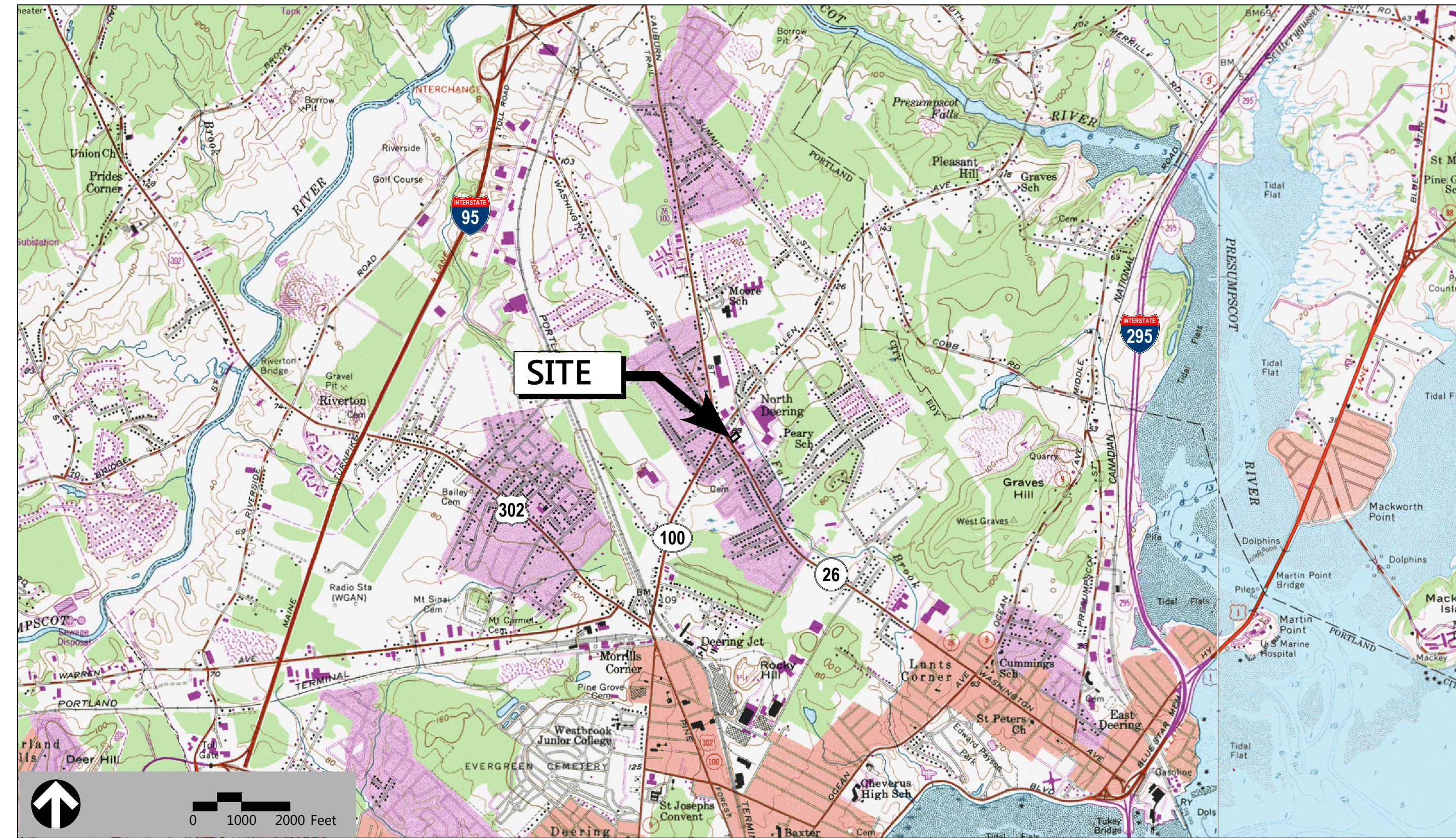


# Site Plans

Issued for	Permitting
Date Issued	January 4, 2016
Latest Issue	May 4, 2016

## Proposed Taco Bell

1363 Washington Avenue  
Portland, Maine



2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900

### Architect

GLMV Architecture  
1525 E. Douglas Ave  
Wichita, KS 67211  
316-265-9367

### Owner

Chau Tsan  
238 Gorham Road  
Scarborough, Maine 04074

### Applicant

Guggenheim Retail Real Estate Partners, Inc.  
3000 Internet Boulevard  
Suite 570  
Frisco, Texas 75034

