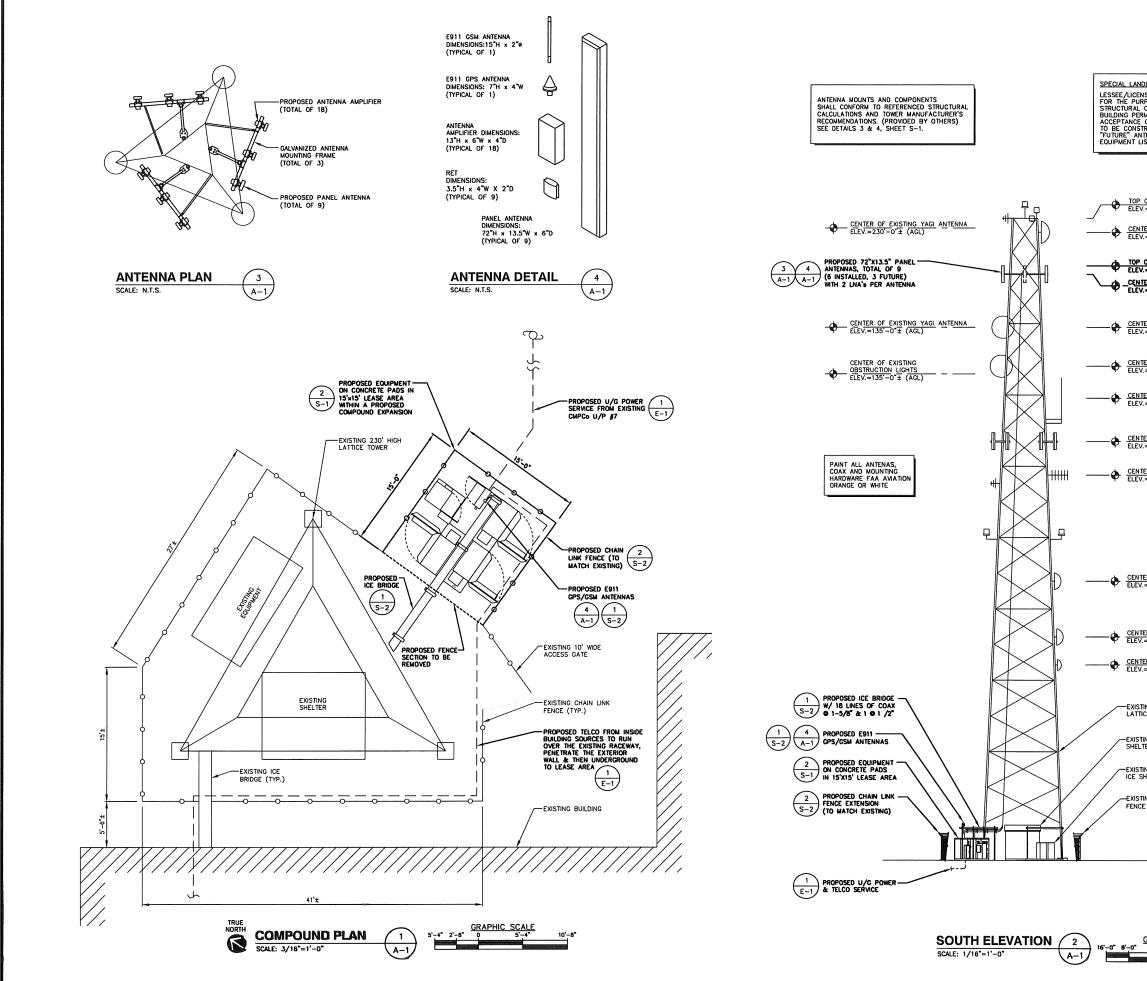
MAXIMUM
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MANUFACTURER
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NOT TO SCALE
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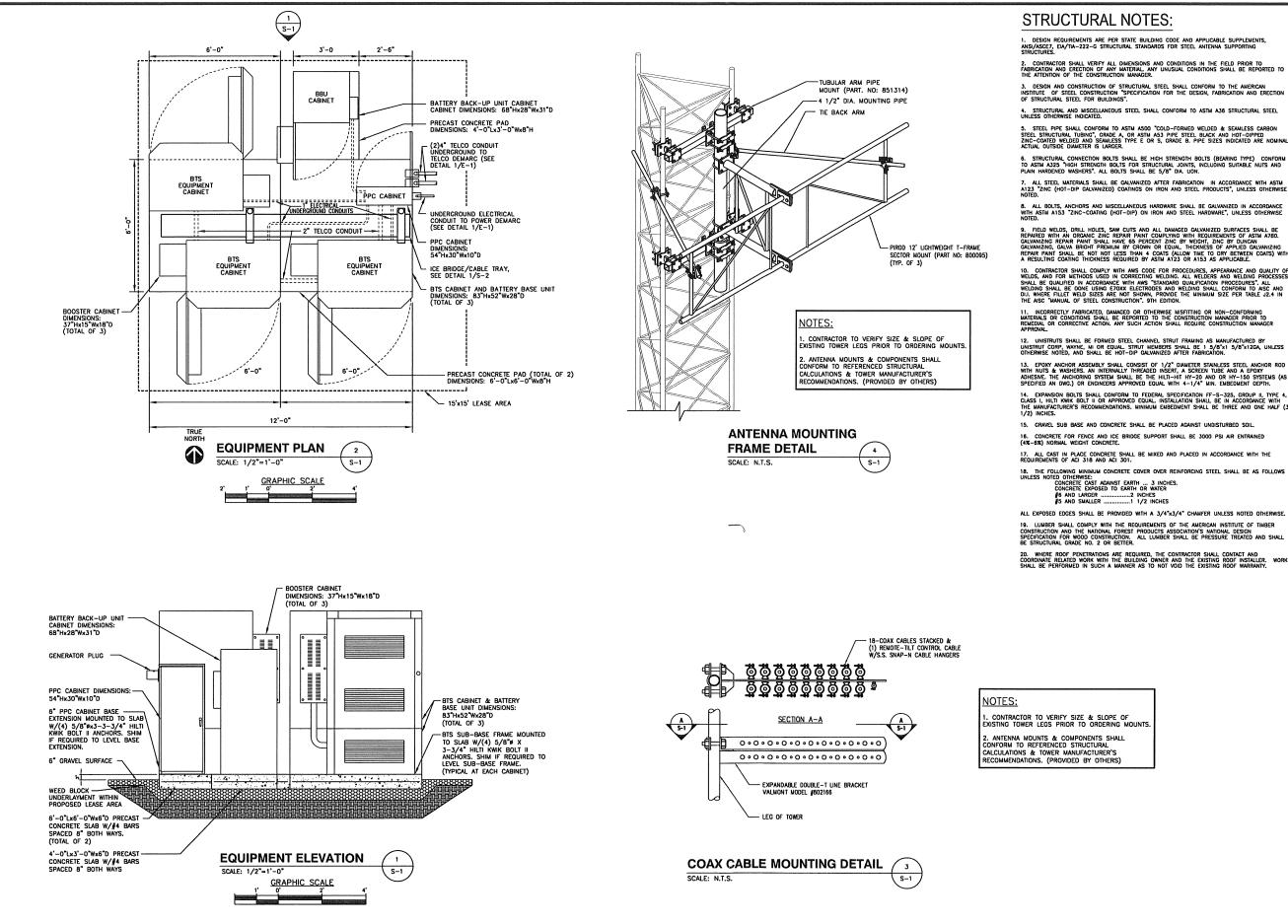
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DETAIL SHEET SECT	IONS		COAXIAL CABLE	A 12-29-08
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en de



