

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 070068

This is to certify that LL BEAN INC /KJK Wirelhas permission to renew and ammend permit # 319 add antenm Equipment cabinets,, utilities, cables and assor equipment toAT 1361 WASHINGTON AVE

provided that the person or persons form or reception accepting this permit shall comply with all
of the provisions of the Statutes of line and of the enances of the City of Portland regulating
the construction, maintenance and use of buildings and structures, and of the application on file in
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and when permission procured
before this building or part thereof is
leased or closed-in 4
HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanie Burke
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD**PERMIT ISSUED**

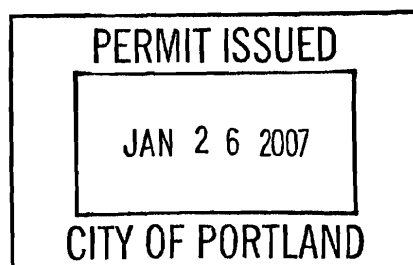
JAN 26 2007

CITY OF PORTLAND

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | | | | |
|---|--|---|--|---|--|
| Permit No: 07-0068 | | Issue Date: | | CBL: 401 A005001 | |
| Location of Construction: 1361 WASHINGTON AVE | | Owner Name: LL BEAN INC | | Owner Address: 15 CASCO ST | |
| Business Name: | | Contractor Name: KJK Wireless | | Contractor Address: 8 Providence Ave Falmouth | |
| Lessee/Buyer's Name | | Phone: | | Permit Type: Amendment to Commercial | |
| Past Use: Commercial - | | Proposed Use: Commercial - renew and ammend permit #041319 add 6 antennas, Equipment cabinets,, utilities, cables and assoc equipment to existing tower. | | Zone: B2 | |
| Permit Fee: \$30.00 | | Cost of Work: \$30.00 | | CEO District: 4 | |
| FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | | INSPECTION: Use Group: Type: | | | |
| Signature: | | Signature: | | | |
| Proposed Project Description: renew and ammend permit #041319 add 6 antennas, Equipment cabinets,, utilities, cables and assoc equipment to existing tower. | | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date: | | | |
| Permit Taken By: Idobson | | Date Applied For: 01/22/2007 | | Zoning Approval | |
| <ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | | Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 1/22/07 ABN | | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | |
| | | Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABN | | | |

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 07-0068 | Date Applied For: 01/22/2007 | CBL: 401 A005001 |
|------------------------------|--|----------------------------|

| | | | |
|---|---|---|--------------------------------|
| Location of Construction: 1361 WASHINGTON AVE | Owner Name: LL BEAN INC | Owner Address: 15 CASCO ST | Phone: |
| Business Name: | Contractor Name: KJK Wireless | Contractor Address: 8 Providence Ave Falmouth | Phone (207) 899-8544 |
| Lessee/Buyer's Name | Phone: | Permit Type: Amendment to Commercial | |

| | |
|--|---|
| Proposed Use: Commercial - renew and ammend permit #041319 add 6 antennas, Equipment cabinets,, utilities, cables and assoc equipment to existing tower. | Proposed Project Description: renew and ammend permit #041319 add 6 antennas, Equipment cabinets,, utilities, cables and assoc equipment to existing tower. |
|--|---|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/22/2007**Note:** Filled out site plan exemption form**Ok to Issue:** ☒

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

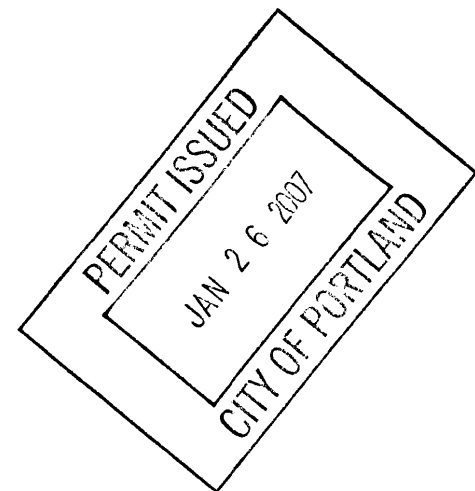
Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/23/2007**Note:****Ok to Issue:** ☒

1) All conditions of the previous approval apply

Comments:

1/23/2007-jmb: Waiting for site plan exemption approval

1/25/2007-gg: received site plan exemption 1/24/07. Gg





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | | |
|---|--|---|--|
| Location/Address of Construction: <u>1361 WASHINGTON AVE</u> | | | |
| Total Square Footage of Proposed Structure <u>CONCRETE PAD FOR EQUIPMENT CABINETS WILL BE 14' X 7' (98 sq ft)</u> | | | Square Footage of Lot |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>401 A S</u> | | Owner: <u>RAYMOND CARYE</u> | Telephone: <u>899-8544</u> |
| Lessee/Buyer's Name (If Applicable) | | Applicant name, address & telephone: <u>KJK WIRELESS FOR US CELLULAR</u> | Cost Of Work: \$ <u>19,000.00</u> Fee: \$ _____ C of O Fee: \$ _____ |
| Current Specific use: <u>TELECOMMUNICATIONS FACILITY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>TELECOMMUNICATIONS FACILITY</u> Project description: <u>RENEW & AMEND BLDG PERMIT #041319. ADD 6 ANTENNAS, EQUIPMENT CABINETS, UTILITIES, CABLES AND ASSOC EQUIPMENT TO EXISTING TOWER.</u> | | | |
| Contractor's name, address & telephone: <u>KJK WIRELESS</u> Who should we contact when the permit is ready: <u>BOB GASHLIN</u> Mailing address: _____ Phone: <u>899-8544</u> <u>8 PROVIDENCE AVE. FALMOUTH, ME 04105</u> | | | |

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Robert E. Ashlin FOR US CELLULAR Date: January 22, 2007

This is not a permit; you may not commence ANY work until the permit is issued.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|---|--|
| Location/Address of Construction: <u>1361 WASHINGTON AVE</u> | | |
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| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>401 A 5</u> | Owner: <u>RAYMOND CARYE</u> | Telephone: <u>899-8544</u> |
| Lessee/Buyer's Name (If Applicable) | Applicant name, address & telephone: <u>KIK WIRELESS FOR US CELLULAR</u> | Cost Of Work: \$ <u>19,000.00</u> Fee: \$ _____ C of O Fee: \$ _____ |
| Current Specific use: <u>TELECOMMUNICATIONS FACILITY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>TELECOMMUNICATIONS FACILITY</u> Project description: <u>RENEW & AMEND BLDG PERMIT #041319. ADD 6 ANTENNAS, EQUIPMENT CABINETS, UTILITIES, CABLES AND ASSOC EQUIPMENT TO EXISTING TOWER.</u> | | |
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| | |
|--|-------------------------------|
| Signature of applicant: <u>Robert E. Gashlin FOR US CELLULAR</u> | Date: <u>January 22, 2007</u> |
|--|-------------------------------|

This is not a permit; you may not commence ANY work until the permit is issued.

KJK WIRELESS

Site Acquisition, Leasing and Zoning
Phone: 207-899-8544

8 Providence Avenue
Falmouth, ME 04105

January 22, 2007

Inspection Services
City of Portland
389 Congress St.
Portland, ME 03908

RE: Maine RSA #1, Inc. Application for Building Permit / WGME-CH13 Tower, 1361
Washington Ave. (Map 401 / A / 005)

Dear Inspection Services:

KJK Wireless represents the permitting interests of Maine RSA #1, Inc. (a.k.a. US Cellular) in Portland, ME and hereby requests to renew building permit # 041319 issued to US Cellular on October 12, 2004 to install equipment at the existing WGME-13 tower located at 1361 Washington Avenue. Attached please find US Cellular's application, permit # 041319, fee, construction drawings and CD containing an engineering structural report and construction drawings.

