# Site Plans

Issued for Permitting

Date Issued January 4, 2016

Latest Issue May 4, 2016

# Proposed Taco Bell

1363 Washington Avenue Portland, Maine

# Owner

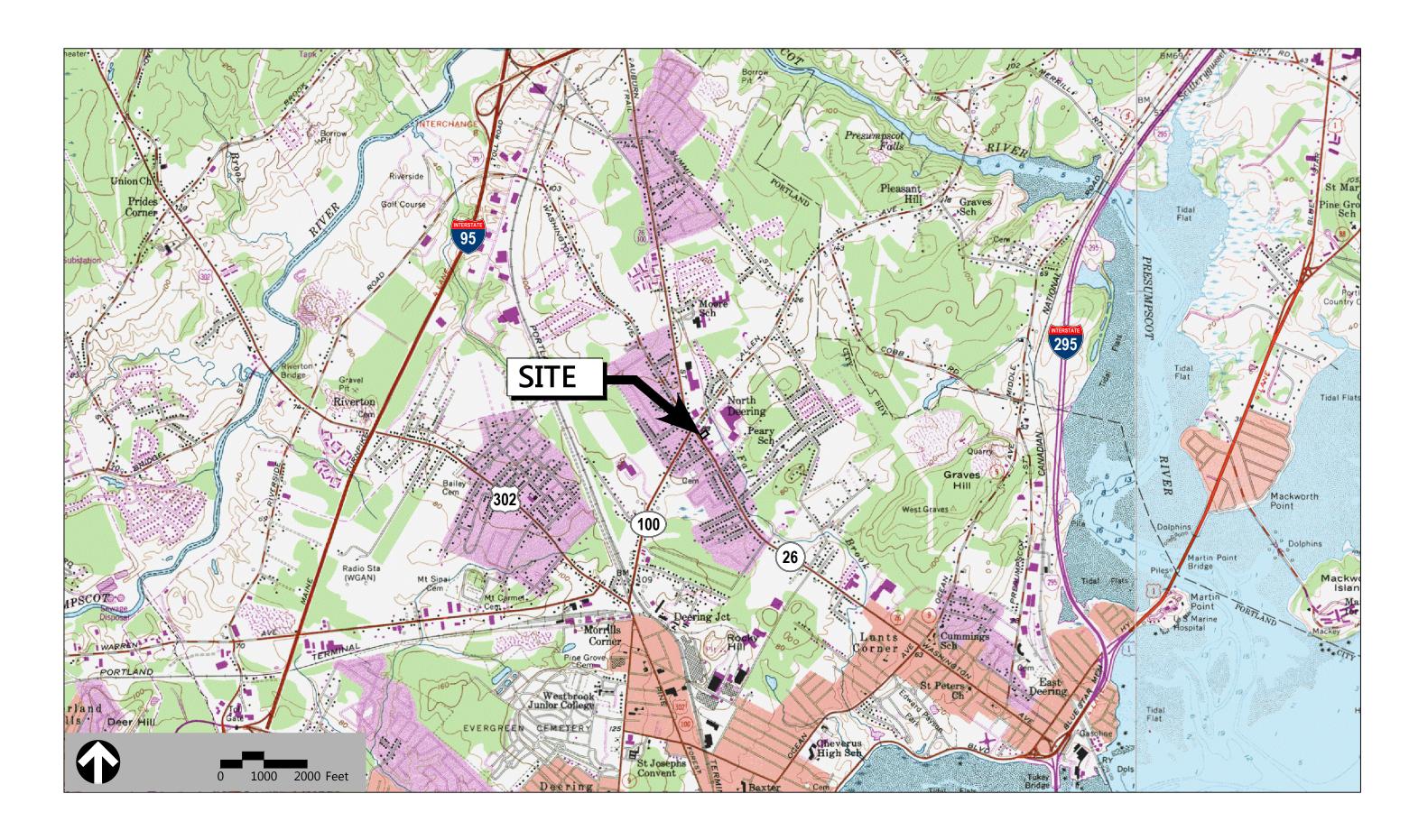
Chau Tsan
238 Gorham Road
Scarborough, Maine 04074

# **Applicant**

Guggenheim Retail Real Estate Partners, Inc.
3000 Internet Boulevard
Suite 570
Frisco, Texas 75034

Assessor's Map: 401

Lot: A0002



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No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	January 4, 2016
C-2	Layout & Materials Plan	May 4, 2016
C-3	Utility Plan	May 4, 2016
C-4	Details	May 4, 2016
L-1	Planting Plan	May 4, 2016

Reference Drawings		
No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	May 4, 2016