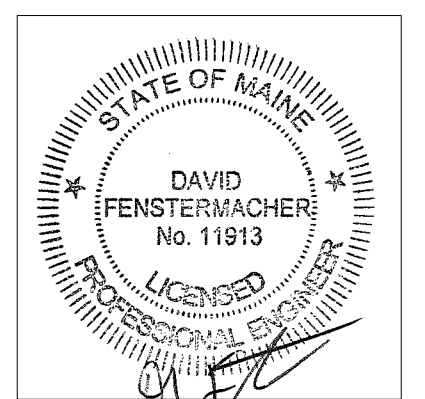
**Assessor's Map: 401**  
**Lot: A0002**

### Sheet Index

No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	January 4, 2016
C-2	Layout & Materials Plan	May 4, 2016
C-3	Utility Plan	May 4, 2016
C-4	Details	May 4, 2016
L-1	Planting Plan	May 4, 2016

### Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	May 4, 2016







2 Bedford Farms Drive  
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603.391.3900

Legend

Legend table with columns: Exist., Prop., and descriptions for various site features like PROPERTY LINE, CONCRETE, ROAD, and UTILITIES.

Abbreviations

Abbreviations table with columns: General, and descriptions for terms like ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), ADJ (ADJUST), etc.

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PCC WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITY STRUCTURES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC IN NOVEMBER 2015 WITH AN ERROR OF CLOSURE LESS THAN 1:10,000 AND PLANS AND DEEDS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN, INC IN NOVEMBER 2015.
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Proposed Taco Bell

1363 Washington Avenue  
Portland, Maine

Table with columns: No., Revision, Date, Appr. for document tracking.

Designed by: Checked by:

Issued for: Date:

Permitting Jan. 4, 2016

Not Approved for Construction

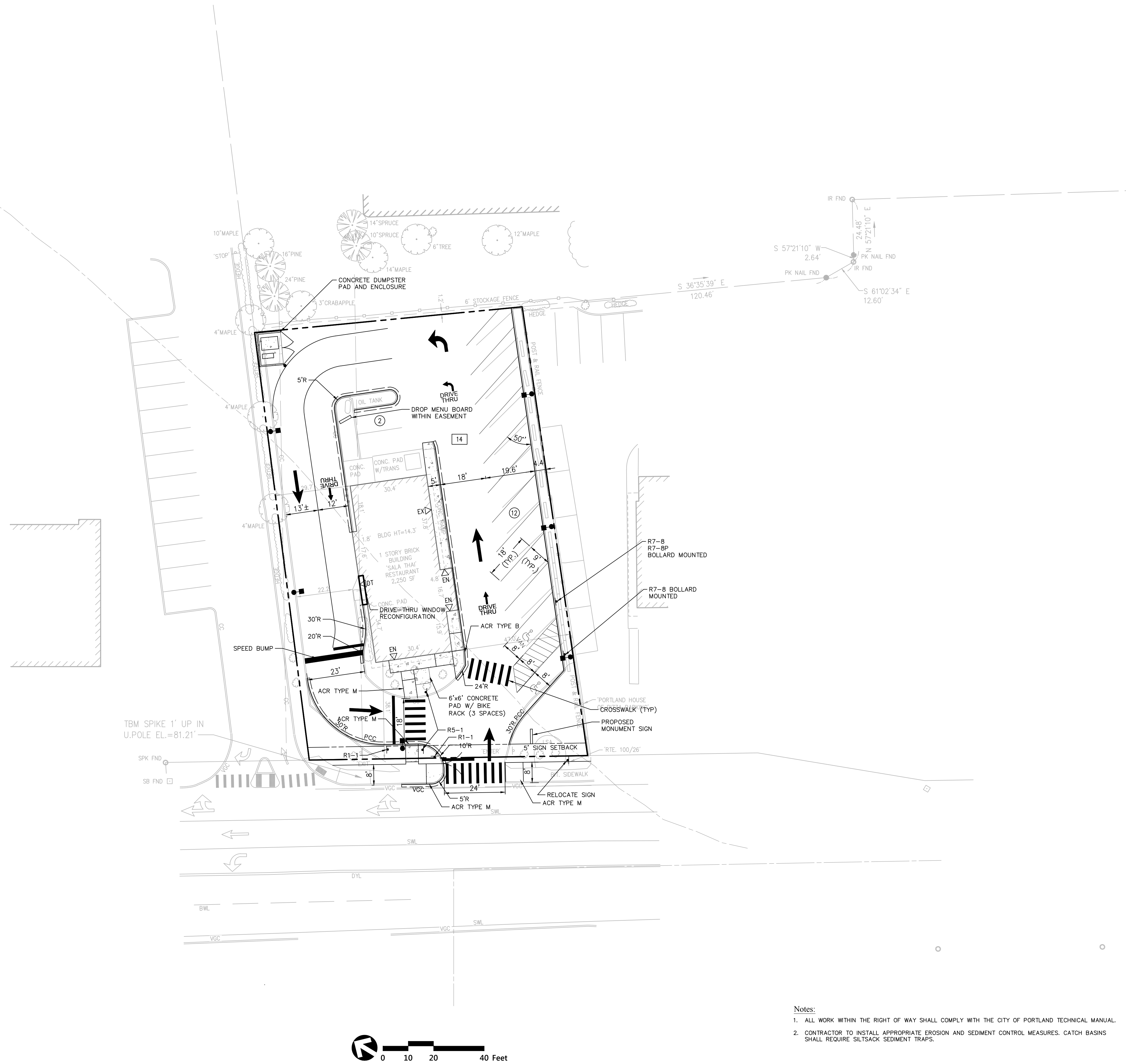
Legend and General Notes section with a black background and white text.