	899.101116			
				OMNIPOINT COMMUNICATIONS, INC. A WHOLLY OWNED SUBSIDIARY OF T-MOBILE USA, INC.
				15 COMMERCE WAY, SUITE B
				NORTON, MA 02766 OFFICE: (508)-286-2700 FAX: (508)-286-2893
<u>IDLORD NOTE:</u> NSEE "FUTURE" PANEL ANTENNAS ARE DE		150		FAX: (300)-200-2093
RPOSES OF DETERMINING TOWER/MONOPOL CAPACITY, OBTAINING ZONING APPROVAL RMITS, SUBSEQUENT ENDORSEMENT OR	LE S AI	ND		
CONTRACTOR OF THE CONTRACT OF THE CONTRACT OF THIS DRAWING BY THE TOWER OWNER TRUED AS PERMISSION OR APPROVAL TO VIENNAS THAT EXCEED "PROPOSED" OR A	R IS	NO	т	
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				1600 OSGOOD STREET BUILDING 20 NORTH, SUITE 2-101 TEL: (978) 557-5553 N. ANDOVER, MA 01845 FAX: (978) 336-5586
V.=230'-0"± (AGL)				TANK
I <u>TER_OF_EXISTING_DISH_ANTENN</u> A V.=225 ¹ -0 [*] ± (AGL)				Water De Fichuse Continuition
OF PROPOSED ANTENNAS V.=213'-0"± (AGL)			.	
<u>TER OF PROPOSED ANTENNAS</u>	_			
v210-01 (NOC)	Ì			
TER OF EXISTING DISH ANTENNA				
V.=191'-0"± (AGL)				
<u>TER OF EXISTING DISH</u> <u>ANTENN</u> A V.=177'-0"± (AGL)				APPROVALS
<u>TER_</u> O <u>F_WHIP_ANT</u> ENNA V.=158'-0"± (AGL)				LANDLORD
				R.F
TER_OF_EXISTING_ANTENNAS V.=150'-0"± (AGL)				ZONING
				CONSTRUCTION
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	3	2	(AGL)	
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	SWN	ANTENNAS = 213'-0"±	TOWER =	CHECKED BY: RP
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<u>TER_OF_EXISTING_DISH_ANTENN</u> A /.=70'-0"± (AGL)				A 12-29-08 FOR PERMIT
				THIS DOCUMENT IS THE CREATION, DESIGN,
TING 230' HIGH				PROPERTY AND COPYRIGHTED WORK OF OMNIPOINT COMMUNICATIONS, INC. ANY DUPLICATION OR USE WITHOUT EXPRESS
ICE TOWER				WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY COVERNMENT AGENCIES FOR THE PURPOSES OF
TING EQUIPMENT .TER				CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.
TING EQUIPMENT W/ SHIELD ABOVE				4PB-0288A
TING CHAIN LINK CE (TYP.)				WGME PORTLAND
				81 NORTHPORT DRIVE
				PORTLAND, ME 04103
GROUND LEVEL ELEV.=0'-0" (AGL)			<u> </u>	SHEET TITLE
				PLAN &
				ELEVATION
				SHEET NUMBER
GRAPHIC SCALE				
0 16'-0" 32'-0"				A - 1



1. DESIGN REQUIREMENTS ARE PER STATE BUILDING CODE AND APPLICABLE SUPPLEMENTS, ANS/ASSCE7, EIA/TA-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNA SUPPORTING STRUCTURES.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE CONSTRUCTION MANAGER.

3. DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".

4. STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A36 STRUCTURAL STEEL UNLESS OTHERWISE INDICATED.

5. STEEL PIPE SHALL CONFORM TO ASTM A500 "COLD-FORMED WELDED & SEAMLESS CARBON STEL STRUCTURAL TUBING", GRADE A, OR ASTM AS3 PPE STEL BLACK AND HOT-DIPPED ZINC-COATED WELDED AND SEAULESS TYPE E OR S, GRADE B, PIPE SIZES INDICATED ARE NOMINAL ACTUAL OUTSIDE DAMAFER IS LARGER.

6. STRUCTURAL CONNECTION BOLTS SHALL BE HIGH STRENGTH BOLTS (BEARING TYPE) CONFORM TO ASTM A325 "HIGH STRENGTH BOLTS FOR STRUCTURAL JOINTS, INCLUDING SUITABLE NUTS AND PLAIN HARDENED WASHERS". ALL BOLTS SHALL BE 5/8" DIA. UDN.

7. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED

8. ALL BOLTS, ANCHORS AND NISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.

9. FIELD WELDS, DRILL HOLES, SAW CUTS AND ALL DAUAGED GALVANIZED SURFACES SHALL BE REPARED WITH AN ORGANIC ZINC REPAIR PAINT COMPLYING WITH REQUIREMENTS OF ASTM A780. GALVANIZING REPAIR PAINT SHALL HAVE 65 PERCENT ZINC 67 WEIGHT, ZINC 67 UNICAM GALVANIZING, GALVA BRIGHT PREMILIN BY GROWN OR EQUAL. THICKNESS OF APPLED CALVANIZING REPAR PAINT SHALL BE NOT NOT LESS THAN 4 COATS (ALLOW TIME TO DRY BETWEEN COATS) WITH A RESULTING COATING THICKNESS REQUIRED BY ASTM A123 OR A153 AS APPLICABLE.

10. CONTRACTOR SHALL COUPLY WITH AN'S CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND FOR METHODS USED IN CORRECTING WELDING. ALL WELDERS AND WELDING PROCESSES SHALL BE QUALIFED IN ACCORANCE WITH AN'S "STAINABO QUALIFICATION PROCEDURES". ALL WELDING SHALL DE DONE USING FIZIX ELECTRODES AND WELDING SHALL CONFORM TO A'SC AND DLI, WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE A'SC "MANUAL OF STEEL CONSTRUCTION". 9TH EDITION.

11. INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE MISFITTING OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE CONSTRUCTION MANAGER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE CONSTRUCTION MANAGE APPROVAL

12. UNISTRUTS SHALL BE FORMED STEEL CHANNEL STRUT FRAMING AS MANUFACTURED BY UNISTRUT CORP. WAYNE, MI OR EQUA. STRUT MEMBERS SHALL BE:  $15/6^{1}13/6^{1}12GA,$  UNLESS OTHERMSE NOTED, AND SHALL BE HOT-DIP GULVANIZED ANTER FABRICATION.

13. EPOXY ANCHOR ASSEMBLY SHALL CONSIST OF 1/2" DIAMETER STAINLESS STEEL ANCHOR ROD WITH MUTS & WASHERS. AN INTERNALLY THREADED INSERT, A SCREEN TUBE AND A EPOXY ADMESSIVE. THE ANCHORING SYSTEM SHALL BE THE HILT-HIT MY-20 AND OR HY-150 SYSTEMS (AS SPECIFIED AN DWG.) OR ENGINEERS APPROVED EQUAL WITH 4-1/4" MIN. EMBEDMENT DEPTH.

14. EXPANSION BOLTS SHALL CONFORM TO FEDERAL SPECIFICATION FF-S-325, GROUP II, TYPE 4, CLASS I, HILT KWIK BOLT II OR APPROVED EQUAL. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM EMBEDMENT SHALL BE THREE AND ONE HALF (3 1/2) INCHES.

15. GRAVEL SUB BASE AND CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL. 15. CONCRETE FOR FENCE AND ICE BRIDGE SUPPORT SHALL BE 3000 PSI AIR ENTRAINED (4%-6%) NORMAL WEIGHT CONCRETE.

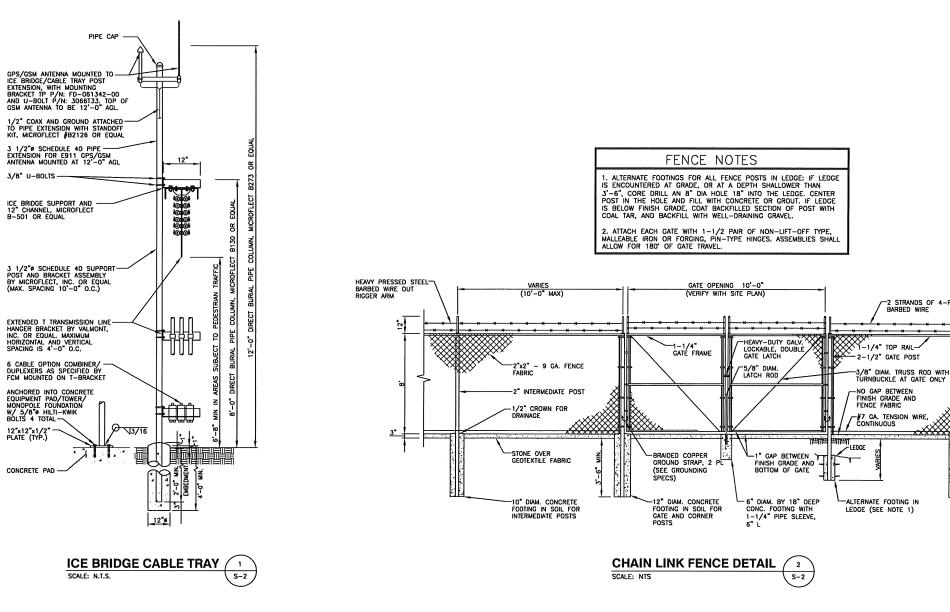
17. ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND ACI 301.