## Architect

GLMV Architecture 1525 E. Douglas Ave Wichita, KS 67211 316-265-9367

VAN-ACCESSIBLE PARKING

Legend

#### **Abbreviations**

#### General

ABAN ABANDON

ACR ACCESSIBLE CURB RAMP

ADJ ADJUST

APPROX APPROXIMATE

BITUMINOUS BOTTOM OF SLOPE

BROKEN WHITE LANE LINE

CONCRETE DOUBLE YELLOW CENTER LINE

ELEVATION

ELEVATION

EXISTING

FDN FOUNDATION FIRST FLOOR ELEVATION

GRANITE

FFE

GRADE TO DRAIN GTD

LANDSCAPE AREA

LIMIT OF DISTURBANCE

MAXMAXIMUM

MINIMUM

NOT IN CONTRACT

NOT TO SCALE

PERF PERFORATED

PROP PROPOSED REM REMOVE

REMOVE AND DISPOSE

REMOVE AND RESET

SOLID WHITE EDGE LINE

SOLID WHITE LANE LINE

TOP OF SLOPE

TYP TYPICAL

CB

CATCH BASIN

CORRUGATED METAL PIPE

CLEANOUT

DOUBLE CATCH BASIN

DRAIN MANHOLE

CIP CAST IRON PIPE

COND CONDUIT

DIP DUCTILE IRON PIPE FLARED END SECTION

FORCE MAIN

FRAME AND GRATE

FRAME AND COVER

**GUTTER INLET** 

GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE

HANDHOLE

HEADWALL

HYDRANT

INVERT ELEVATION

INVERT ELEVATION LIGHT POLE

METAL END SECTION

PAVED WATER WAY

POLYVINYLCHLORIDE PIPE

PIV POST INDICATOR VALVE

RIM ELEVATION

SEWER MANHOLE

TAPPING SLEEVE, VALVE AND BOX

REINFORCED CONCRETE PIPE

UNDERGROUND

UTILITY POLE

#### General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- 6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS. WITHOUT APPROPRIATE PERMITS.
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE. THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- 2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER. PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
- A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
- B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.

5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE

- UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
- A. WATER PIPES SHALL BE DUCTILE IRON (DI) CLASS 52 FOR PIPES GREATER THAN 4" DIAMETER AND TYPE K COPPER FOR PIPES LESS THAN 4" DIAMETER, UNLESS OTHERWISE NOTED
- B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE, SDR 35.
- C. STORM DRAINAGE PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE NOTED.
- D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION. INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

#### Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE PCC WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS. AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

#### Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES. FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED. UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

#### Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.

3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT

- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- TRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

## **Existing Conditions Information**

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC IN NOVEMBER 2015 WITH AN ERROR OF CLOSURE LESS THAN 1:10,000 AND PLANS AND DEEDS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

HANGEN BRUSTLIN, INC IN NOVEMBER 2015.

## Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



603.391.3900

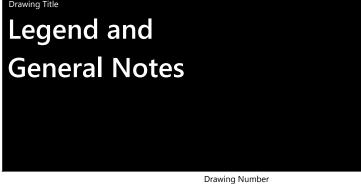
**Proposed Taco Bell** 

1363 Washington Avenue Portland, Maine

No. Revision

Jan. 4, 2016 Permitting

**Not Approved for Construction** 





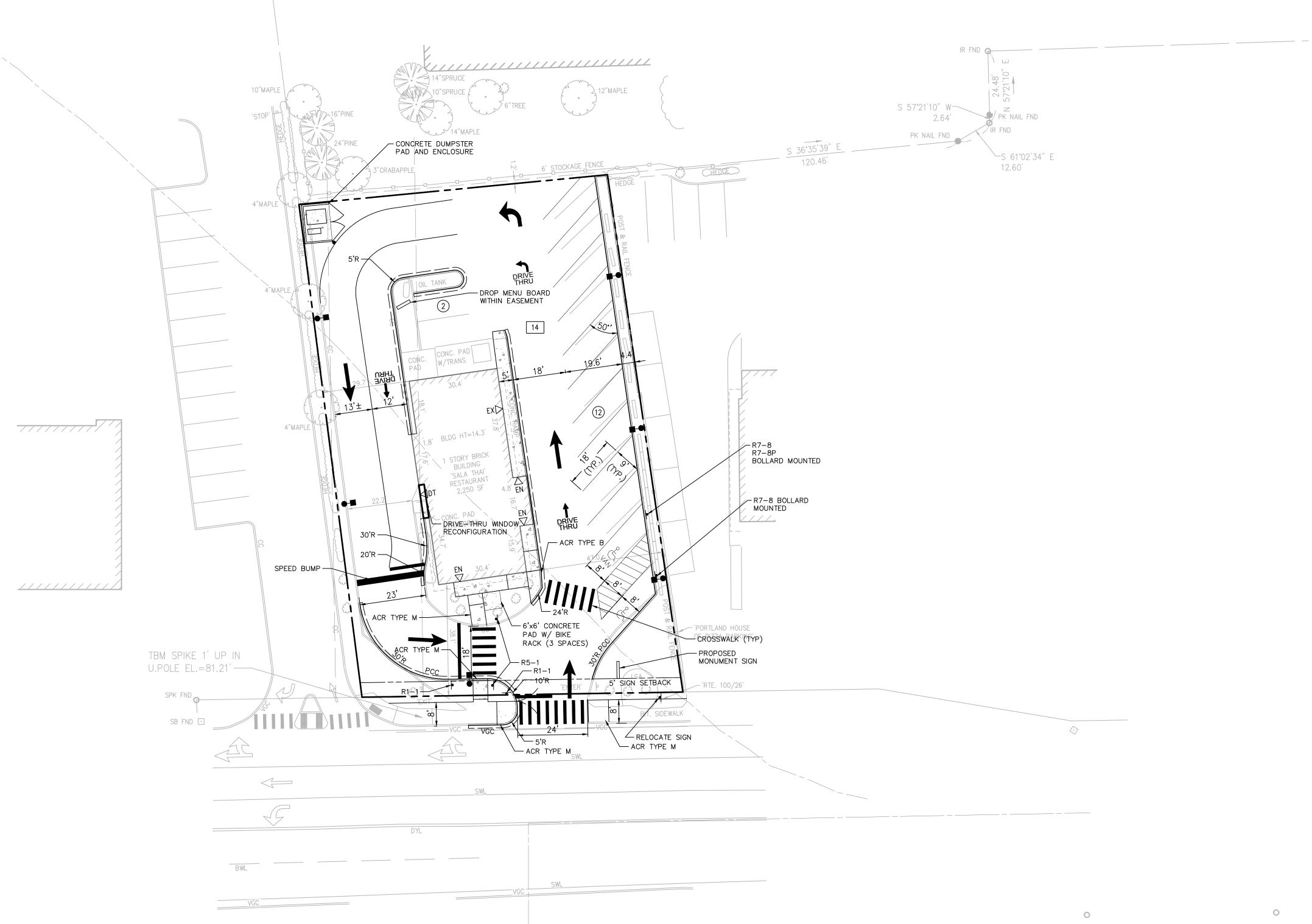
Date

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Sig	n Sui	mmai	ry
M.U.T.C.D.	Specif	ication	Desc.
Number	Width	Height	Desc.
R1–1	30"	30"	STOP
R5–1	30"	30"	DO NOT ENTER
R7–8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN



603.391.3900