Professional Engineer seal for David Fenstermacher, No. 11913, State of Maine. Includes sheet number 1 of 3 and project number 52387.04.

Sign Summary			
M.U.T.C.D. Number	Specification		Desc.
	Width	Height	
R1-1	30"	30"	
R5-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	



2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900



**Proposed Taco Bell**  
1363 Washington Avenue  
Portland, Maine

No.	Revision	Date	Appr.
1	RESPONSE TO STAFF COMMENTS	3/2/16	
2	FINAL PERMIT PLANS	5/4/16	

Designed by	Checked by
Issued for	Date

Permitting Jan. 4, 2016

Not Approved for Construction  
Drawing Title  
**Layout & Materials**  
Drawing Number



**C-2**

Sheet **2** of **5**

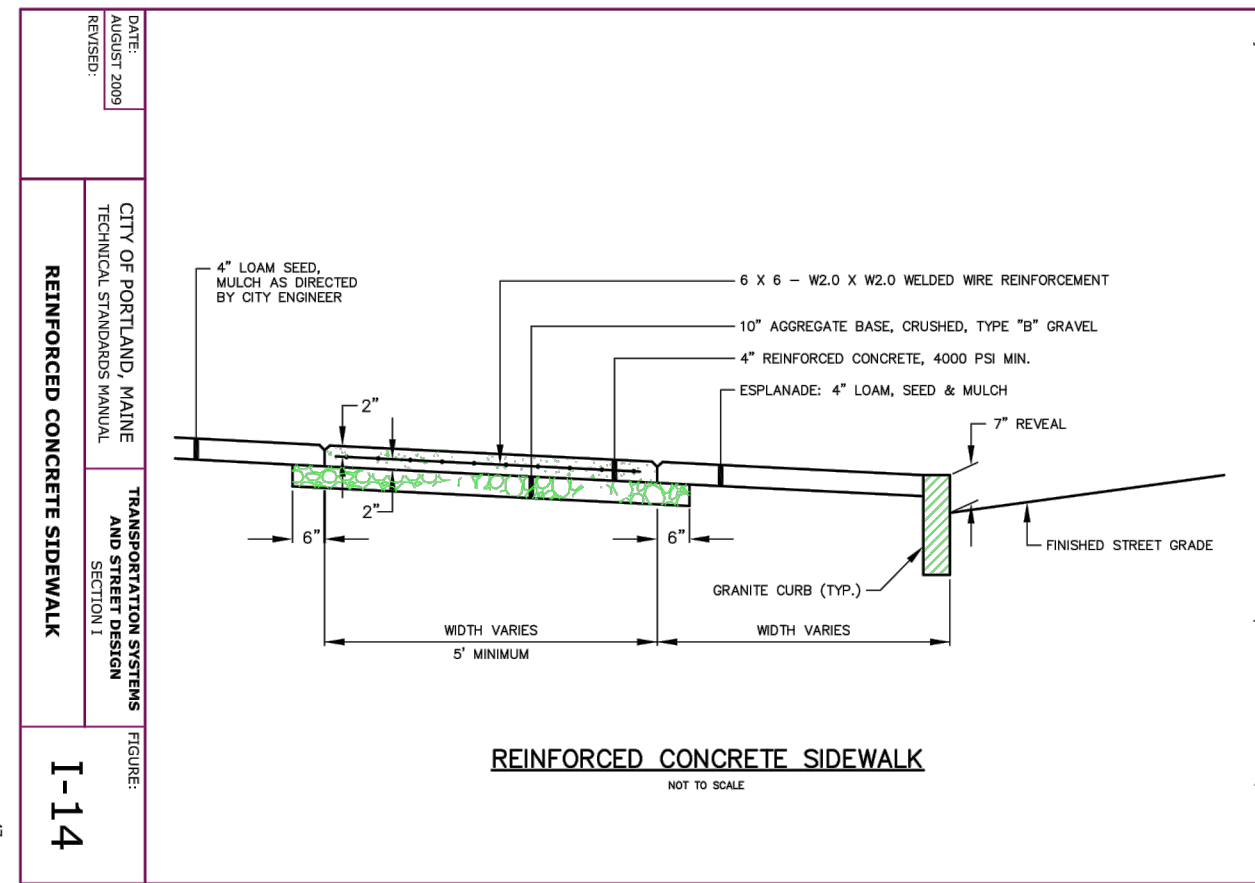
Project Number  
**52387.04**

- Notes:
- ALL WORK WITHIN THE RIGHT OF WAY SHALL COMPLY WITH THE CITY OF PORTLAND TECHNICAL MANUAL.
  - CONTRACTOR TO INSTALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES. CATCH BASINS SHALL REQUIRE SILTSACK SEDIMENT TRAPS.