ALL EXPOSED EDGES SHALL BE PROVIDED WITH A 3/4"x3/4" CHAMFER UNLESS NOTED OTHERWISE,

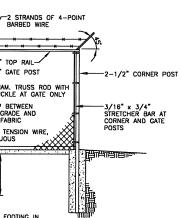
19. LUNBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. ALL LUMBER SHALL BE PRESSURE TREATED AND SHALL BE STRUCTURAL GRADE NO. 2 OR BETTER.

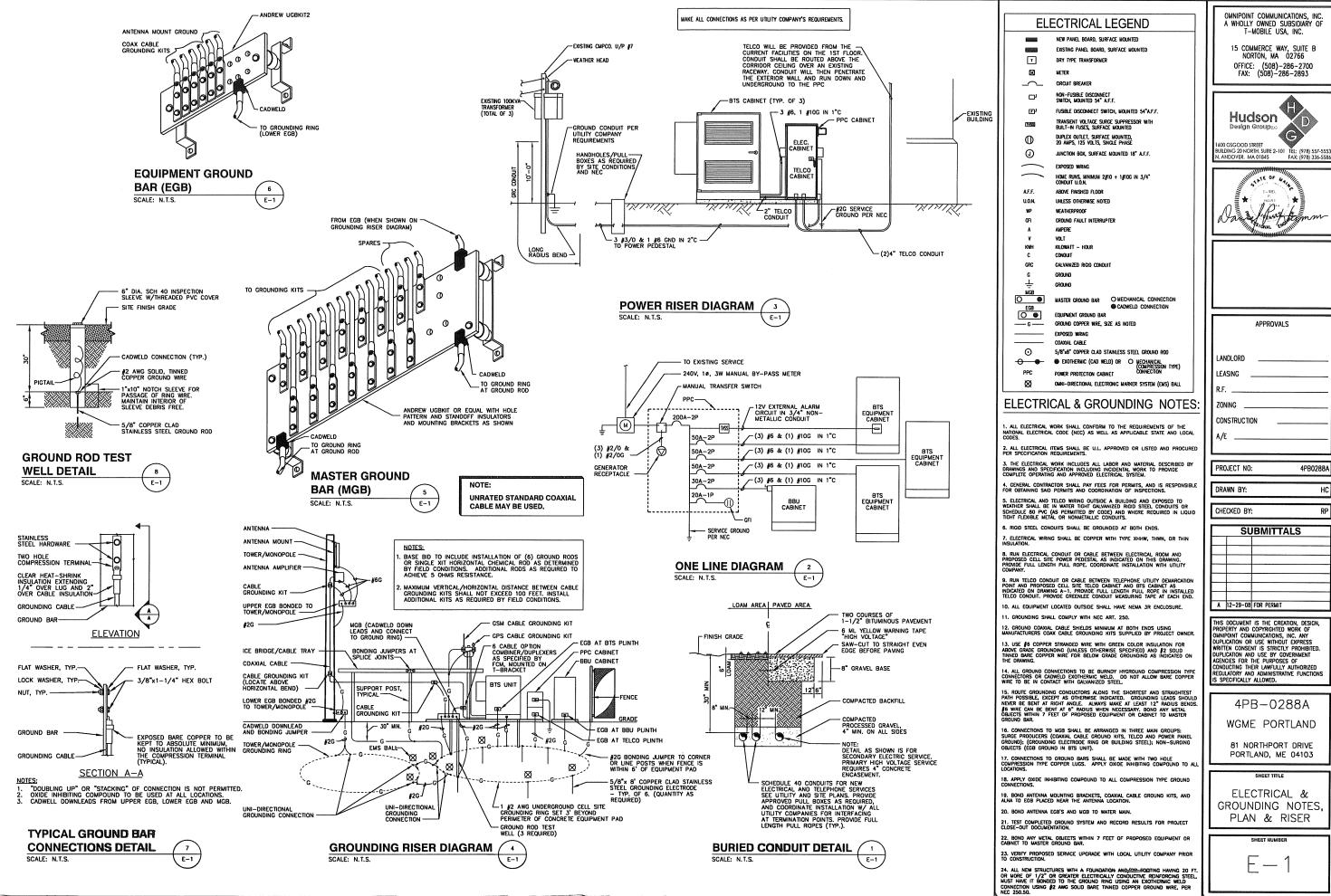
20. WHERE ROOF PENETRATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT AND COORDINATE RELATED WORK WITH THE BUILDING OWNER AND THE EXISTING ROOF INSTALLER. WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO NOT VOID THE EXISTING ROOF WARNATY.





OMNIPOINT COMMUNICATIONS, INC. A WHOLLY OWNED SUBSIDIARY OF T-MOBILE USA, INC. 15 COMMERCE WAY, SUITE B NORTON, MA 02766 OFFICE: (508)-286-2700 FAX: (508)-286-2893 HUCISON Design Grouptic Design Grouptic 1600 OSGOOD STREET BUILDING 20 NORTH SUITE 2-101 TEL: (978) 355-555 N. ANDOVER. MA DIBAS N. ANDOVER. MA DIBAS N. ANDOVER. MA DIBAS	۲
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APPROVALS	
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# WGME PORTLAND

81 NORTHPORT DRIVE PORTLAND, ME 04103

## SITE NUMBER: 4PB-0288A

SITE TYPE: CO-LOCATION / LATTICE TOWER

#### T-MOBILE TECHNICIAN SITE SAFETY NOTES

LOCATION SECTOR A: SECTOR B: SECTOR C: GPS/LMU: RADIO CABINETS: PPC DISCONNECT: MAIN CIRCUIT D/C: NIU/T DEMARC: OTHER/SPECIAL:

SPECIAL RESTRICTIONS ACCESS NOT PERMITTED ACCESS NOT PERMITTED ACCESS NOT PERMITTED ACCESS PERMITTED, LADDER REQUIRED UNRESTRICTED UNRESTRICTED UNRESTRICTED UNRESTRICTED NONE

#### **GENERAL NOTES**

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISCITIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSLALED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.

2. THE ARCHITECT/ENGINEER HAS MADE EVERY EFFORT TO SET FORTH 2. THE ARCHIELIZERUNCER HAS MADE EVENT FOR SCIENCING AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK, THE CONTRACTOR BUDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.

1 THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE WORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.

4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.

THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PROP TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL INSTALL ALL FOURPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE

8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDEMOUNDS OR CLARRICATIONS AVAILABLE FOR THE USE BY ALL DEPENDENT UPUT UPUT UPUT UPUT DOCESS. PERSONNEL INVOLVED WITH THE PROJECT

9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT 9. THE CONTINUES AND FOR CONTINUES HALL BE SOLELY RESPONSIBLE DESCRIBED HEREN. THE CONTINUES SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND CRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.

12. THE CONTRACTOR SHALL WAKE ALL NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO RUCTION ON OR ABOUT THE PROPERTY.

13. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING LINE CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS , DUST, OR SMUDGES OF ANY NATURE

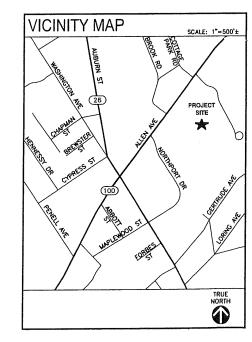
THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.