# **Proposed Taco Bell**

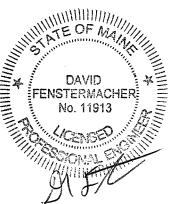
## 1363 Washington Avenue Portland, Maine

No.	Revision	Date	Appvd.
1	RESPONSE TO STAFF COMMENTS	3/2/16	
2	FINAL PERMIT PLANS	5/4/16	

Permitting	Jan. 4, 201
Issued for	Date
Designed by	Checked by

## Not Approved for Construction





1. ALL WORK WITHIN THE RIGHT OF WAY SHALL COMPLY WITH THE CITY OF PORTLAND TECHNICAL MANUAL.

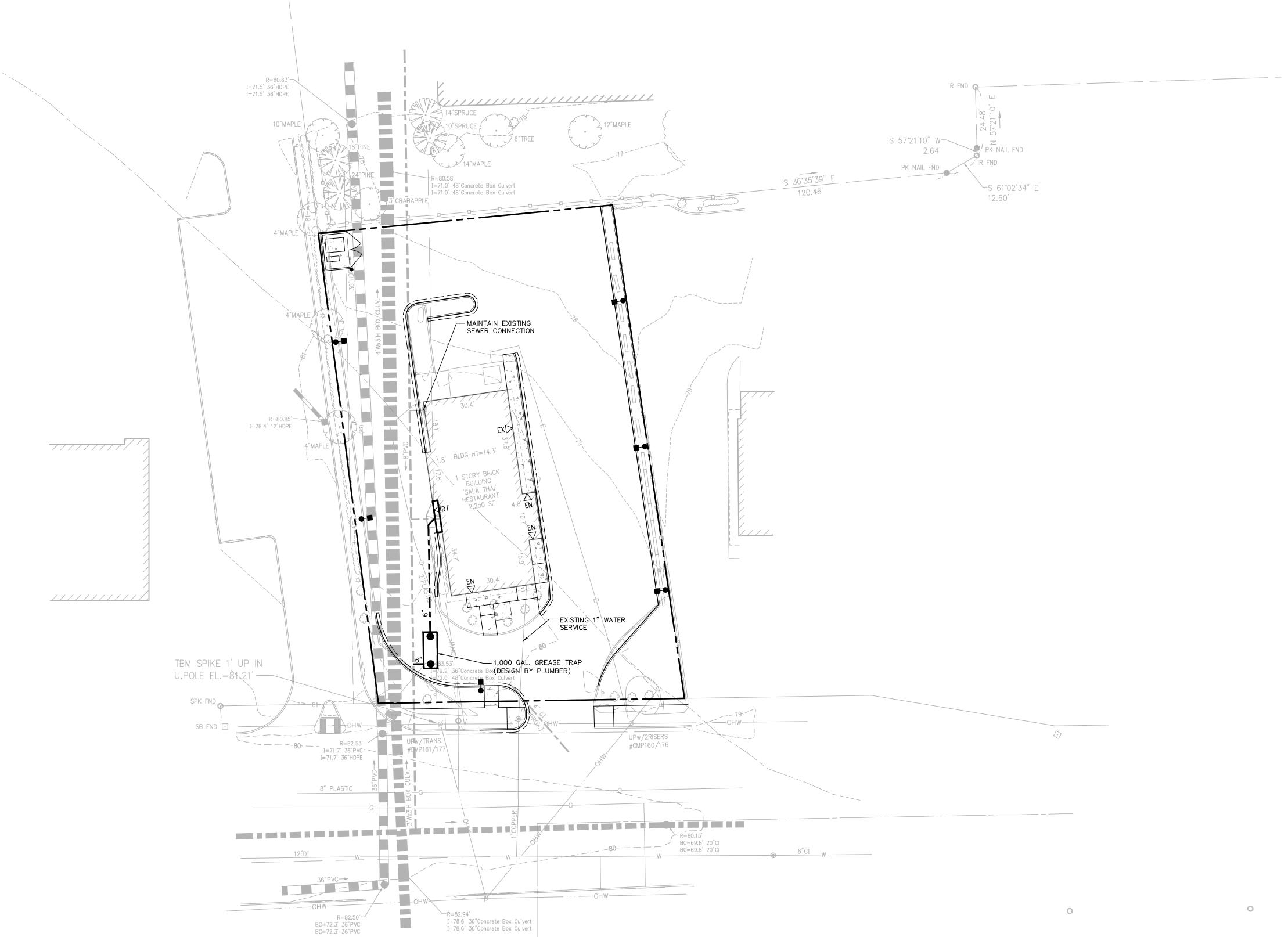
2. CONTRACTOR TO INSTALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES. CATCH BASINS SHALL REQUIRE SILTSACK SEDIMENT TRAPS.