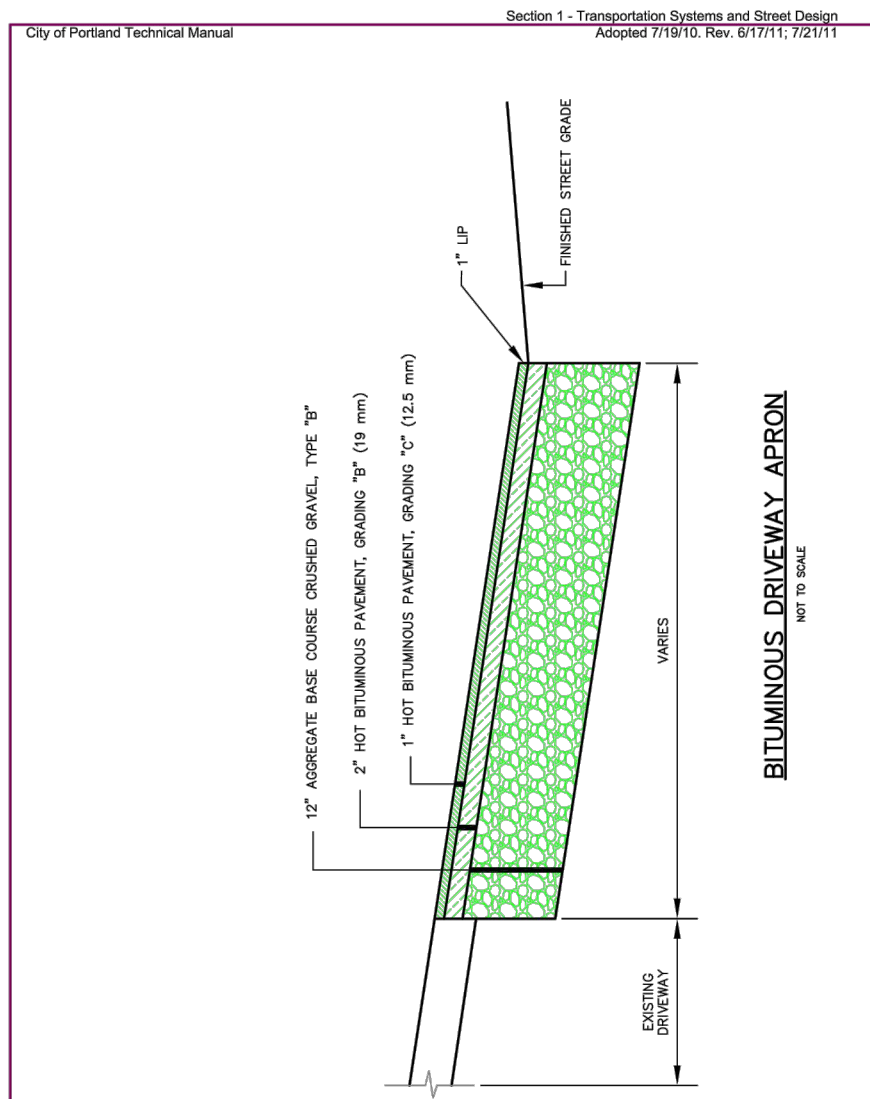






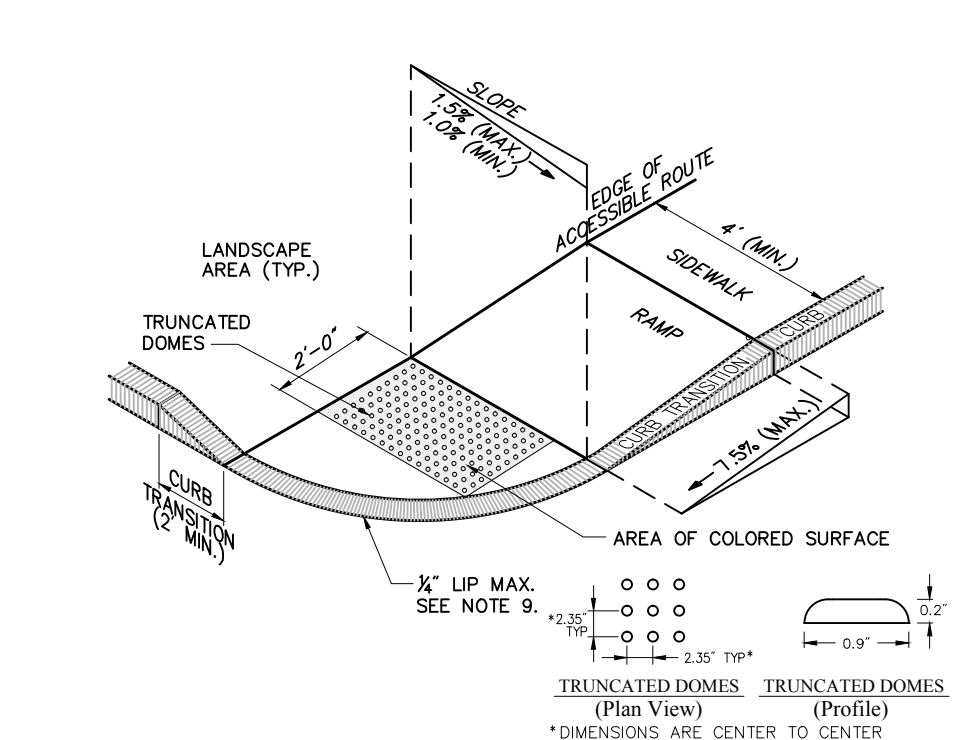


DATE: AUGUST 2009  
 REVISIONS: N.T.S.  
 CITY OF PORTLAND, MAINE  
 TECHNICAL STANDARDS MANUAL  
 TRANSPORTATION SYSTEMS AND STREET DESIGN  
 SECTION I  
**REINFORCED CONCRETE SIDEWALK**  
 FIGURE: I-14  
 SOURCE: VHB  
 LD\_552