15. THE CONTRACTOR SHALL NOTFY THE PROJECT OWNER REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS, THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE PROJECT OWNER REPRESENTATIVE.

(1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY

18. PER ECC MANDATE, ENHANCED ENERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WHELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON DEPENDENT OF CONTRECT AND ANTENNAS CONTRECT OF THE DATA THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROVIDENT AND BTS RADIO CABINETS, THE PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.

-DIG-SAFE



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#### DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE. IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SHEET INDEX					
SHT. NO.	DESCRIPTION	REV. NO.			
T-1	TITLE SHEET	A			
C-1	PLOT PLAN & NOTES	A			
A-1	PLAN & ELEVATION	A			
S-1	STRUCTURAL NOTES, PLANS & DETAILS	A			
S-2	DETAILS	A			
E-1	ELECTRICAL & GROUNDING NOTES,	A			
	PLAN & RISER				
THE FOLLOWING SHEETS ARE USED ONLY FOR FEDERAL REGULATORY COMPLIANCE UNDER FCC AND OSHA STANDARDS. BUILDING CODE LIFE AND SAFETY PROVISIONS ARE NOT APPLICABLE AND THEREFORE THESE SHEETS HAVE BEEN OMITTED FOR STATE/LOCAL PERMITTING AND CONSTRUCTION CONTROL.					
EME-1	RF/EME SAFETY PLAN	Α			
EME-2	RF/EME SIGNAGE PLAN	Α			
EME-3	RF/EME SIGNAGE BOM	Α			

#### **PROJECT SUMMARY**

SITE NUMBER: SITE NAME:

SITE ADDRESS:

ZONING DISTRICT:

DEED BOOK /PAGE:

CONSTRUCTION TYPE:

PROPERTY OWNER:

TOWER OWNER:

APPLICANT:

PRO	ANDARDS. BUILDING CODE LIFE AND SAFET /ISIONS ARE NOT APPLICABLE AND THEREF SHEETS HAVE BEEN OMITTED FOR STATE/	ORE			
PERMITTING AND CONSTRUCTION CONTROL.					
EME-1	RF/EME SAFETY PLAN	A			
EME-2	RF/EME SIGNAGE PLAN	A			
EME-3	RF/EME SIGNAGE BOM	Α			
EME-4	RF/EME DATA TABLE	А			

4PB-0288A

WGMF PORTLAND

81 NORTHPORT DRIVE PORTLAND, ME 04103

ASSESSOR'S MAP & LOT #: MAP: 401; BLOCK: A; LOT: 5081

B-2 (BUSINESS 2)

24799/326

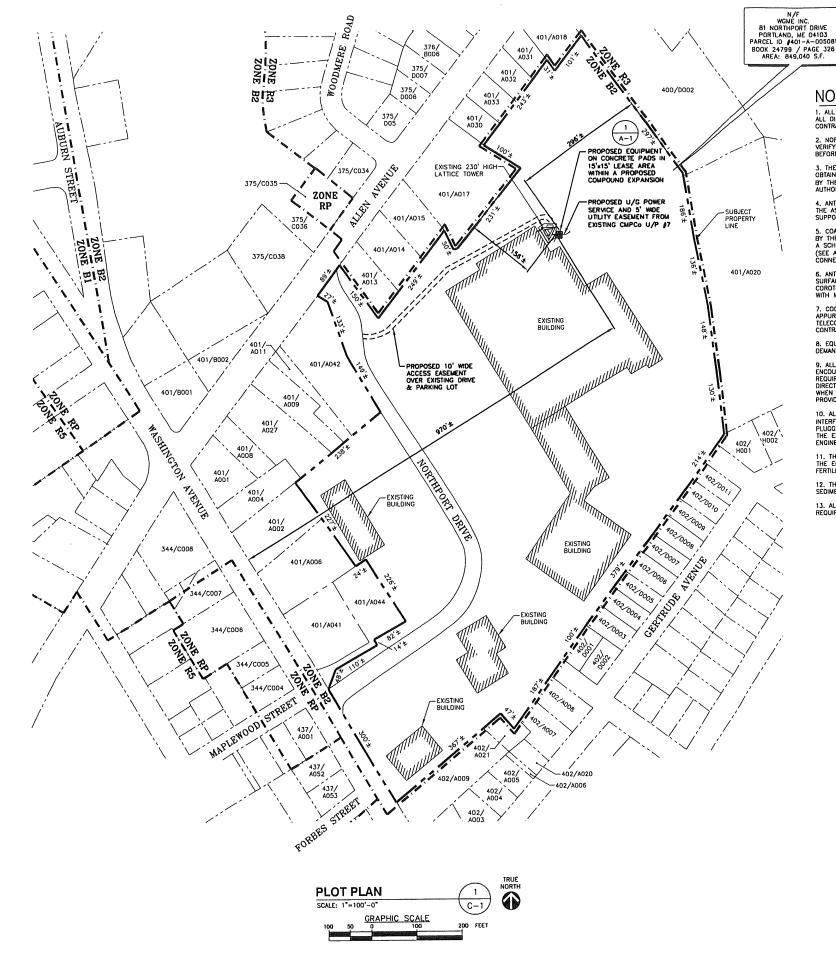
CO-LOCATION / LATTICE TOWER

WGME INC. 81 NORTHPORT DRIVE PORTLAND, ME 04103

WGME INC. 81 NORTHPORT DRIVE PORTLAND, ME 04103

OMNIPOINT COMMUNICATIONS, INC. 15 COMMERCE WAY, SUITE B NORTON, MA 02766





## NOTES:

1. ALL DIMENSIONS SHOWN THUS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WHICH EFFECT THE CONTRACTORS WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH OWNER PRIOR TO CONSTRUCTION.

2. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH, CONTRACTOR SHALL VERIFY TRUE NORTH AND INFORM CONSTRUCTION MANAGER OF ANY DISCREPANCIES BEFORE STARTING CONSTRUCTION.

3. THE CONTRACTOR AND OR HIS SUB CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTRY OR LOCAL GOVERNMENT

4. ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES AND SUPPORT STRUCTURES.

5. COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE PROVIDED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. A SCHEDULE OF OWNER SUPPLIED MATERIALS IS ATTACHED TO THE BID DOCUMENTS (SEE ATTACHMENT K). ALL OTHER HARDWARE TO BE PROVIDED BY THE CONTRACTOR CONNECTION HARDWARE SHALL BE STAINLESS STEEL.

6. ANTENNAS, SUPPORTS AND CABLE MOUNTS SHALL BE PAINTED TO MATCH EXISTING SURFACES TO WHICH IT IS ATTACHED. PAINT SHALL BE SHERWIN WILLIAMS, COROTHANE II. SURFACE PREPARATION AND APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND PROJECT OWNER GUIDELINES.

7. COORDINATION, LAYOUT, AND FURNISHING OF CONDUIT, CABLE AND ALL APPURTEMANCES REQUIRED FOR PROPER INSTALLATION OF ELECTRICAL AND TELECOMMUNICATION SERVICE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

8. EQUIPMENT WILL BE INDEPENDENTLY POWERED WITH A UTILITY METER WITH DEMAND REGISTERS.

9. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER ORILING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THEIR WORKING CREW.

10. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF UTILITY COMPANY ENGINEERING

11. THE AREAS OF THE PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT, DRIVEWAY OR GRAVEL, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED AND COVERED WITH MULCH.

12. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN SOIL EROSION AND SEDIMENTATION CONTROLS AT ALL TIMES DURING CONSTRUCTION.

13. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.