The proposed equipment includes:

- 14' x 7' concrete pad to be located at base of tower for radio cabinets
- 2' x 3' concrete pad to be located at base of tower for telephone & power backboard
- Underground utilities to ground equipment
- Three (3) 12' mounting brackets for 6 antennas @ 150' tower elevation (tower structural evaluation attached)
- Six (6) cables to connect antennas to ground equipment
- Associated equipment as indicated in site plan

The proposed equipment is essentially the same as that requested in the 2004 application with the following minor changes:

- Page C-2: Equipment pad has been moved 10' +/- so that equipment is not directly underneath the tower
- Page C-2: Telephone & power backboard depicted adjacent to equipment
- Page C-2: Underground utilities path moved 5' +/- to align with new ground equipment location

Please note that 6 antennas were also requested in the 2004 permit application, however, the permit indicated 3 antennas (you may have been referring to the *three* 12' mounting brackets). In any event, the current tower equipment configuration (i.e. antennas & cables) and structural evaluation is unchanged from 2004. This was confirmed by conducting a visual inspection of the tower on January 19, 2006 that included a comparison of the existing tower conditions and equipment with the conditions and equipment used in the All-Points Technology structural evaluation dated 2004.

Also, US Cellular hereby requests the City of Portland to waive any additional requirements such as a site plan review because the installation will not require more than 500 square feet.

Please direct all questions and correspondence to my attention.

Sincerely,

Bob Gashlin
Agent for US Cellular

CC: Ken Kozyra
Dick Houde, US Cellular

Enc: Application
Permit # 041319
Fee
Construction drawings (2 hard copies / 1 CD)
Structural report (CD)

04-138

KJK WIRELESS

Site Acquisition, Leasing and Zoning

148 Witchtrot Road
S. Berwick, ME 03908

Phone: 207-384-5650 (office)
603-498-3860 (mobile)
Fax: 603-299-0387

September 1, 2004

City of Portland
Building Code Department
389 Congress St.
Portland, ME 04101

RE: US Cellular Proposed Building Permit Application / 1335 Washington Ave.

Dear Sir or Madam:

KJK Wireless represents US Cellular's permitting interests on this project.

US Cellular has leased space at 1335 Washington Avenue to add antennas and associated electronics equipment to the existing WGME-13 tower facility. Specifically, US Cellular proposes the following:

- Add three (3) antennas to the existing tower @ 150'. The antennas are 5' tall and weigh 9.1 pounds each.
- Add one (1) 14' x 7' concrete pad at the base of the tower for three (3) equipment cabinets. The pad and cabinets will be located inside an existing fenced compound.
- Add three (3) 1 5/8" cables to connect the antennas to the equipment cabinets.

It is my understanding that a building permit is required for this project. I have enclosed a building permit application, application fee in the amount of ~~\$267.00~~, site plan drawing, structural analysis, and antenna specification for your review. — \$192.00

Please direct all questions and correspondence to my attention.

Sincerely,



Bob Gashlin

401 AS

KJK WIRELESS

Site Acquisition, Leasing and Zoning
Phone: 207-899-8544

8 Providence Avenue
Falmouth, ME 04105

January 22, 2007

Inspection Services
City of Portland
389 Congress St.
Portland, ME 03908

RE: Maine RSA #1, Inc. Application for Building Permit / WGME-CH13 Tower, 1361
Washington Ave. (Map 401 / A / 005)

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KJK Wireless represents the permitting interests of Maine RSA #1, Inc. (a.k.a. US Cellular) in Portland, ME and hereby requests to renew building permit # 041319 issued to US Cellular on October 12, 2004 to install equipment at the existing WGME-13 tower located at 1361 Washington Avenue. Attached please find US Cellular's application, permit # 041319, fee, construction drawings and CD containing an engineering structural report and construction drawings.

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Also, US Cellular hereby requests the City of Portland to waive any additional requirements such as a site plan review because the installation will not require more than 500 square feet.

Please direct all questions and correspondence to my attention.

Sincerely,

Bob Gashlin
Agent for US Cellular

CC: Ken Kozyra
Dick Houde, US Cellular

Enc: Application
Permit # 041319
Fee
Construction drawings (2 hard copies / 1 CD)
Structural report (CD)

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

SECTION

PERMIT

Permit Number: 041319

This is to certify that Carve Raymond A Eta/KJK wireless

has permission to add 3 Antenna's 3 cables to existing Tower & Equip. existing 14x17 and

at 1361 Washington Ave

041 101 1005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on production of this permit or not thereof delayed or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PENALTY FOR REMOVING THIS CARD

Cliff Aug 18/04



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

KJK Wireless Co. US Cellular
Applicant

1/27/07
Application Date

2000 1st Ave. Portland ME 04101
Applicant's Mailing Address

WCME - Tower
Project Name/Description

Bob Campbell 503-857-1114
Consultant/Agent/Phone Number

2000 1st Ave. Portland ME 04101
Address of Proposed Site

CBL: 411-45

Description of Proposed Development:

add wireless tower to existing building
add wireless tower to existing building
add wireless tower to existing building

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)

Planning Office Use Only

| | |
|--|---|
| | ✓ |
| | ✓ |
| | ✓ |
| | ✓ |
| | ✓ |
| | ✓ |
| | ✓ |
| | ✓ |
| | ✓ |



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

KJK Wireless

10/1/04

Applicant

Application Date

140 Witch Rot Rod - S. Berwick, ME WGME-13 Tower

Applicant's Mailing Address

Project Name/Description

Bob Gashlin 304-5650

1335 WASH. AVE

Consultant/Agent/Phone Number

Address of Proposed Site

1335-13th Wash Ave

CBL:

401 A-005 +
402-A-005010

Description of Proposed Development:

Add 3 Antenna - 3 cables to Existing Tower
Add Ground Equipment to 14' x 7' pad on ground

Please Attach Sketch/Plan of Proposal/Development

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

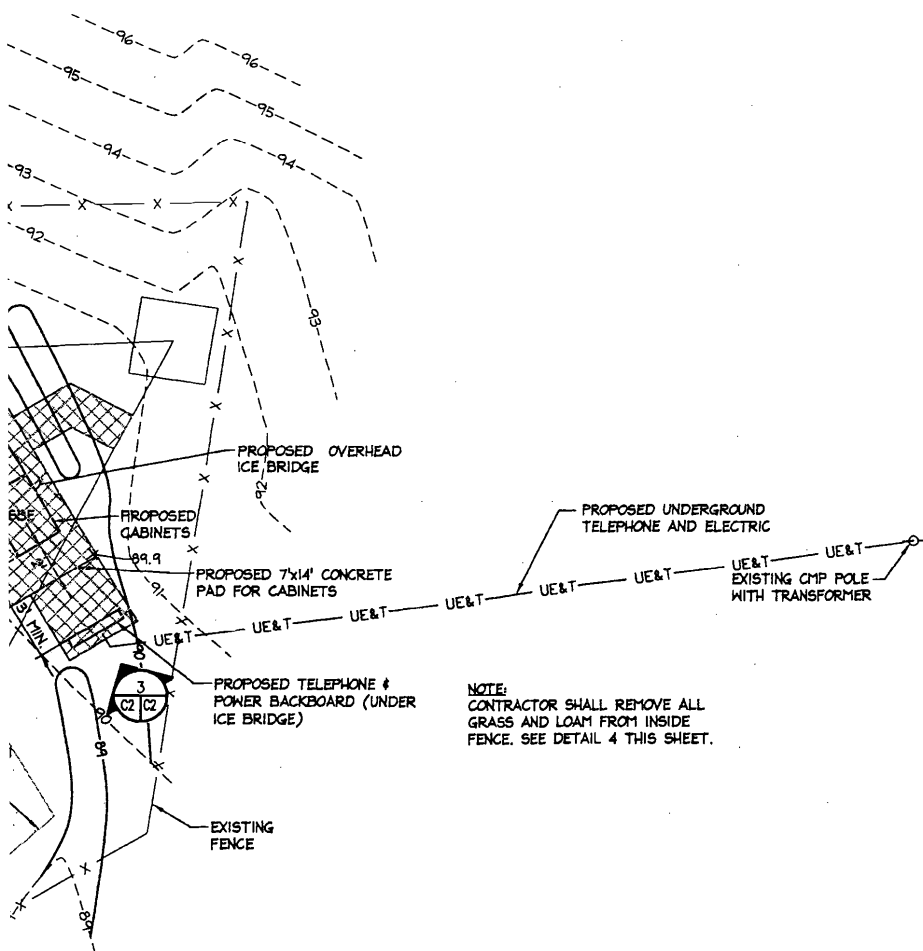
- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Planning Division Use Only