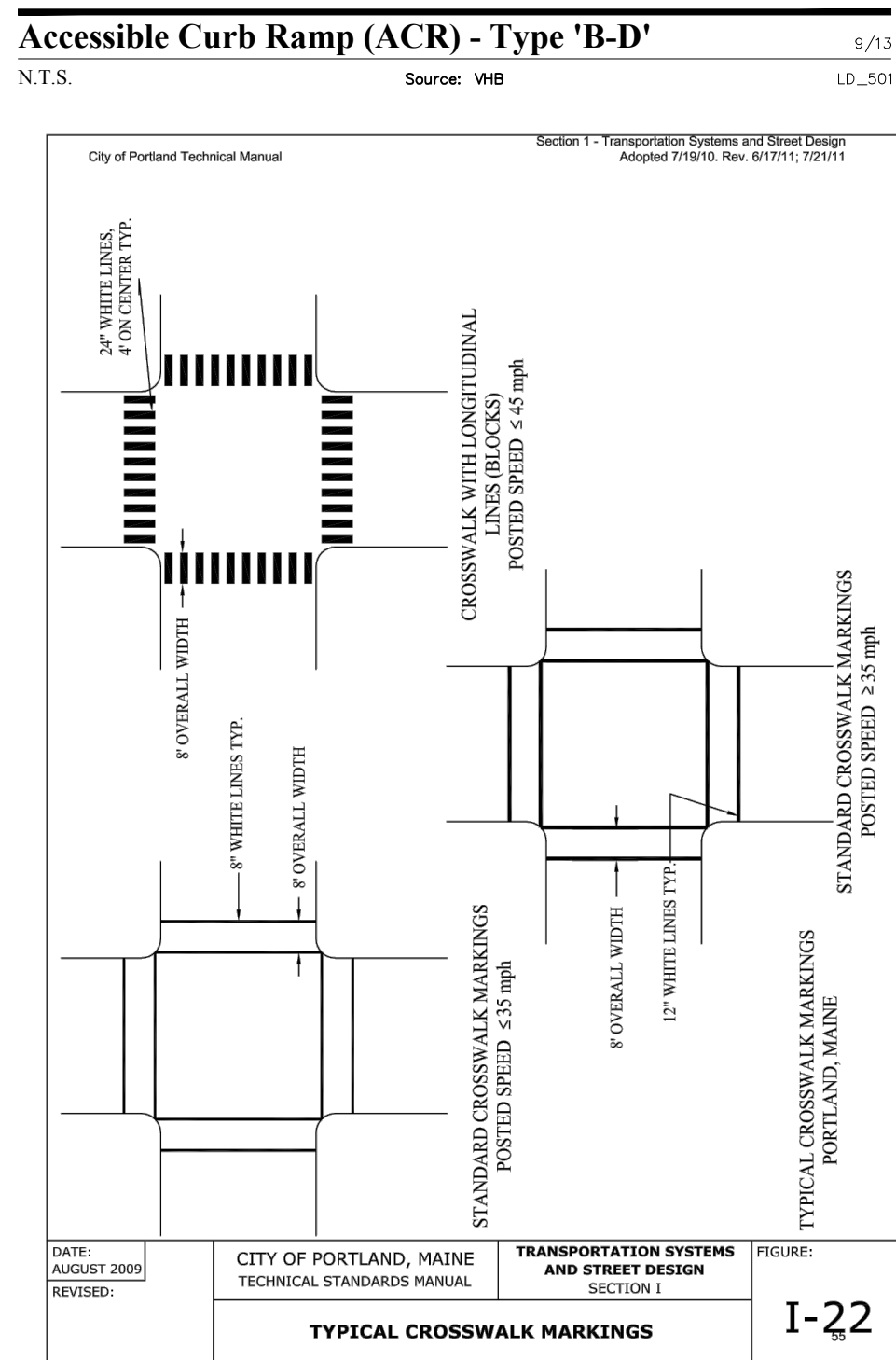


DATE: AUGUST 2009  
 REVISIONS: N.T.S.  
 CITY OF PORTLAND, MAINE  
 TECHNICAL STANDARDS MANUAL  
 TRANSPORTATION SYSTEMS AND STREET DESIGN  
 SECTION I  
**BITUMINOUS DRIVEWAY APRON**  
 FIGURE: I-13  
 SOURCE: VHB  
 LD\_46