#### SOURCE:

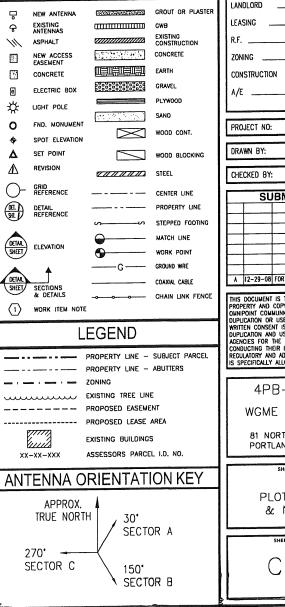
- PLOT PLAN BASED ON PLAN BY SEBAGO TECHNICS FOR NORTHROP REALTY TRUST DATED 12/12/05.
- 2. CITY OF PORTLAND ASSESROR'S MAP #401 DATED 4/1/07.
- SITE SPECIFIC NOTES
- Site Survey has not been conducted by hudson design group LLC for this project, all setbacks shown on this plan is based on above referenced drawings.
- 2. ALL SETBACKS ARE SHOWN FROM THE PROPOSED EQUIPMENT.

ZONING INFORMATION			
DIMENSION REQUIR	EMENTS:	REQUIRED	PROPOSED±
EQUIPMENT SETER	CKS:		
FRONT YARD SETE	ACK:	NA	970'±
SIDE YARD SETBA	СК:	10'	156'±
REAR YARD SETBA	CK:	10'	296'±
APPLICANT:	15 COMM	T COMMUNICATIO ERCE WAY, SUIT MA 02766	
		PORT DRIVE	
ZONING DISTRICT: B-2 (BU JURISDICTION: CITY OF CUMBERU ASSESSOR'S ID: 401-A-0		PIORTLAND AND COUNTY, M	E
ASSESSON S IO. TOT IT O			

### **ABBREVIATIONS**

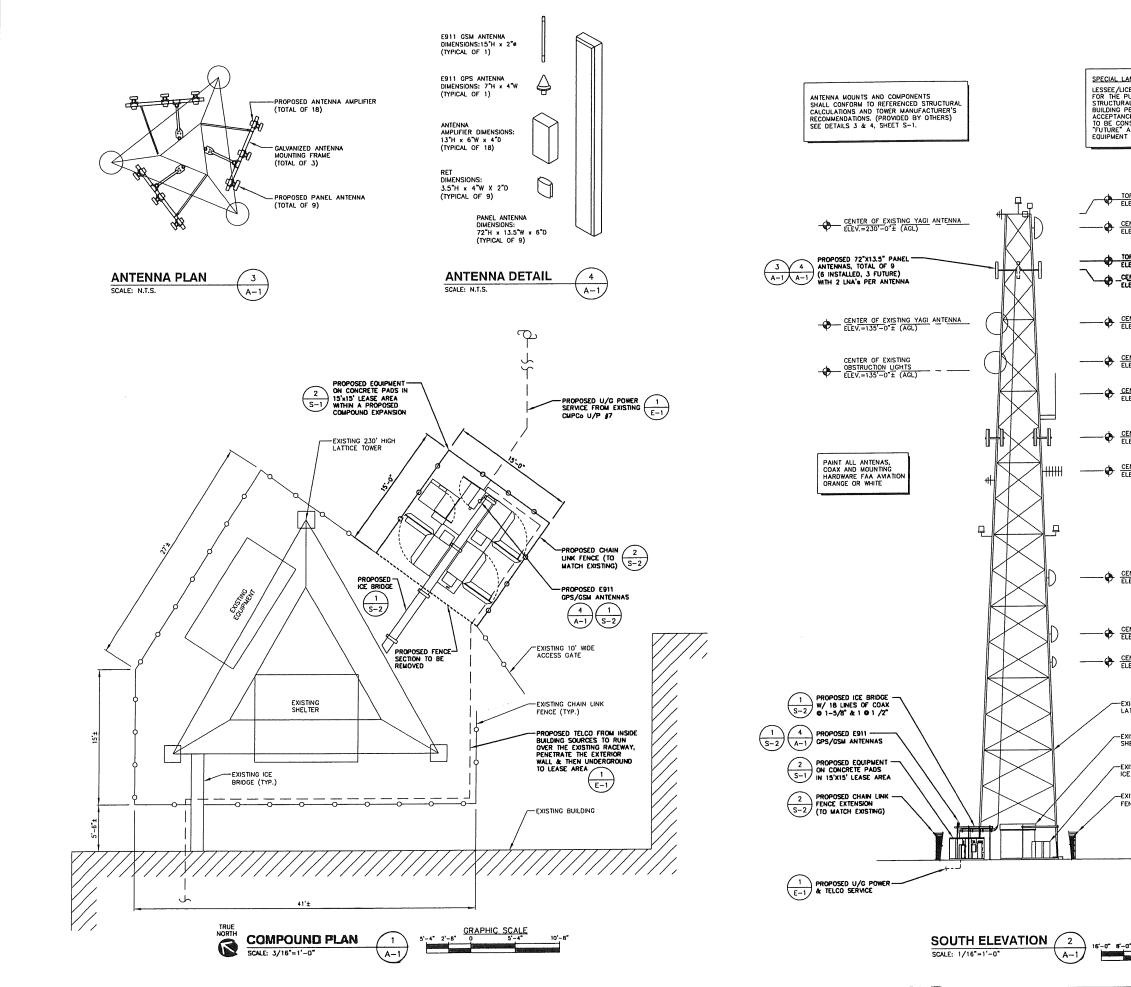
AND DESCRIPTION OF THE OWNER OF T			
NDJ	ADJUSTABLE	мах	MAXIMUM
PPROX	APPROXIMATE	месн	MECHANICAL
ets	BASE TRANSMISSION STATION	MFR	MANUFACTURER
2	CONDUIT	MGB	MASTER GROUND BAR
сми	CONCRETE MASONRY UNIT	MIN	MINIMUM
CONC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CJ	CONSTRUCTION JOINT	NTS	NOT TO SCALE
DIA	DIAMETER	oc	ON CENTER
DWG	DRAWING	OPP	OPPOSITE
EGB	EQUIPMENT GROUND BAR	SF	SQUARE FOOT
EA	EACH	SHT	SHEET
ELEC	ELECTRICAL	SIM	SIMILAR
EL	ELEVATION	STL	STEEL
EQ	EQUAL	TOC	TOP OF CONCRETE
EQUIP	EQUIPMENT	том	TOP OF MASONRY
EXISTING	EXISTING	TYP	TYPICAL
EXT	EXTERIOR	VIF	VERIFY IN FIELD
FF	FINISHED FLOOR	LG	LONG
FG	FINISHED GRADE	WWF	WELDED WIRE FABRIC
GA	GAUGE	w/	WITH
GALV	GALVANIZED	LNA	LOW NOISE AMPLIFIER
GC	GENERAL CONTRACTOR	ጚ	PLATE
GWB	GYPSUM WALLBOARD	8c	AND
UON	UNLESS OTHERWISE NOTED	Ģ	AT
PCS	PERSONAL COMMUNICATIONS SERVICES		