Exemption Granted

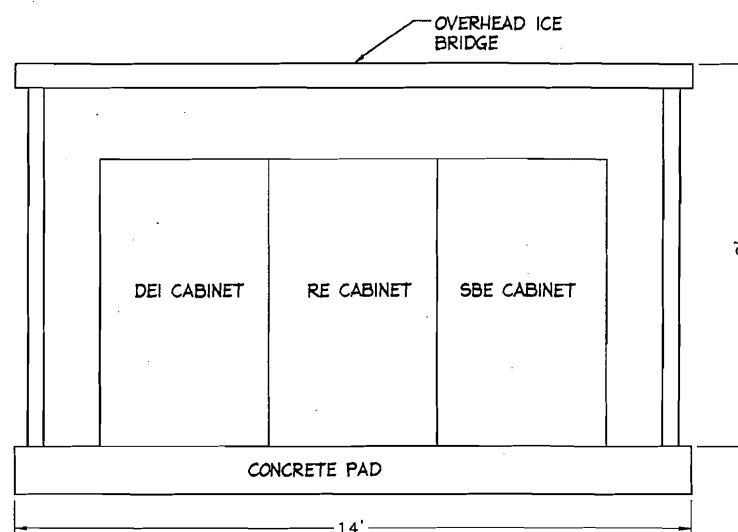
Partial Exemption

Exemption Denied

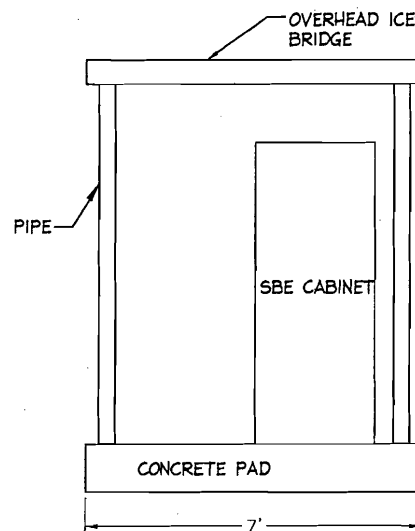


04-1319

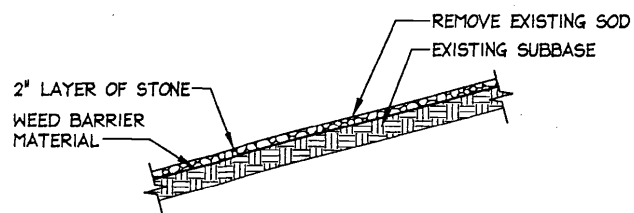
| LEGEND | |
|-----------|---------------------------|
| — X — X — | EXISTING CHAIN LINK FENCE |
| — | PROPOSED CONTOUR |
| ○ | IRON PIN FOUND (AS NOTED) |
| —○— | UTILITY POLE |
| --- | EXISTING CONTOUR |
| ----- | STONE WALL |
| ~~~~~ | EXISTING TREE LINE |



2
C-2
SCALE: N.T.S.



3
C-2
SCALE: N.T.S.



4
C-2
SCALE: N.T.S.

U.S. Cellular.
The way people talk around here.™
288 Route 101, 2nd Floor, Bedford, NH 03110

OEST Associates, Inc.
343 Durham Road • South Portland, ME 04106
engineers architects surveyors construction managers

TEL: (207) 761-1770
FAX: (207) 774-1246

OEST PROJ. NO: 338.11.01

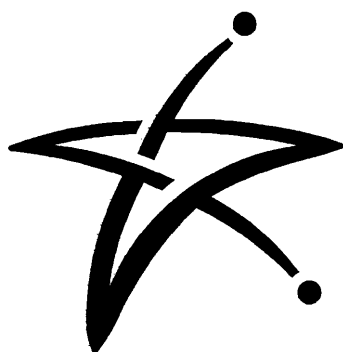
SITE NAME: WGME-13
SITE NUMBER: 853408
ADDRESS: 1335 WASHINGTON AVE
PORTLAND, ME 04103
DRAWING TITLE: SITE PLAN

| REVISIONS | | |
|-----------|------------------|----------|
| NO. | DESCRIPTION | DATE |
| 0 | FOR CONSTRUCTION | 08/16/04 |

DESIGNED BY: MSD
DATE: 08/16/04
DRAWN BY: CBM
SCALE: AS NOTED
CHECKED BY: MSD
PROJECT NO.: 338.11.01

C-2

THIS DRAWING WAS CREATED FOR A FULL SIZE OF 22"x34".
IT HAS BEEN REDUCED 50% FOR SUBMISSION PURPOSES.

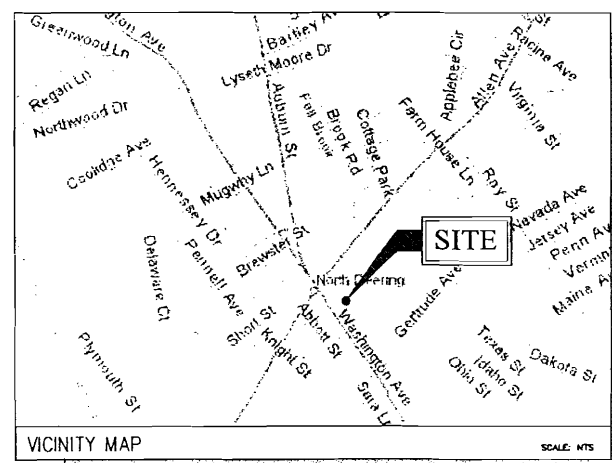


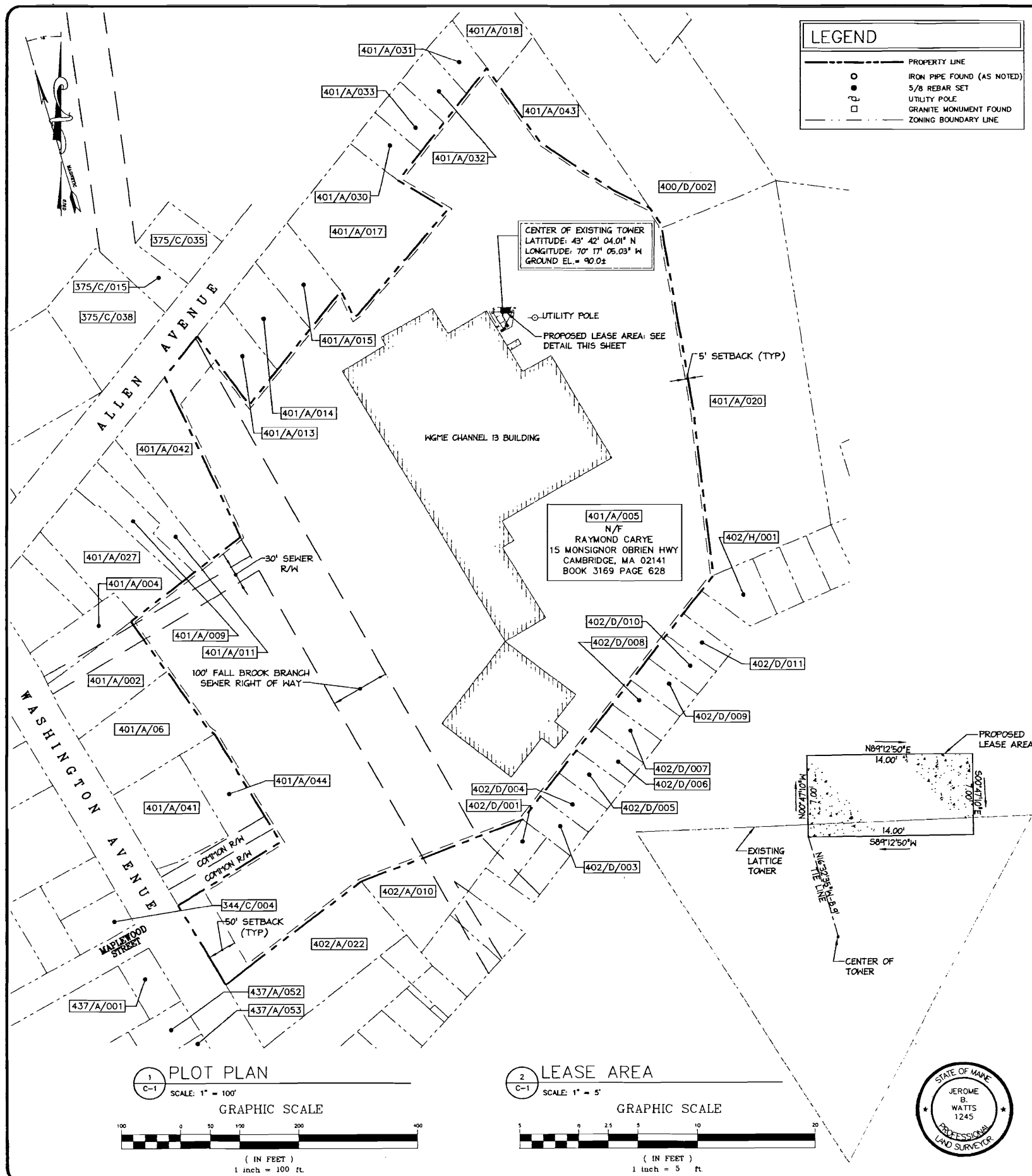
U S Cellular

We connect with you SM

SITE NAME: NORTH DEERING
SITE NO. 853408
LATITUDE: 43°42'04.01"
LONGITUDE: 70°17'05.03"