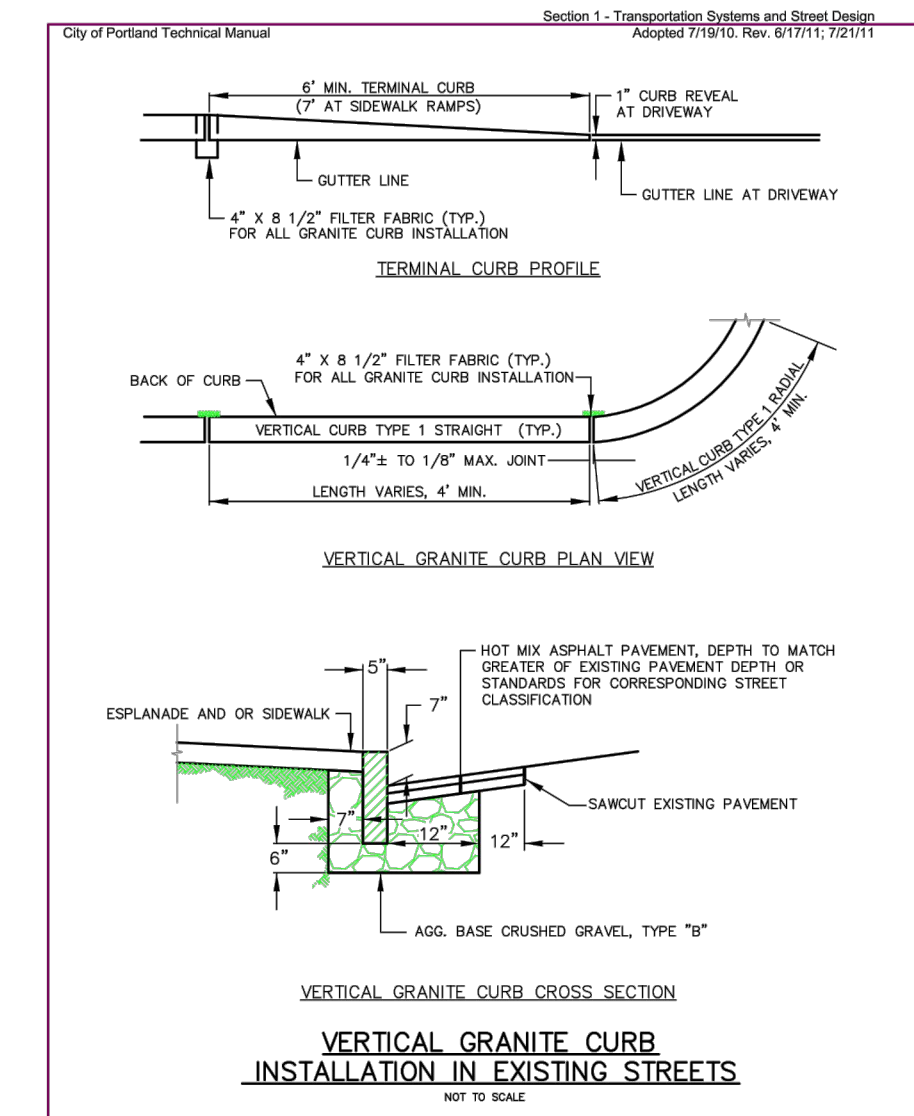
**Precast Concrete Curb (PCC) Set In Existing Pavement**  
 N.T.S. Source: VHB LD\_405



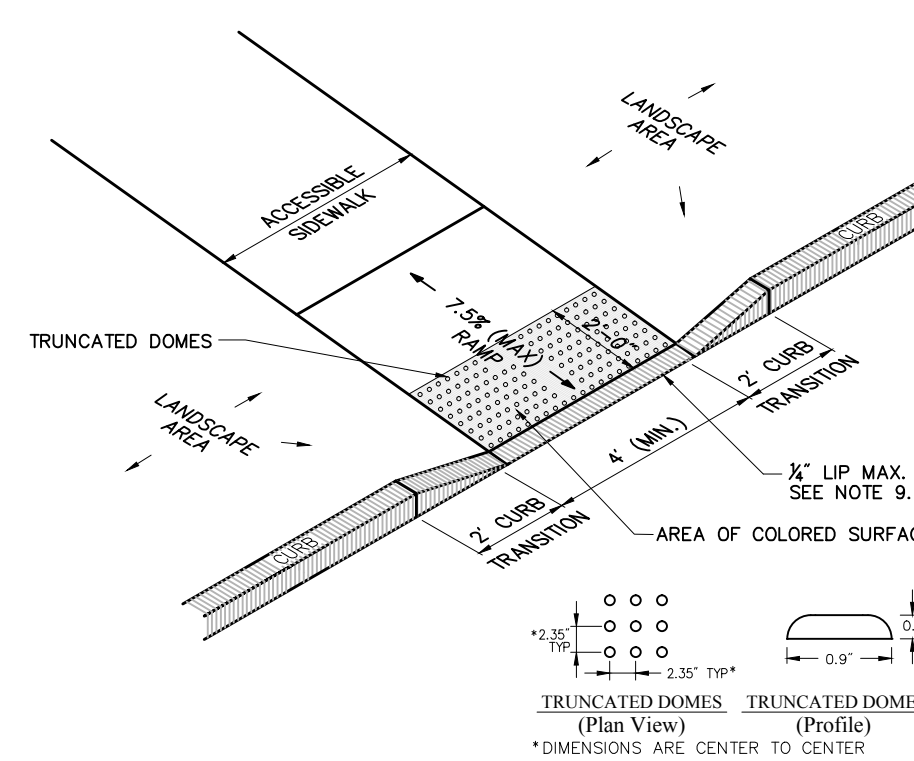
**Accessible Curb Ramp (ACR) - Type 'B-D'**  
 N.T.S. Source: VHB LD\_501