### SYMBOLS AND MATERIALS

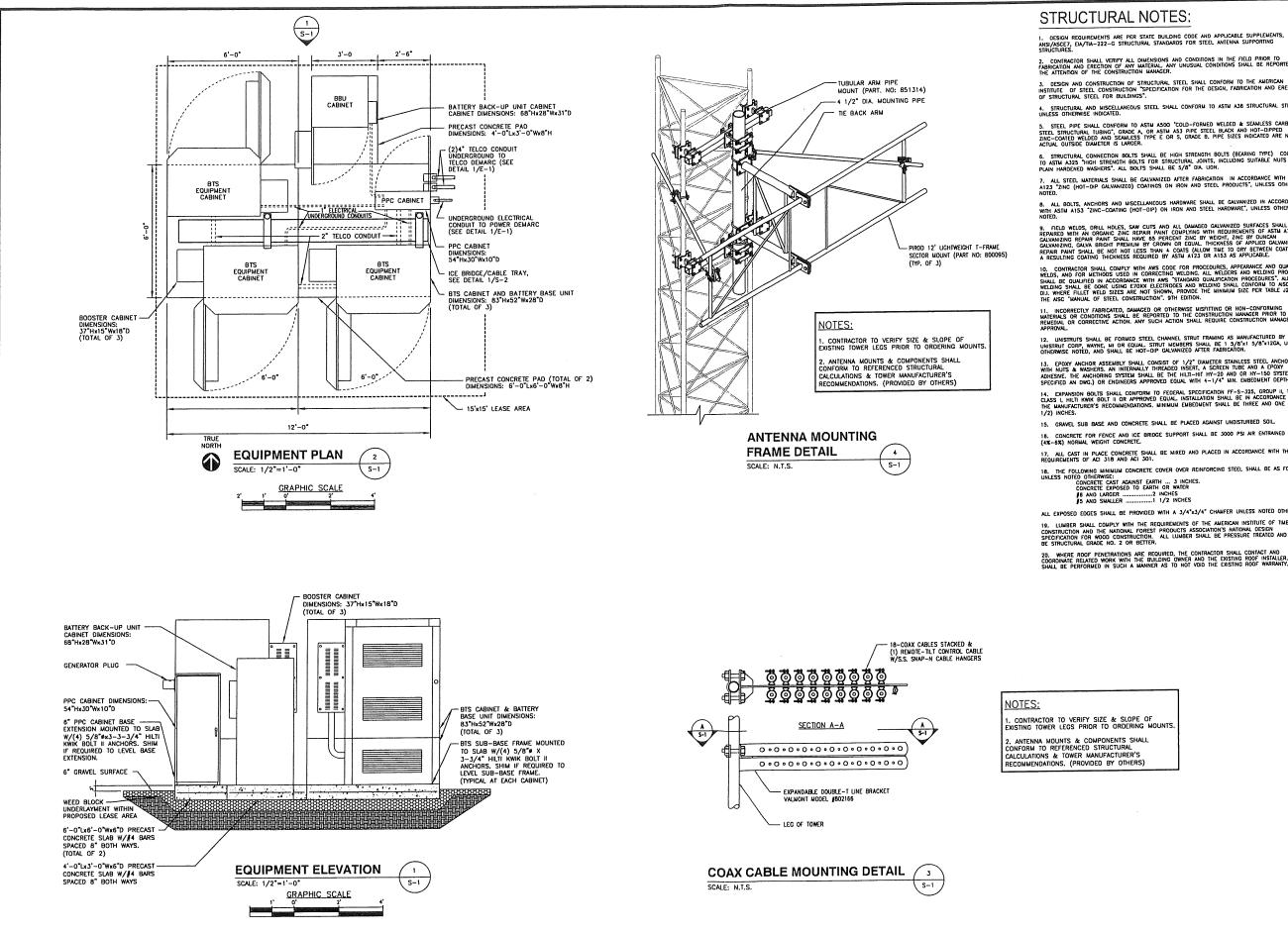




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				OMNIPOINT COMMUNICATIONS, INC. A WHOLLY OWNED SUBSIDIARY OF T-MOBILE USA, INC.
			15 COMMERCE WAY, SUITE B NORTON, MA 02766	
				OFFICE: (508)-286-2700 FAX: (508)-286-2893
LANDLORD NOTE: ICENSEE "FUTURE" PANEL ANTENNAS ARE	DEPIC	TED		
PURPOSES OF DETERMINING TOWER/MONOR RAL CAPACITY, OBTAINING ZONING APPROV	ALS A	ND		
			т	Hudson Hudson
VEE OF THIS DRAWING BY THE TOWER OM NSTRUED AS PERMISSION OR APPROVAL I ANTENNAS THAT EXCEED "PROPOSEO" OR IT LISTED IN THE LESSEE/LICENSEE LEASE	ACT	JAL EMER	NT.	Design Groupue
				1600 OSGOOD STREET BULIDING 20 NORTH, SUITE 2-101 TEL: (978) 557-5553
				N. ANDOVER. MA 01845 FAX: (978) 336-5586
				Summer of Markell
TOP OF EXISTING LATTICE TOWER ELEV.≠230'-0"± (AGL)			-	
CENTER OF EXISTING DISH ANTENNA				Dan the form
LEV.=225'-0*± (AGL)				Darman these these mon
ICP OF PROPOSED ANTENNAS		1	F	
CENTER OF PROPOSED ANTENNAS		ſ		
CENTER_OF_EXISTING_DISH_ANTENNA ELEV.=191'-0"± (AGL)				
ELEV.=191'-0"± (AGL)				
				APPROVALS
<u>CENTER_OF_EXISTING_DISH_ANTENNA</u> ELEV.=177'-0"± (AGL)				
				LANDLORD
<u>CENTER_OF_WHIP_ANTENNA</u> ELEV.=158'-0"± (AGL)				LEASING
				R.F
CENTER OF EXISTING ANTENNAS				ZONING
ELEV.=150'-0"± (AGL)			CONSTRUCTION	
CENTER_OF_EXISTING_ANTENNA ELEV.=138'-0"± (AGL)				A/E
LLEV.=138-0 ± (AGL)				
	(T)	ਡ	(AGL)	PROJECT NO: 4PB0288A
	₽	= 213'-0"± (AGL)		PROJECT NO. TO DOZDON
	210'-	13'-0	230'-0*±	DRAWN BY: HC
	3		íER =	CHECKED BY: RP
CENTER OF EXISTING DISH ANTENNA	antennas = 210'-0"± (agl)	ANTENNAS	E TOWER	
ELEV.=100'-0"± (AGL)	8	A	LATTICE	SUBMITTALS
	P024	OF PROPOSE	EXISTING	
	CENTER OF PROPOS	97 19	OF EXIS	
CENTER OF EXISTING DISH ANTENNA CLEV.=80'-0'± (AGL)	CENTE	<b>1</b> 0	10P 0	
CENTER OF EXISTING DISH ANTENNA				A 12-29-08 FOR PERMIT
ELEV.=70'-0"± (AGL)				
				THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF OMNIPOINT COMMUNICATIONS, INC. ANY
EXISTING 230' HIGH				WRITTEN CONSENT IS STRICTLY PROHIBITED.
ATTICE TOWER				DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF
				CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.
SHELTER				
EXISTING EQUIPMENT W/				4PB-0288A
				WGME PORTLAND
EXISTING CHAIN UNK FENCE (TYP.)				
				81 NORTHPORT DRIVE PORTLAND, ME 04103
				, entering, me offoo
GROUND LEVEL				SHEET TITLE
GROUND LEVEL ELEV.=0'-0" (AGL)				SHEET TITLE PLAN &
GROUND LEVEL ELEV.=0'-0" (AGL)				
GROUND LEVEL ELEV.=0'-0" (AGL)				PLAN &
GROUND LEVEL ELEV.=0'-0" (ACL)				PLAN &
CRAPHIC SCALE				PLAN & ELEVATION
				PLAN & ELEVATION
CRAPHIC SCALE				PLAN & ELEVATION



Contractor shall verify all dimensions and combinions in the field prior to farrication and erection of any material any unusual conditions shall be reported to the attention of the construction wavager.

3. DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".

4. STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A38 STRUCTURAL STEEL UNLESS OTHERWISE INDICATED.

5. STEEL PIPE SHALL CONFORM TO ASTU A500 "COLD-FORMED WELDED & SEAMLESS CARBON STEEL STRUCTURAL TUBING", ORADE A, OR ASTM A53 PIPE STEEL BLOCK AND HOT-DIPPED ZING-COATED WELDED AND SEAMLESS TYPE E OR 5, ORADE B. PIPE SIZES INDICATED ARE NOMINAL ACTUAL OUTSDE DAMATER IS LARGER.

6. STRUCTURAL CONNECTION BOLTS SHALL BE HIGH STRENGTH BOLTS (BEARING TYPE) CONFORM TO ASTM A325 "HIGH STRENGTH BOLTS FOR STRUCTURAL JOINTS, INCLUDING SUITABLE NUTS AND PLAIN HARDENED WASHERS". ALL BOLTS SHALL BE 5/6" DIA. LION.

7. ALL STEEL MATERIALS SHALL BE CALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTU A123 ZUNC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE

8. ALL BOLTS, ANCHORS AND MISCELLANEOUS HAROWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.

9. FIELD WELDS, DRILL HOLES, SAW CUTS AND ALL DAMAGED GALVANIZED SURFACES SHALL BE REPARED WITH AN ORGANIC ZING REPAIR PAINT COMPLYING WITH REQUIREMENTS OF ASTU A780. CALVANIZING REPAR PAINT SHALL HAVE 65 PERCENT ZING 5W WEIGHT, ZING WE DUNCAM GALVANIZING, CALVA BIRCHT PREUILUB BY CROWN OR EQUAL THICKNESS OF APPLED CALVANIZING REPAR PAINT SHALL BE NOT NOT LESS THAN 4 CONS (ALLOW THE TO DRY BETWEEN COATS) W A RESULTING COATING THICKNESS REQUIRED BY ASTM A123 OR A153 AS APPLICABLE.