| | |
|-----------------|--|
| SITE NUMBER: | NORTH DEERING |
| SITE NAME: | 853408 |
| TOWER TYPE: | 230' LATTICE TOWER (EXISTING) |
| SITE ADDRESS: | 1335 WASHINGTON AVE PORTLAND, ME 04103 |
| PROPERTY OWNER: | RAYMOND A. CARYE 15 MONSIGNOR OBRIEN HWY CAMBRIDGE, MA 02141 |
| MAP/BLOCK/LOT: | 401/A/005 |
| APPLICANT: | U.S. CELLULAR c/o KJK WIRELESS 8 PROVIDENCE AVENUE FALMOUTH, ME 04105 (207) 899-8544 |
| PROJECT SUMMARY | |





LIST OF ABUTTERS

CITY OF PORTLAND

| MAP/LOT | RECORD OWNER |
|-----------|--|
| 344/C/004 | TERI L. LEASURE |
| 375/C/015 | A&D REALTY, LLC C/O WINSLOW PROPERTY MGMT |
| 375/C/035 | NORTHGATE PLAZA ASSOCIATES, LLC. |
| 375/C/038 | CITY OF PORTLAND |
| 400/D/002 | THE RESIDENCES CONDO ASSOCIATION |
| 401/A/020 | CHAU TSAN |
| 401/A/002 | RITE AID OF MAINE INC |
| 401/A/004 | |
| 401/A/009 | |
| 401/A/011 | |
| 401/A/027 | |
| 401/A/008 | MICHAEL S. ORR |
| 401/A/013 | EDWARD F. CARYE TRUSTEE ETAL |
| 401/A/014 | RAYMOND & BARBARA CARYE TRS |
| 401/A/017 | RAYMOND A. & EDWARD F. CARYE TRS |
| 401/A/015 | ROBERTA R. ANDERSON |
| 401/A/018 | |
| 401/A/030 | DAVID R. WWII VET & PHYLLIS R. MARLEY |
| 401/A/031 | ROSE & CHARLES WINTERS JTS |
| 401/A/032 | JEAN F. CRANDON |
| 401/A/033 | CLIFTON L. WWII VET & MADALYN L. BROWN |
| 401/A/041 | PORTLAND REGIONAL FEDERAL CREDIT UNION |
| 401/A/042 | RAYMOND A. CARYE ETALS |
| 401/A/044 | |
| 402/D/003 | |
| 402/D/004 | |
| 402/D/005 | |
| 402/D/006 | |
| 402/D/007 | |
| 402/D/008 | |
| 402/D/009 | |
| 402/D/010 | |
| 402/D/011 | |
| 402/H/001 | |
| 401/A/043 | EDWARD F. CARYE TRUSTEES ETAL |
| 402/H/001 | WILLIAM R. UMBEL |
| 402/D/001 | PHILIP H. CURTIS VN VET TD |
| 402/D/006 | CAROL A. & STEPHEN A. MACKENZIE |
| 402/D/007 | |
| 402/D/008 | |
| 402/D/009 | |
| 402/D/010 | THE MINAT CORPORATION |
| 437/A/001 | 1334 WASHINGTON AVENUE ASSOCIATES |
| 437/A/052 | JOHN E. & CHERYL A. CARROLL |
| 437/A/053 | GREENLEAF ROBERT E WWII VET & JULIETTE G GREENLEAF TRUSTEES R & J GREENLEAF REV TRUST |

ZONING INFORMATION

| | |
|--------------------------|---------|
| ZONING DISTRICT: | COMMU |
| MINIMUM STREET FRONTAGE: | 50 FEET |
| FRONT YARD SETBACK: | 50 FEET |
| SIDE YARD SETBACK: | 5 FEET |
| REAR YARD SETBACK: | 5 FEET |
| MINIMUM LOT SIZE: | 10,000 |

DESCRIPTION OF LEA

LEGAL DESCRIPTION - LEASE PARCEL

A CERTAIN PARCEL OF LAND LOCATED E. AVENUE, IN THE CITY OF PORTLAND, CUN LING WITHIN LAND OF THE GRANTOR(S), PAGE 628, BOUNDED AND DESCRIBED AS