Sheet of

Project Number 52387.04

Bedford, NH 03110

603.391.3900



# **Proposed Taco Bell**

# 1363 Washington Avenue Portland, Maine

1 RESPONSE TO STAFF COMMENTS 3/2/16	
• •	
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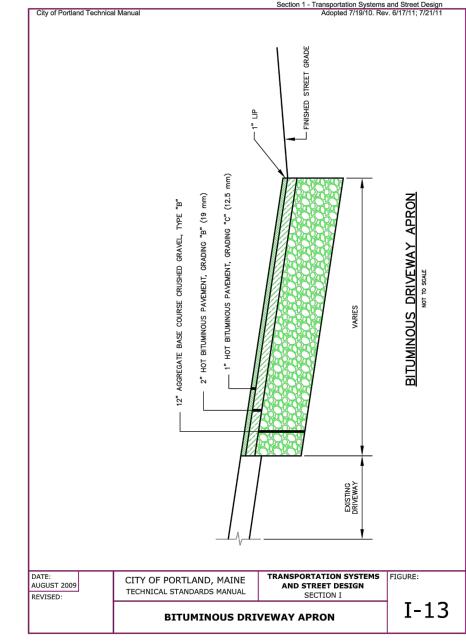


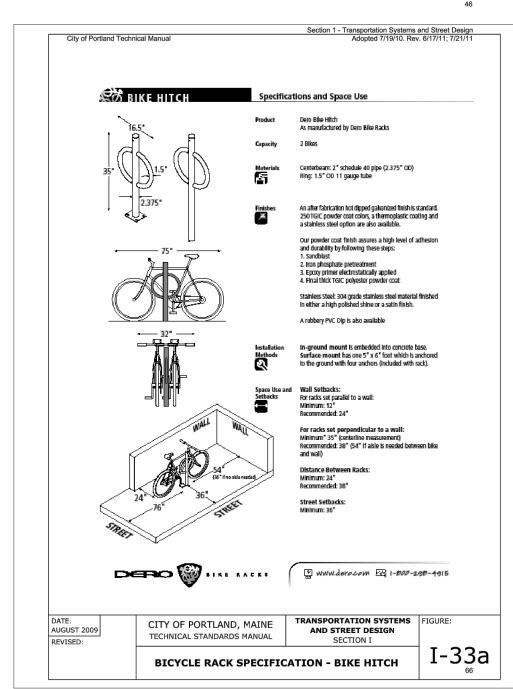
CATCH BASIN GRATE-

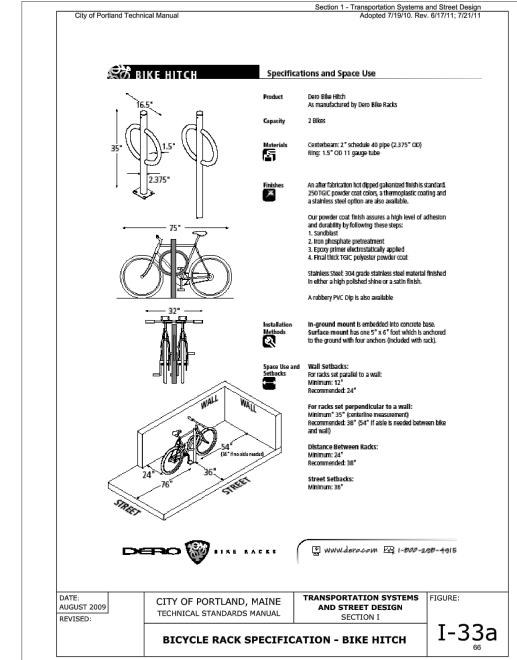
SILTSACK -

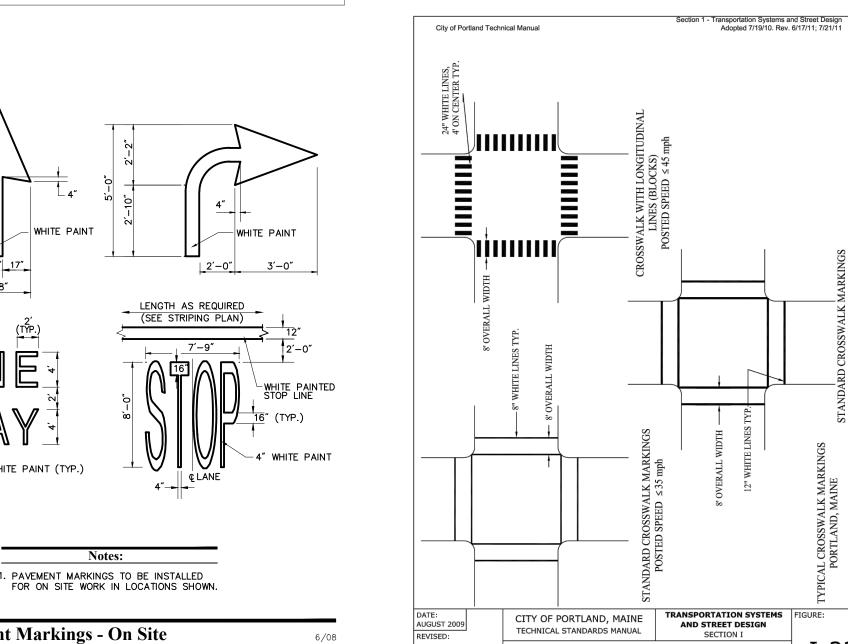
CATCH BASIN GRATE—

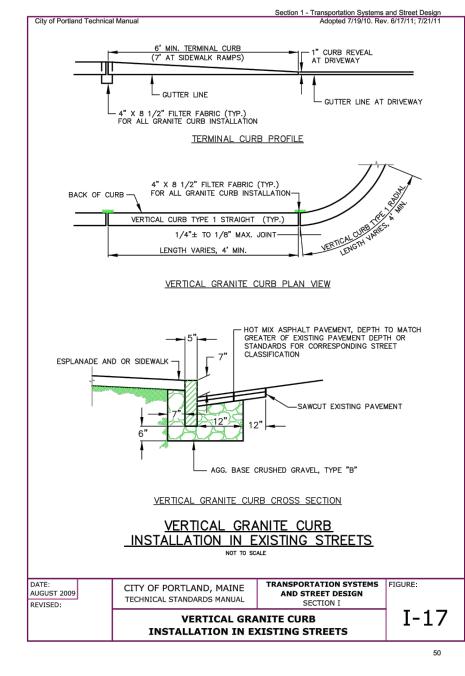
SILTSACK —

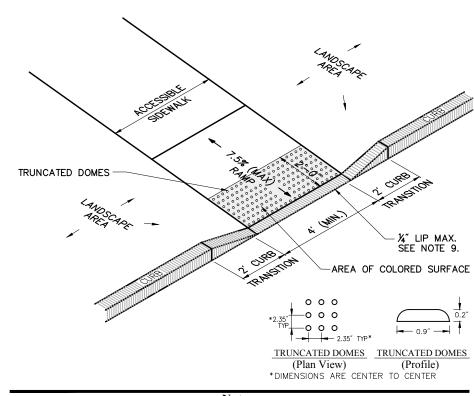








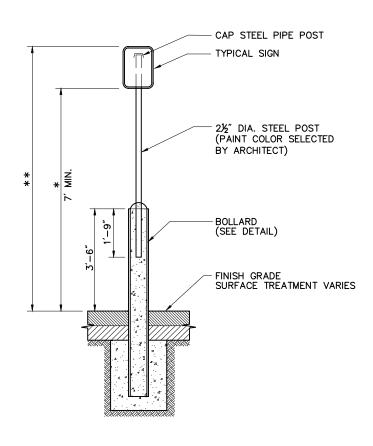




- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%. 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'  $\times$  5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET. 9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT

10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

<b>Accessible Curb F</b>	Ramp (ACR) Type 'M-D'	11/10
N.T.S.	Source: VHB	LD_512



\* THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE. \*\* THIS DIMENSION SHALL BE A A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