I.G. CONTRACTOR SHALL COUPLY WITH ANS CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WEIDS, AND FOR METHODS USED IN CORRECTING WEIDING, ALL WILDERS AND WEIDING PROCESSES SHALL BE QUALIFED IN ACCORANCE WITH ANS 'STAINARD QUALIFICATION PROCESSIES', ALL WILDING SHALL BE DONE USING FOXX ELECTRODES AND WEIDING SHALL CONFORM TO AISC AND DI, WHERE FULLET WEID SIES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE 42.4 IN THE AISC 'MANUAL OF STEEL CONSTRUCTION', 9TH EDITION.

11. INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE WISPITTING OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE CONSTRUCTION MANAGER PRIOR TO REVENUE OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE CONSTRUCTION MANAGER APPROVAL.

12. UNISTRUIS SHALL BE FORMED STEEL CHANNEL STRUT FRAMING AS MANUFACTURED BY UNISTRUIT CORP, WANNE, MI OR EQUAL, STRUT MEMBERS SHALL BE 1 5/8/11 5/8/120A, UNLESS OTHERMSE NOTEO, AND SHALL BE HOT-DIP GALVANZED ATTER FABRICATION.

1.3. EPOXY ANCHOR ASSEMBLY SHALL CONSIST OF 1/2" DUWLETER STAINLESS STEEL ANCHOR ROD WITH NUTS & WASHERS. AN INTERNALLY THREADED INSERT, A SCREEN TUBE AND A EPOXY ADLESSIVE. THE ANCHORING SYSTEM SHALL BE THE HILL-HILH H $^{-2}$ 0 AND OR HY-150 SYSTEMS (AS SPECIFIED AN DWG.) OR ENGINEERS APPROVED EQUAL WITH 4-1/4" WIN. EMBEDWENT DEPTH.

14. EXPANSION BOLTS SHALL CONFORM TO FEDERAL SPECIFICATION FF-S-325, GROUP II, TYPE 4, CLASS I, HILT KWK BOLT II OR APPROVED EQUAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTUREN'S RECOMMENDATIONS, MINIMUM EMBEDNENT SHALL BE THREE AND ONE HALF (3 1/2) INCHES

15. GRAVEL SUB BASE AND CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL.

17. ALL CAST IN PLACE CONCRETE SHALL BE NIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND ACI 301.

18. THE FOLLOWING MINIUM CONCRETE COVER OVER REINFORCING STEEL SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE: CONCRETE CASE LAQUAST EARTH ... J INCHES. CONCRETE EXPOSED TO EARTH OR WATER LADUAL DECEMBER OF DECEMBE

5 AND LARGER ...... 2 INCHES 5 AND SMALLER ...... 1 1/2 INCHES

ALL EXPOSED EDGES SHALL BE PROVIDED WITH A 3/4"x3/4" CHANFER UNLESS NOTED OTHERWISE.

19. LUNBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF THEBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, ALL LUNBER SHALL BE PRESSURE TREATED AND SHALL BE STRUCTURAL GRADE NO. 2 OR BETTER.

20. WHERE ROOF PENETRATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT AND COORDINATE RELATED WORK WITH THE BUILDING OWNER AND THE EXISTING ROOF INSTALLER. WORK CONTRACTOR SHALL BE REFERENCE ON SUCH A MANNER AS TO NOT VOID THE EXISTING ROOF WARRANTY.

SLOPE OF DRDERING MOUNTS.
NTS SHALL
TURER'S

OMNIPOINT COMMUNICATIONS, INC. A WHOLLY OWNED SUBSIDIARY OF T-MOBILE USA, INC. 15 COMMERCE WAY, SUITE B NORTON, MA 02766

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00 OSGOOD STREET JILDING 20 NORTH. SUITE 2-101 TEL: (978) 557-5553 . ANDOVER, MA 01845 FAX: (978) 336-5586



APPROVALS

LANDLORD
LEASING
R.F
ZONING
CONSTRUCTION
А/Е

4PB0288A PROJECT NO:

нс DRAWN BY:

CHECKED BY:

SUBMITTALS

A 12-29-08 FOR PERMIT

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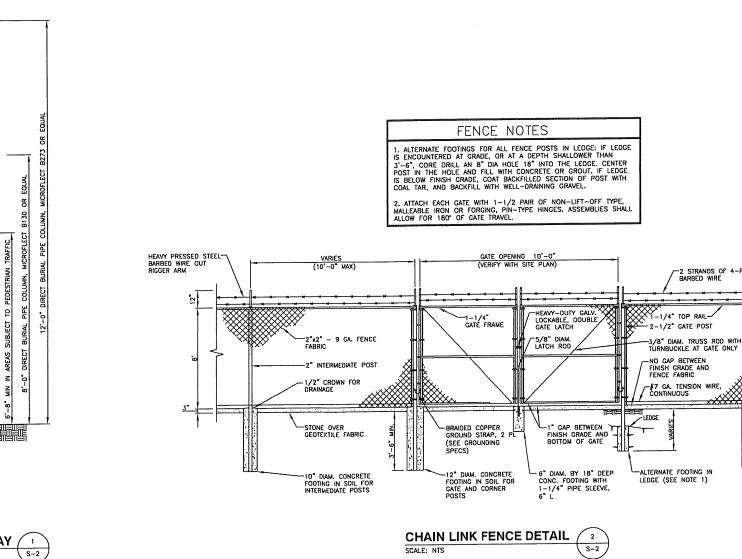
WGME PORTLAND

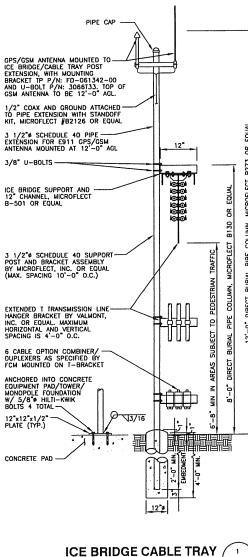
81 NORTHPORT DRIVE PORTLAND, ME 04103

STRUCTURAL NOTES PLANS & DETAILS

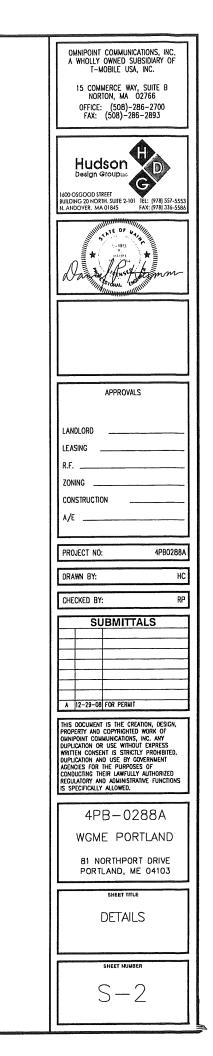
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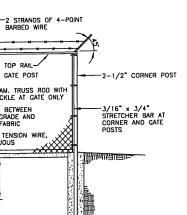