BEGINNING AT A POINT MARKING THE SO FOLLOWING DESCRIBED LEASE, LOCATED AT THE CENTER OF AN EXISTING 230 FOOT

THENCE, N00°47'10"W, 7.00 FEET TO A C

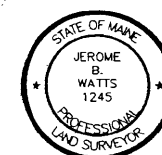
THENCE, N89°12'50"E, 14.00 FEET TO A C

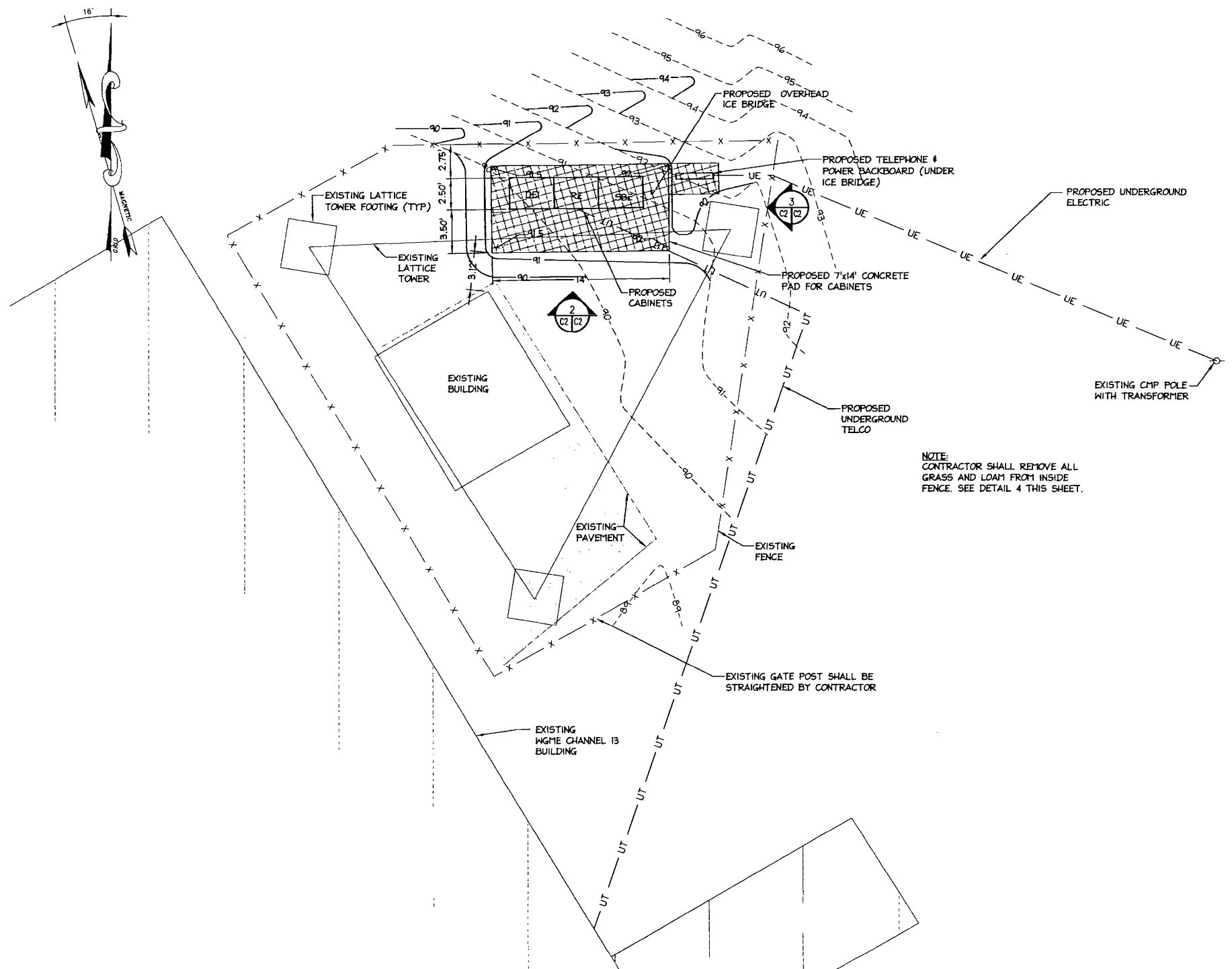
THENCE, S00°47'10"W, 7.00 FEET TO A C

THENCE, N89°12'50"W, 14.00 FEET TO TH

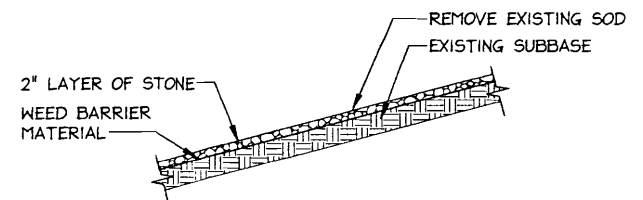
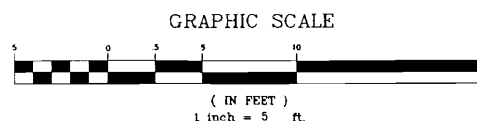
THE ABOVE DESCRIBED PARCEL CONTAIN:

BEARINGS ARE BASED ON MAINE STATE WEST ZONE, (NAD 83).

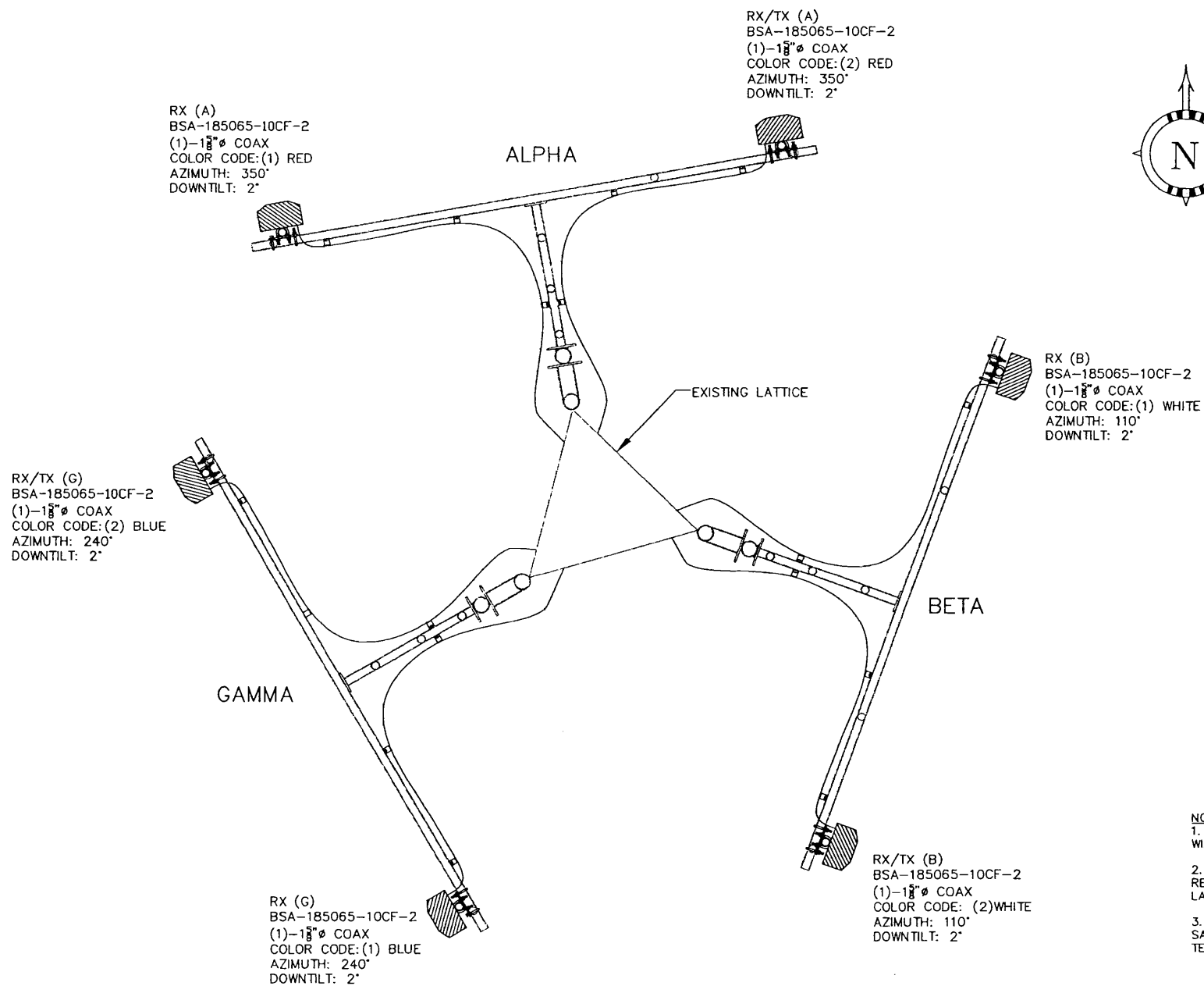




1 SITE PLAN
C-2
SCALE: 1"=5'



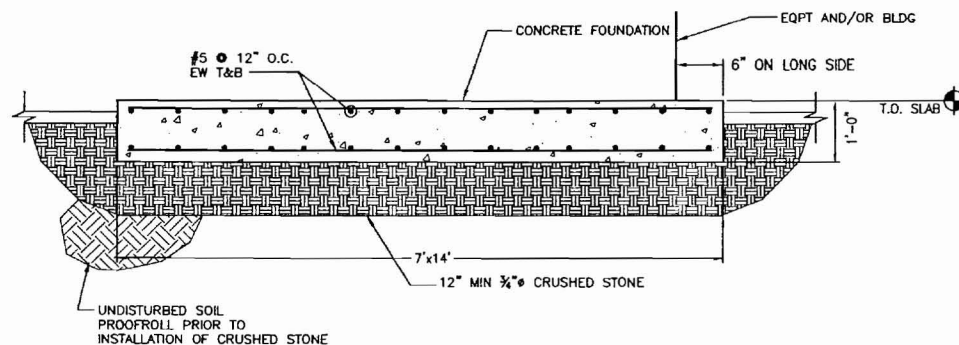
4 DETAIL
C-2
SCALE: N.T.S.



- NOTES:
1. WAVEGUIDE CABLES SHALL BE RUN UP TOWE WIDE TWO DEEP CONFIGURATION.
 2. EXISTING WAVEGUIDE CABLES NOT BEING USE REMOVED BY CONTRACTOR AFTER COORDINATION LANDLORD AND US CELLULAR PERSONNEL.
 3. EXISTING LADDER SHALL BE TIGHTENED TO T SATISFY STRUCTURAL REPORT CREATED BY ALL TECHNOLOGY CORPORATION DATED AUGUST 9, 2

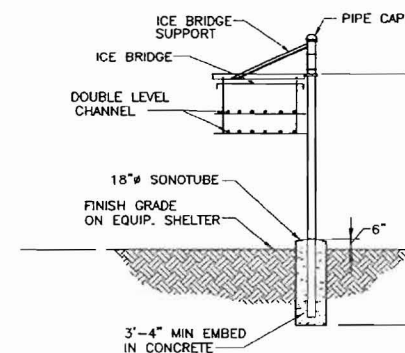
1
C-3 ANTENNA LOCATION PLAN
SCALE: N.T.S.