<b>Bollard Mounted Sign</b>		4/12
N.T.S.	Source: VHB	LD_703



603.391.3900

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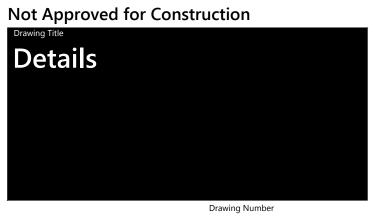
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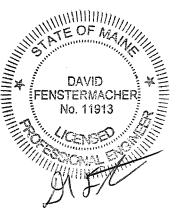
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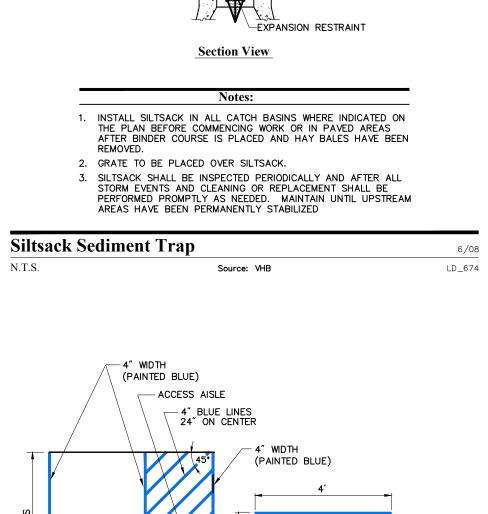
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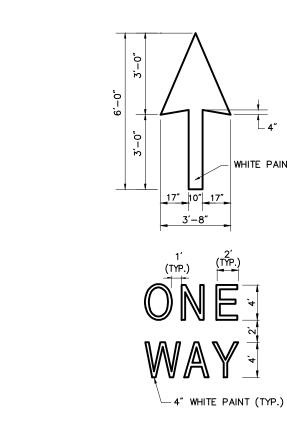




52387.04



Plan View



1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.

<u>Detail</u>

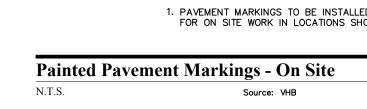
(PAINTED WHITE)

|- (11' FOR VAN) | 5' (MIN.)

ACCESSIBLE PARKING

3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

**Accessible Parking Space** Source: VHB LD\_552



1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN. LD\_554

TYPICAL CROSSWALK MARKINGS

9/13 LD\_501

TREATMENT VARIES

— 1" CHAMFER

TACK COAT

EXISTING SURFACE -

-SAWCUT EXISTING BIT. PAVEMENT

COURSE IS IN PLACE

- COMPACTED GRAVEL (1½″ MAX. STONE SIZE)

- AREA OF COLORED SURFACE

TRUNCATED DOMES TRUNCATED DOMES

\*DIMENSIONS ARE CENTER TO CENTER

0.9"

000

(Plan View)

<sub>₹5″</sub>‡−0 0 0

- COMPACTED

SUBGRADE

Precast Concrete Curb (PCC) Set In Existing Pavement 12/11

-¼" LIP MAX.

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).

2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.

3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.

4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).

8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5'

11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX

9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS

6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.

ROADWAY CROSSINGS.

N.T.S.

7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) - Type 'B-D'

- 4000 PSI CEMENT CONCRETE IF CURB IS SET AFTER BINDER

- 1½6" BY 2½" DOWEL SOCKETS SHALL BE FURNISHED AT ENDS OF ALL CURB SECTIONS TO RECEIVE 1/2" DIA. DOWEL

SLOPE VARIES --

LANDSCAPE AREA (TYP.)

TRUNCATED DOMES —

N.T.S.

STEEL REINFORCED PRECAST CONCRETE CURB

TOP COURSE (1½" MIN.)

I=78.6' 36"Concrete Box Culvert

I=78.6' 36"Concrete Box Culvert

BC=72.3' 36"PVC

BC=72.3′ 36"PVC

#### **Planting Notes**

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

#### **Plant Maintenance Notes**

- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT

QTY. KEY BOTANICAL NAME

4 AA ACER FREEMANII 'ARMSTRONG'

TO THUJA OCCIDENTALIS SMARAGD

#### Irrigation Notes

- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GUAGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- 4. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
- 5. BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
- 6. IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
- 7. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

#### **Tree Protection**

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- 2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- 3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.



**Proposed Taco Bell** 

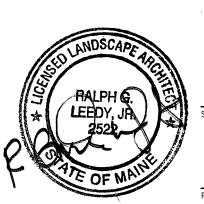
1363 Washington Avenue Portland, Maine

No.	Revision	Date	Appvo
1	RESPONSE TO STAFF COMMENTS	3/2/16	
2	FINAL PERMIT PLANS	5/4/16	

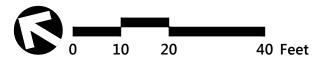
Designed by	Checked by
Issued for	Date
Permitting	Jan. 4, 2016

**Not Approved for Construction** 





52387.04



SIZE

3-3½" CAL.

6-7' HT.