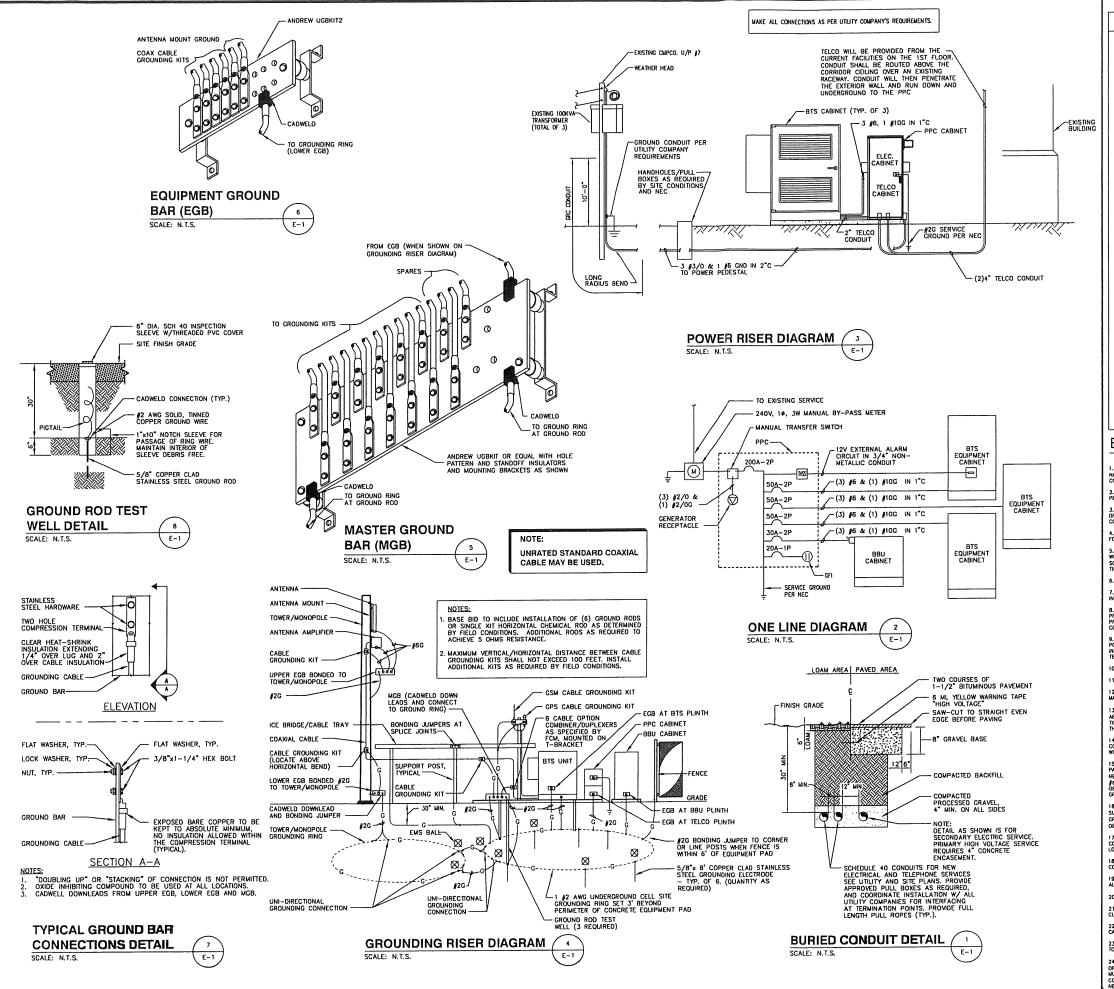


SCALE: N.T.S.



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#### ELECTRICAL LEGEND

	NEW PANEL BOARD, SURFACE WOUNTED
	EXISTING PANEL BOARD, SURFACE MOUNTED
Ţ	dry type transformer
W	METER
	CIRCUIT BREAKER
C)	Hon-Fusible disconnect Switch, Mounted 54° A.F.F.
Бh	FUSBLE DISCONNECT SWITCH, HOUNTED 54"A.F.F.
055	transieht voltage surge suppressor with Built-in fuses, surfage mounted
Φ	DUPLEX OUTLET, SURFACE MOUNTED, 20 AMPS, 125 VOLTS, SINGLE PHASE
J	JUNCTION BOX, SURFACE NOUNTED 18" A.F.F.
	EXPOSED WRING
$\frown$	HOME RUNS, MINIMUM 2/10 + 1/10g in 3/4" Conduit U.O.N.
A.F.F.	ABOVE FINISHED FLOOR
U.O.N.	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF
ଜୀ	GROUND FAULT INTERRUPTER
٨	ALIPERE
v	VOLT
KWH	KILORATT - HOUR
c	CONDUIT
GRC	GALVANIZED RIGED CONDUIT
C	GROUND
÷	GROUND
MCB ECB	WASTER CROUND BAR O NECHANICAL CONNECTION
<u> </u>	equipment ground bar ground copper wre, size as noted
	EXPOSED WRING
	COANDAL CABLE
$\odot$	5/8"x8" COPPER CLAD STAINLESS STEEL GROUND ROD
- <del></del> •-	EXOTHERNIC (CAD WELD) OR O NECHANICAL (COMPRESSION TYPE)
PPC	POWER PROTECTION CABINET CONNECTION
Ø	OWNI-DIRECTIONAL ELECTRONIC WARKER SYSTEM (ENS) BALL

#### ELECTRICAL & GROUNDING NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.

2. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.

3. THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIB DRAWINGS AND SPECIFICATION INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.

. GENERAL CONTRACTOR SHALL PAY FEES FOR PERWITS, AND IS RESPONSIBLE OR OBTAINING SAID PERWITS AND COORDINATION OF INSPECTIONS.

5. ELECTRICAL AND TELCO WRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT OLLVANIZED RIGH STEEL CONDUITS OR SCHEDULE BO PKO (AS PERMITED BY COSE) AND WHERE REQUIRED IN UQ TIGHT FLEXIBLE WETAL OR NONWETALLIC CONDUITS.

, RIGID STEEL CONDUITS SHALL BE GROUNDED AT BOTH ENDS.

7. ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THWN, OR THIN

8. RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL ROOM AND PROPOSED CELL SITE POWER PEDESTAL AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE, COORDINATE INSTALLATION WITH UTILITY COMPANY.

9, RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT NO PROPOSED CELL SITE TELCO CABINET AND BTS CABINET AS INDICATED ON DRAWING A-1, PROMOE FULL LENGTH PULL ROPE IN INSTALLED RELCO CONDUIT. RROWDE GREENLEE CONDUIT MEASURING TAPE AT EACH END.

10. ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEWA JR ENCLOSURE 11. GROUNDING SHALL COMPLY WITH NEC ART. 250.

2, GROUND COAXIAL CABLE SHIELDS WININUM AT BOTH ENDS USING ANNUFACTURERS COAX CABLE GROUNDING KITS SUPPLIED BY PROJECT OWNED

13. USE 16 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND 12 SOUD TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.

14. ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYP CONNECTORS OR CADWELD EXOTHERMIC WELD, DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH CALVANIZED STEEL

15. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAUGHTEST PATH POSSIBLE, EXCEPT AS ORTEMISES INDUCTORS, GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS WAKE AT LEAST 12 RADUIS BENDS, 16 WIRE CAN BE BENT AT FOR FADULS WHEN KNECESSAY. BOND ANY WEN, OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR CABINET TO MASTER GROUND BAY.

16, CONNECTIONS TO MGB SHALL BE ARRANGED IN THREE MAIN GROUPS: SURCE PRODUCERS (COAXUL CABLE GROUND KITS, TELCO AND POWER PANEL GROUND); (CROUNDONG ELECTRODE RING OR BUILDING STEEL); NON-SURGING GBJECTS (EGB GROUND IN BTS UNIT).

17. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUCS. APPLY OXIDE INHIBITING COMPOUND TO LOCATIONS.

8. APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND

19, BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUND KITS, AND ALNA TO EGB PLACED NEAR THE ANTENNA LOCATION.

20, BOND ANTENNA EGB'S AND NGB TO WATER MAIN

21. TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.

22, BOND ANY WETAL OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR ABINET TO MASTER GROUND BAR. 23. VERIFY PROPOSED SERVICE UPGRADE WITH LOCAL UTIUT

24. ALL NEW STRUCTURES WITH A FOUNDATION MAGAGE-BODTING HAVING 20 TI OR NORE OF 1/2 OR GREATER ELECTRICALLY CONDUCTIVE REWORDED UILDS INVE I BONDED TO THE GOOLING ONG USING AN ENDITIONAU WELD CONFECTION USING 1/2 ANG SOULD BARE TINNED COPPER GROUND WIRE, PER NEC 280.30.