TYPICAL EQUIPMENT SHELTER FOUNDATION DETAIL

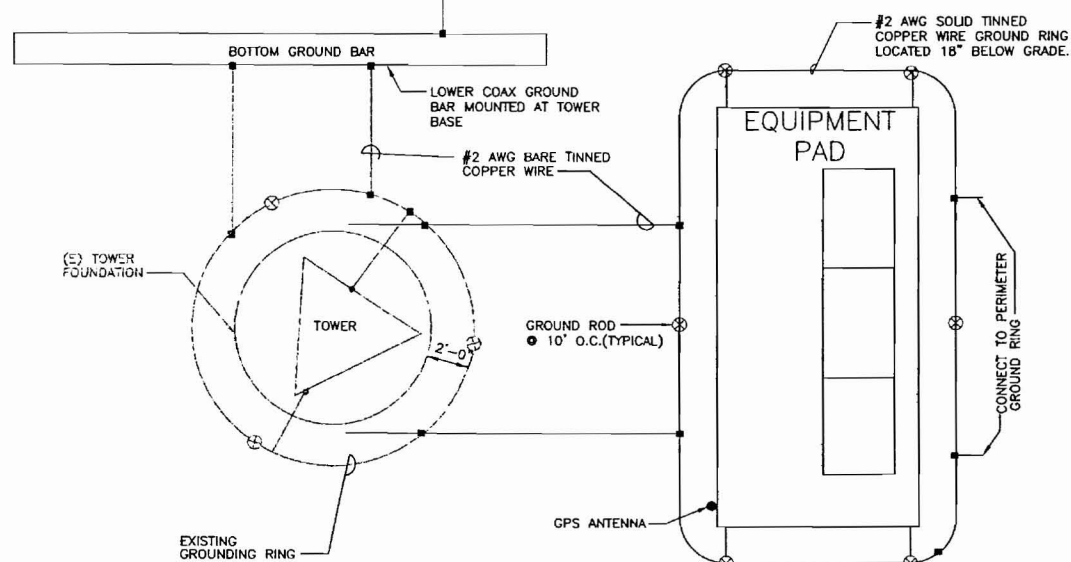
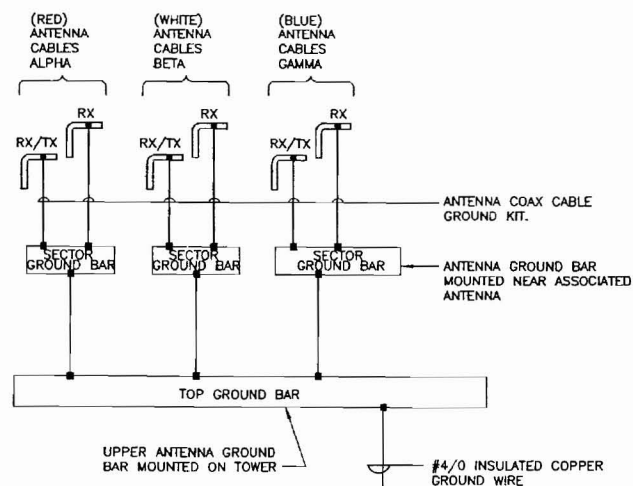
N.T.S.



- NOTES:
1. TYPICAL HANGER KIT SHOWN. CONTRACT APPROVED BY CONSTRUCTION MANAGER.
 2. SEE COAXIAL CABLE BRIDGE NOTES SHE
 3. FOR BURIED LEDGE AT LESS THAN 3'-6 HOLES & GROUT. #3 REINFORCING STEEL V

ICE BRIDGE DETAIL

N.T.S.

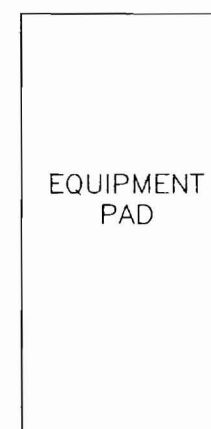


GROUND RISER DIAGRAM

N.T.S.

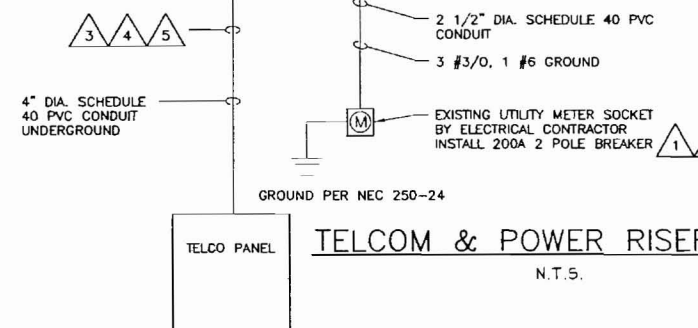
■ — GROUND CONNECTION

ELECT



RISER DIAGRAM

1. ALL ELECTRICAL WORK SHALL BE WITH THE LATEST NATIONAL ELEC & STATE CODES, LAWS & ORDIN
2. POWER SERVICES REQUIREMENTS 120/240 VAC NOMINAL, SINGLE AMP RATING.
3. ALL TELCO CONDUIT LINES SHAL OTHERWISE INDICATED.
4. CONTRACTOR SHALL INSTALL ALL SHOWN AS SOLID LINES UNLESS
5. CONDUIT AND PULL STRING SHAL CONTRACTOR



TELCOM & POWER RISER

N.T.S.

GENERAL

- 1 COORDINATE THE STRUCTURAL WORK WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL AND PIPING WORKS.
- 2 VERIFY ALL DIMENSIONS IN THE FIELD. DURING ERECTION AND CONSTRUCTION PHASES, PROVIDE ADEQUATE SHORING AND TEMPORARY BRACING OF ALL STRUCTURAL COMPONENTS AND ASSEMBLAGES. NOTIFY OEST OF ALL FIELD CHANGES OR DIMENSION DISCREPANCIES PRIOR TO FABRICATION OR ERECTION.

CODES

- 1 ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE IBC 2000.
- 2 ADDITIONAL REFERENCED STANDARDS:
 - A. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION -- ALLOWABLE STRESS DESIGN 1989, 9TH EDITION
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 - D. AMERICAN IRON AND STEEL INSTITUTE (AISI) SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS
 - E. AMERICAN SOCIETY OF CIVIL ENGINEERS ASCE 7-98 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- 3 ALL APPLICABLE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE AMERICANS WITH DISABILITIES ACT (ADA).

CONCRETE AND REINFORCING STEEL

- 1 ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE REMOVED FROM BENEATH FOUNDATION AREAS.
- 2 SUBGRADE BELOW FOUNDATIONS SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY FROM ASTM D698 (STANDARD PROCTOR).
- 3 CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 AND ACI 318. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD 28-DAY CYLINDER TESTS. UNLESS AN ALTERNATE CONCRETE MIX DESIGN IS APPROVED, CONCRETE MIXES SHALL BE AS FOLLOWS:
 - A. CONCRETE SHALL HAVE 4000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH.
 - B. MAXIMUM AGGREGATE SIZE SHALL BE 3/4" (ASTM C33/467).
 - C. CEMENT SHALL BE ASTM C150 TYPE I OR TYPE II
 - D. ALL STRUCTURAL CONCRETE SHALL BE AIR ENTRAINED (5.5 +/- 1.5%).
 - E. SLUMP SHALL BE 2" TO 4".
- 4 REINFORCING STEEL SHALL HAVE MINIMUM COVER PROTECTION AS FOLLOWS:
 - A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - B. CONCRETE EXPOSED TO EARTH OR WEATHER: 2"
 - C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:

| | |
|--------------------------------------|--------|
| SLABS | 1 1/2" |
| WALLS, JOISTS -- #11 BAR AND SMALLER | 3/4" |
| BEAMS, COLUMNS: | |
| PRIMARY REINFORCEMENT, TIES, | |
| STIRRUPS, SPIRALS | 1 1/2" |

STRUCTURAL AND MISCELLANEOUS STEEL

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- 2 HIGH STRENGTH BOLTS SHALL BE IN ACCORDANCE WITH AISC -- SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR 490 BOLTS, NOVEMBER 13, 1985.
- 3 WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 USE AWS PREQUALIFIED JOINT DETAILS.
- 4 STRUCTURAL STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:
 - A. CONNECTION MATERIAL, EMBEDDED ITEMS, HOT ROLLED STRUCTURAL SHAPES, BASE PLATES AND MIS. STEEL. ASTM A36
 - B. STRUCTURAL TUBES ASTM A500 GRADE B
 - C. STEEL PIPE ASTM A53, GRADE B
 - D. STRUCTURAL BOLTS ASTM A325--W U.N.O.
 - E. ANCHOR BOLTS ASTM A307 OR ASTM A36
 - F. THREADED RODS ASTM A36 OR ASTM A307
 - G. WELDING ELECTRODES E70XX

GROUNDING NOTES:

1. ALL DETAILS ARE SHOWN DIAGRAMMATICALLY. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. ALL GROUND WIRE SHALL BE BARE TINNED COPPER #2 AWG UNLESS OTHERWISE NOTED.
3. ALL GROUND WIRES SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO GROUND WITH GRADUAL BENDS AS REQUIRED. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.
4. ELECTRICAL CONTRACTOR SHALL COORDINATE CONNECTIONS TO EXISTING GROUND RINGS WITH SITE CONSTRUCTION MANAGER.
5. ANTENNA GROUND KITS SHALL BE FURNISHED BY US CELLULAR AND INSTALLED BY CONTRACTOR.
6. GROUND SYSTEM SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS.