COMMON NAME

ARMSTRONG MAPLE

EMERALD GREEN ARBORVITAE

SHRUBS				
	HBB	HYDRANGEA 'BLUSHING BRIDE'	BLUSHING BRIDE HYDRANGEA	5 GAL.
14	HSD	HEMEROCALLIS 'STELA D'ORO'	STELLA D'ORO DAY LILLY	I GAL.
19	IGD	ILEX GLABRA 'DENSA'	DENSA INKBERRY	5 GAL.
14	JHP	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	ANDORRA JUNIPER	18-24"
17	LVC	LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	3-4'
5	PJM	RHODODENDRON 'PJM COMP CLONE'	COMPACT PJM	2-2½
7	PSC	PRUNUS CISTENA	SAND CHERRY	4'-5' BB
59	RGL	RHUS 'GROW LOW'	GROW LOW SUMAC	3 GAL.
2	RMR	ROSA MEIDILAND RED	MEIDILAND ROSE	3 GAL.
6	TMH	TAXUS MEDIA 'HICKSII'	HICKS YEW	3-3½
1	VCC	VIBURNUM CARLESII 'COMPACTA'	COMPACT MAYFLOWER	2½-3'
20	VTC	VIBURNUM TRILOBUM 'COMPACTA'	COMPACT AMERICAN CRANBERRY	3-4' BB