EROSION AND SEDIMENT CONTROL PLAN

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED DEVELOPMENT.

GENERAL CONSTRUCTION DETAILS

THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ADJUTING LANDS:

1. PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION.
2. STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE SWALES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL MESH WILL ALSO BE INSTALLED IN ALL DITCH TO BE REVEGETATED.
3. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING.

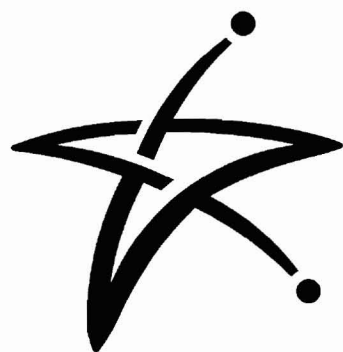
SEEDING AND REVEGETATION PLAN

UPON COMPLETION OF SITE CONSTRUCTION, ALL AREAS PREVIOUSLY DISTURBED WILL BE TREATED AS STATED BELOW. THESE AREAS WILL BE CLOSELY MONITORED BY THE CONTRACTOR UNTIL SUCH TIME AS A SATISFACTORY GROWTH OF VEGETATION IS ESTABLISHED.

1. LOAM WILL BE SPREAD OVER ALL DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH OF 4 INCHES.
2. THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO SEEDING: AGRICULTURAL LIMESTONE AT THE RATE OF 130 POUNDS PER 1,000 SQUARE FEET, FOLLOWED BY 10-10-10 FERTILIZER AT THE RATE OF 14 POUNDS PER 1,000 SQUARE FEET.
3. DISTURBED AREAS WILL BE SEEDED AT THE RATE OF 100 LBS/ACRE OF MDOT PORK MIXTURE AND 20 LBS/ACRE OF CROWN VETCH.
4. SEEDING WILL BE COMPLETED BETWEEN THE DATES OF APRIL 1 AND SEPTEMBER 15. WATERING MAY BE REQUIRED DURING DRY PERIODS.
5. HAY MULCH WILL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING.
6. ALL SEDIMENT CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 75% OF THE AREA IS VEGETATED WITH VIGOROUS GROWTH.

COAXIAL-CABLE BRIDGE NOTES

1. ALL BRIDGE KITS SHALL BE INSTALLED AS PER THE MANUFACTURERS RECOMMENDATIONS.
2. STRUCTURAL STEEL SHALL BE ASTM A36. PIPE SHALL BE ASTM A53, GRADE B (SEAMLESS)
3. EXTERIOR STEEL SHALL BE HOT-DIP GALVANIZED, AFTER FABRICATION AND WELDING, TO ASTM A123. HARDWARE SHALL BE EITHER A325 STEEL, GALVANIZED TO ASTM A153, OR 18-8 STAINLESS.
4. SIZE, NUMBER AND POSIMON OF COAXIAL CABLES MAY VARY.
5. POSITION BRIDGE ASSEMBLY SO THAT COAXIAL CABLES INTERSECT AT LADDER CENTERLINE. HEIGHT ABOVE GROUND MAY VARY ACCORDING TO SITE LAYOUT.
6. FOUNDATION SHALL BE 18" DIAM. SONOTUBE 60" DEEP BELOW GRADE AND 6" ABOVE GRADE FILLED WITH 4000 psi CONCRETE WITH 3/4" MAXIMUM AGGREGATE.



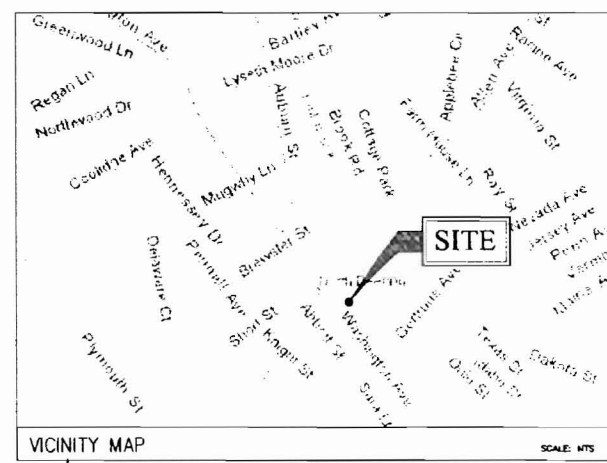
U S Cellular

We connect with you SM

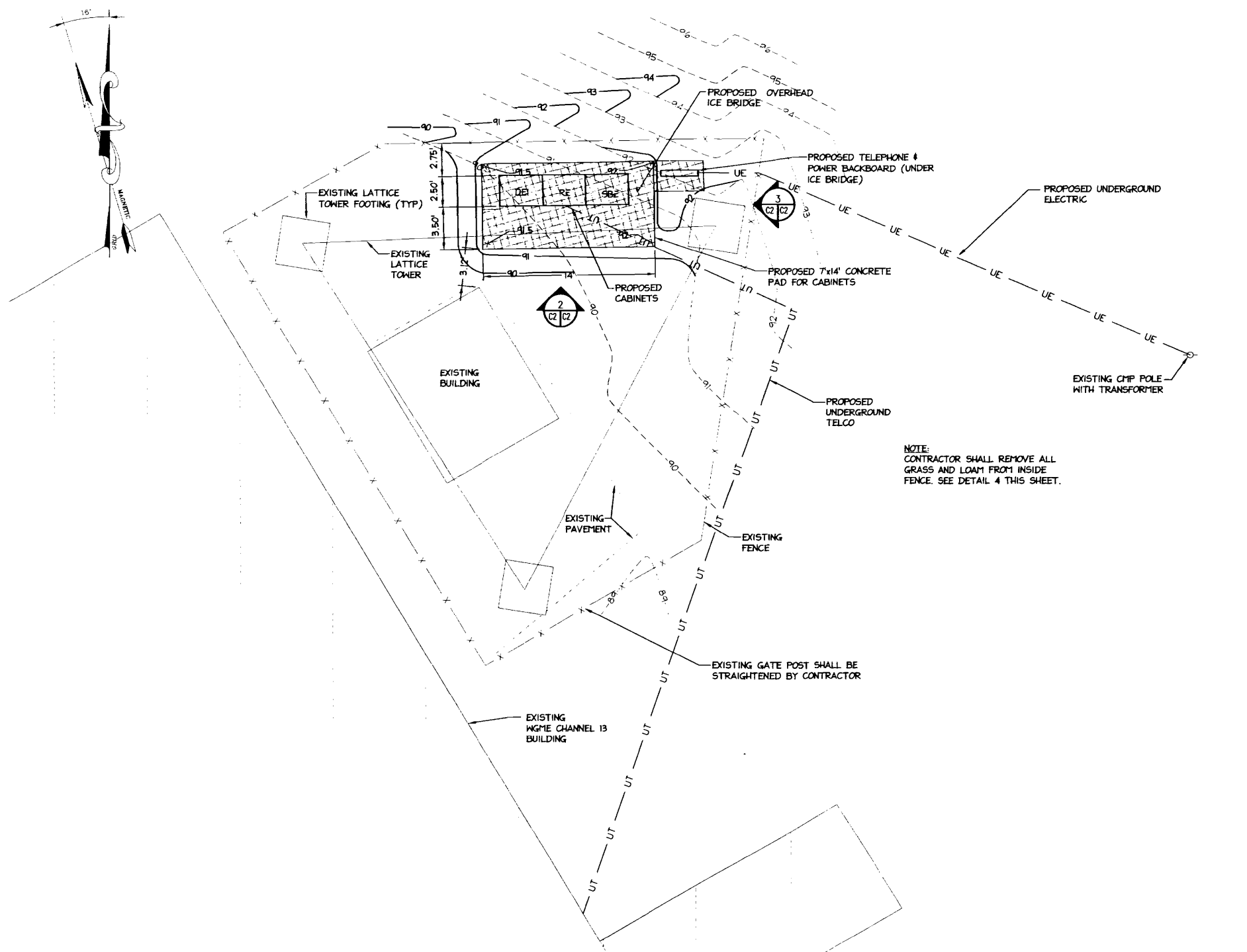
SITE NAME: NORTH DEEF
SITE NO. 853408
LATITUDE: 43°42'04.01"
LONGITUDE: 70°17'05.03"

| | |
|-----------------|--|
| SITE NUMBER: | NORTH DEERING |
| SITE NAME: | 853408 |
| TOWER TYPE: | 230' LATTICE TOWER (EXISTING) |
| SITE ADDRESS: | 1335 WASHINGTON AVE PORTLAND, ME 04103 |
| PROPERTY OWNER: | RAYMOND A. CARYE 15 MONSIGNOR OBRIEN HWY CAMBRIDGE, MA 02141 |
| MAP/BLOCK/LOT: | 401/A/005 |
| APPLICANT: | U.S. CELLULAR c/o KJK WIRELESS 8 PROVIDENCE AVENUE FALMOUTH, ME 04105 (207) 899-8544 |

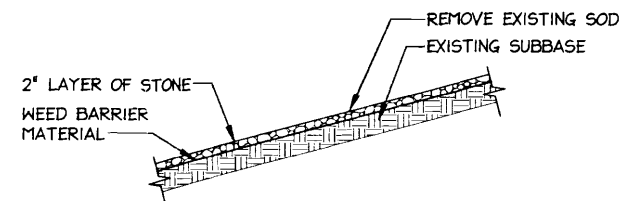
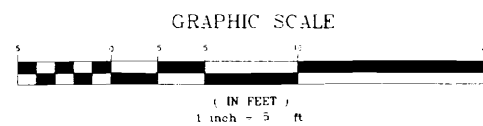
PROJECT SUMMARY



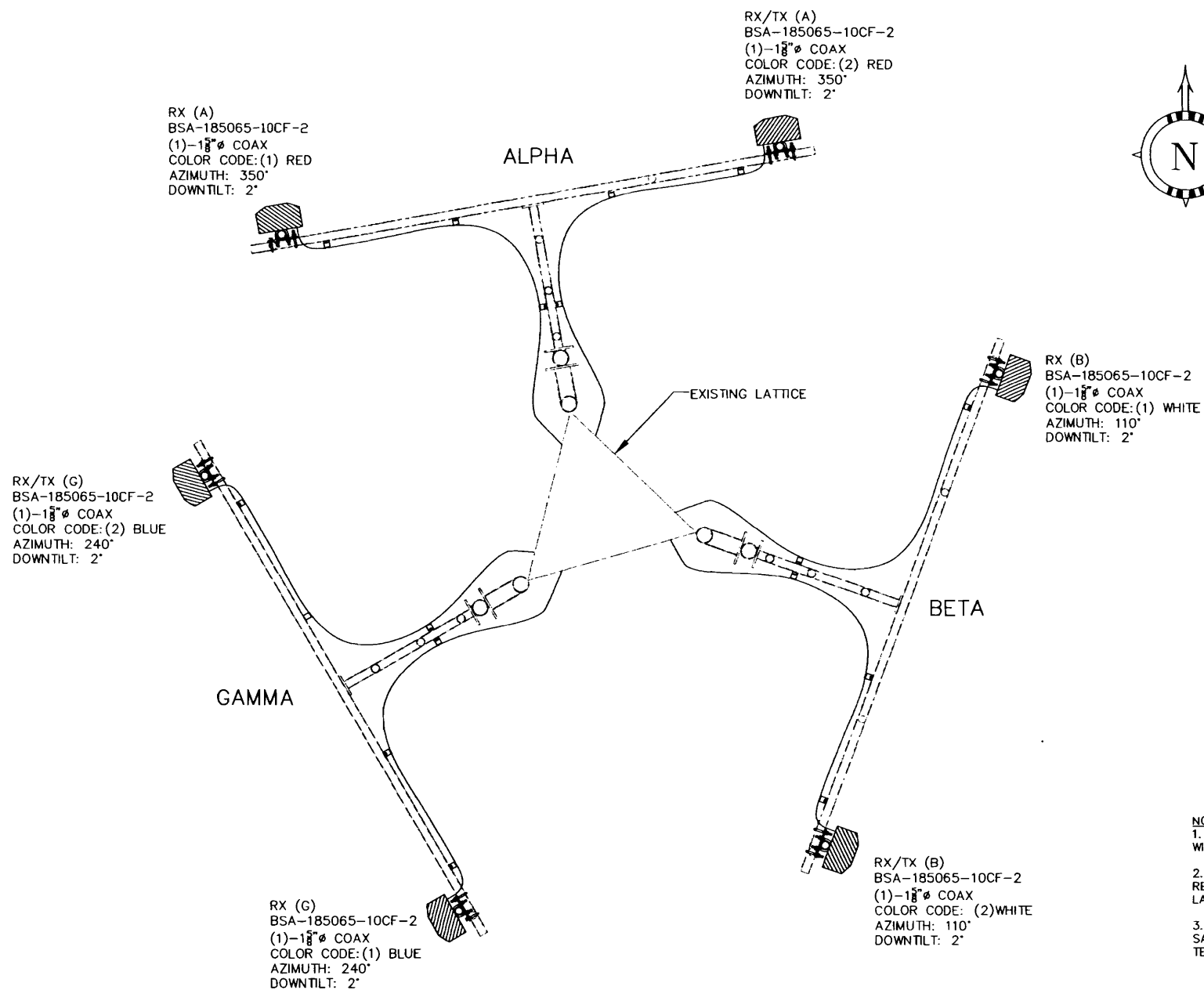
QDFV



1 SITE PLAN
C-2
SCALE: 1"=5'

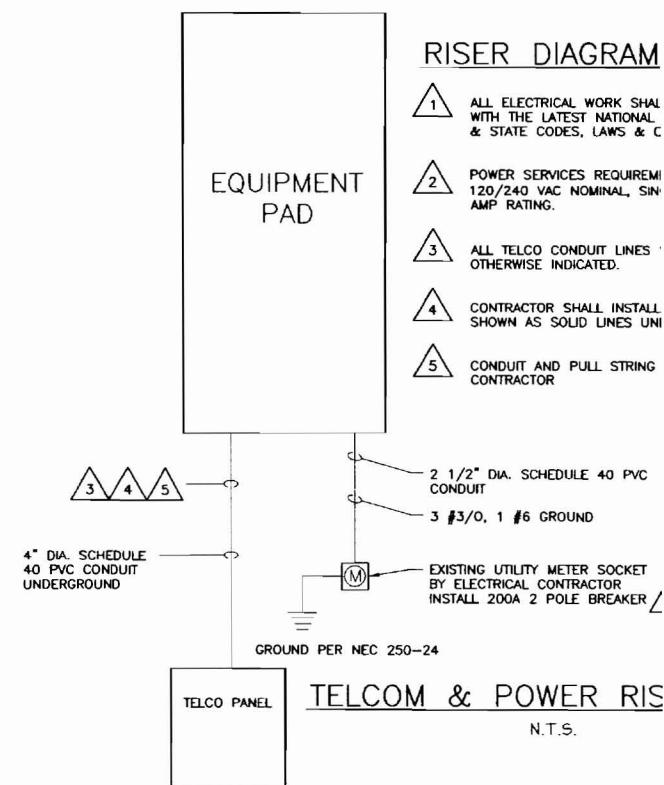


4 DETAIL
C-2
SCALE: N.T.S.



1 ANTENNA LOCATION PLAN
C-3 SCALE: N.T.S.





GENERAL

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| | |
|-------------------------------------|--------|
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5. POSITION BRIDGE ASSEMBLY SO THAT COAXIAL CABLES INTERSECT LADDER CENTERLINE. HEIGHT ABOVE GROUND MAY VARY ACCORDIN SITE LAYOUT.
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