SHADE TREE

**Utility Contacts** 

WASTE WATER

NATURAL GAS

CENTRAL MAINE POWER

TELEPHONE/INTERNET/TV

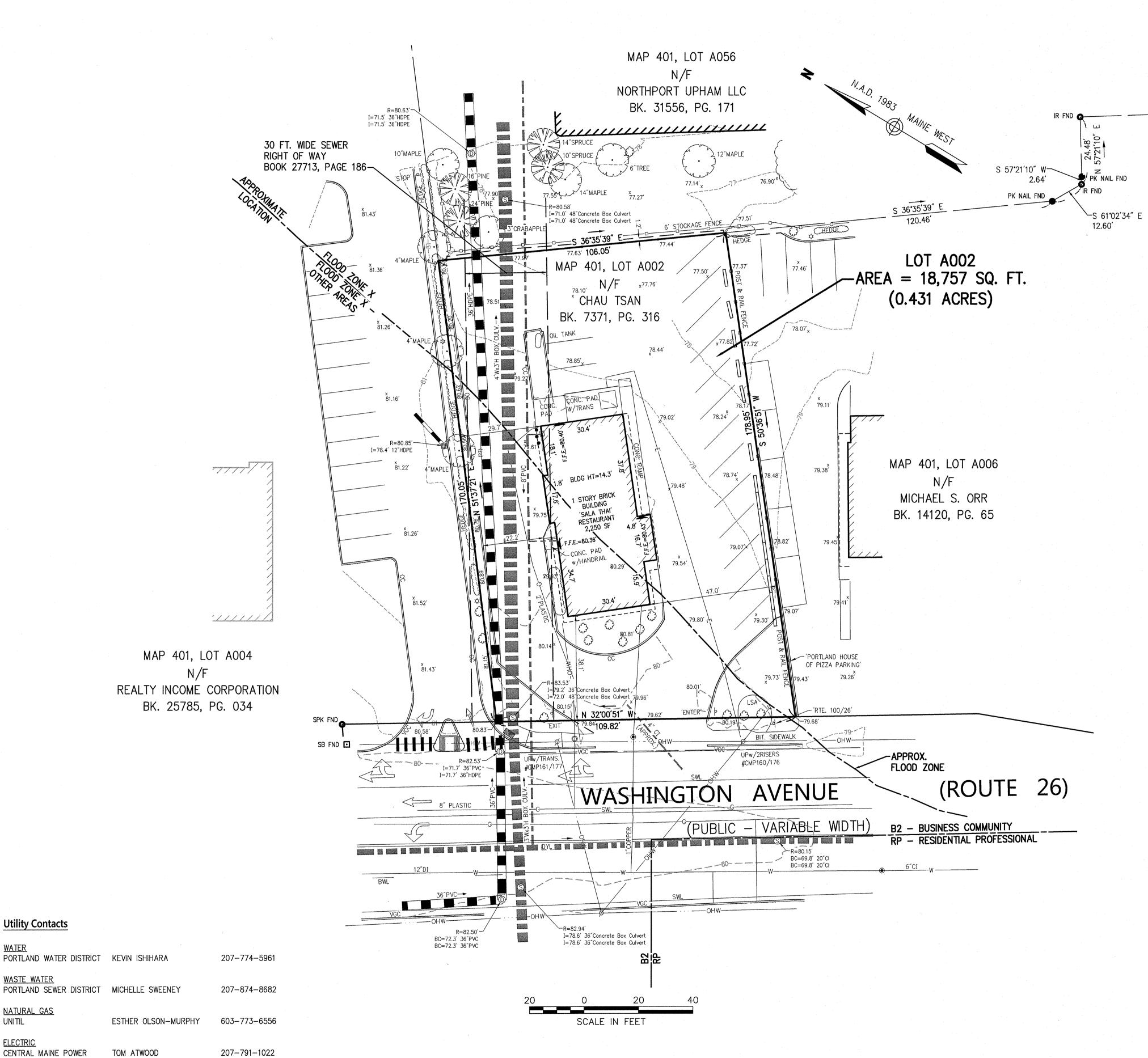
DON JOHNSON

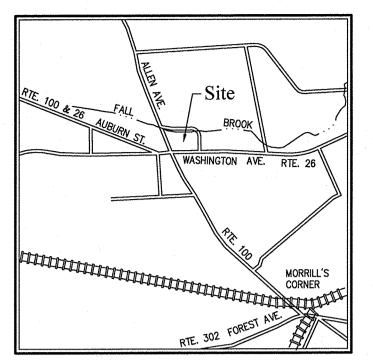
207-253-2291

TIME WARNER CABLE

UNITIL

**ELECTRIC** 





Locus Map (NOT TO SCALE)



500 Southborough Drive Suite 105B South Portland, ME 04106 207.889.3150

## Plan References

- 1. "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR WENDWORD CORP. PROPOSED WENDY'S SITE PROPOSED BUILDING ON 50' SETBACK" PREPARED BY H.I. & E.C. JORDAN — SURVEYORS, DATED MARCH 17, 1977 AND RECORDED IN PLAN BOOK 118, PAGE 63.
- 2. "CONDOMINIUM PLAT OF NORTHPORT BUSINESS PARK WASHINGTON AVE AND ALLEN AVE. PORTLAND, MAINE FOR: LL BEAN, INC." DATED 6-1-06, REVISED TO 7-20-06 AND RECORDED IN PLAN BOOK 207, PAGE 20.
- 3. "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR NEW ENGLAND LAND COMPANY" PREPARED BY H.I. & E.C. JORDAN - SURVEYORS, DATED MAY 20, 1970 AND RECORDED IN PLAN BOOK 86, PAGE 29.
- 4. "RIGHT OF WAY MAP STATE HIGHWAY "15" (WASHINGTON AVE. & ALLEN AVE.) PORTLAND CUMBERLAND COUNTY FEDERAL AID PROJECT NO. STP-7541 (00)X". DATED JANUARY 2003.

## **General Notes**

- 1. THE OWNER OF RECORD AT THE TIME OF THE SURVEY IS: CHAU TSAN
  - 238 GORHAM ROAD SCARBOROUGH, MAINE 04074
- 2. THE PROPERTY LINES SHOWN WERE DETERMINED BY ACTUAL FIELD SURVEY CONDUCTED IN NOVEMBER 2015 WITH AN ERROR OF CLOSURE LESS THAN 1:10,000 AND PLANS AND DEEDS OF RECORD.
- 3. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC IN NOVEMBER 2015
- 4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 5. HORIZONTAL DATUM IS N.A.D. 1983. (MAINE WEST)
- 6. CONTOURS AND SPOT ELEVATIONS SHOWN ARE BASED UPON N.A.V.D. 1988.
- 7. MAP 401 LOT A002 LIES PARTIALLY WITHIN ZONE X (AREA OUTSIDE OF 500 YEAR FLOODPLAIN) AND ZONE X (AREA OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE FT) AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF PORTLAND COMMUNITY PANEL NUMBER 230051 0002 C, AND 230051 0007 C, EFFECTIVE DATE DECEMBER 8, 1988.
- 8. MAP 426 LOT 44-6 LIES ENTIRELY WITHIN THE BUSINESS COMMUNITY (B2) ZONING DISTRICT AS DEFINED BY THE PORTLAND ZONING ORDINANCE, DIMENSIONAL REQUIREMENTS FOR THE COMMERCIAL DISTRICT AT THE TIME OF THE SURVEY ARE AS FOLLOWS:

NONE MINIMUM LOT AREA 80 FEET MINIMUM FRONTAGE 15 FEET MINIMUM FRONT YARD SETBACK 10 FEET MINIMUM SIDE YARD SETBACK 25 FEET MINIMUM REAR YARD SETBACK

9. 15 PARKING SPACES WERE OBSERVED ON LOCUS.

### Legend

- DRAIN MANHOLE ■ CATCH BASIN S SEWER MANHOLE © ELECTRIC MANHOLE
- TELEPHONE MANHOLE MANHOLE
- BOLLARD
- WATER GATE FIRE HYDRANT GAS GATE - STREET SIGN
- □ LIGHT POLE --- UTILITY POLE O- GUY POLE
- GUY WIRE MONITORING WELL - EDGE OF PAVEMENT CONCRETE CURB VERTICAL GRANITE CURE
- SLOPED GRANITE EDGE BITUMINOUS BERM GUARD RAIL -×----×- CHAIN LINK FENCE DRAINAGE LINE
- --- SEWER LINE ----- UNDERGROUND ELECTRIC T TELEPHONE LINE -G-GAS LINE
- OOOOOOO STONE WALL TREE LINE WF1-100 VEGETATED WETLAND BOUNDARY

# 1363 Washington

## Avenue Route 26

Portland, Maine 04101

December 13, 2015

# **Existing Conditions** Plan of Land

Drawing Number