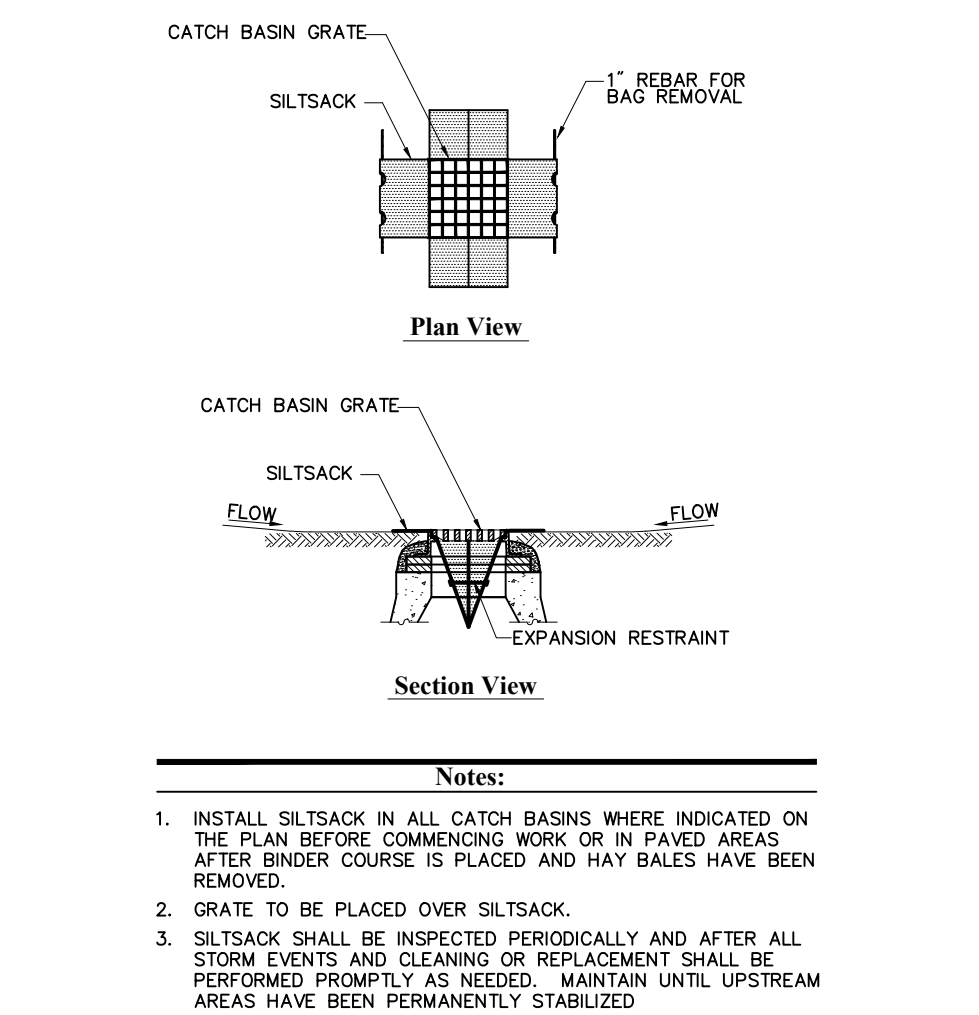
DATE: AUGUST 2009  
 REVISIONS: N.T.S.  
 CITY OF PORTLAND, MAINE  
 TECHNICAL STANDARDS MANUAL  
 TRANSPORTATION SYSTEMS AND STREET DESIGN  
 SECTION I  
**TYPICAL CROSSWALK MARKINGS**  
 FIGURE: I-22  
 SOURCE: VHB  
 LD\_703



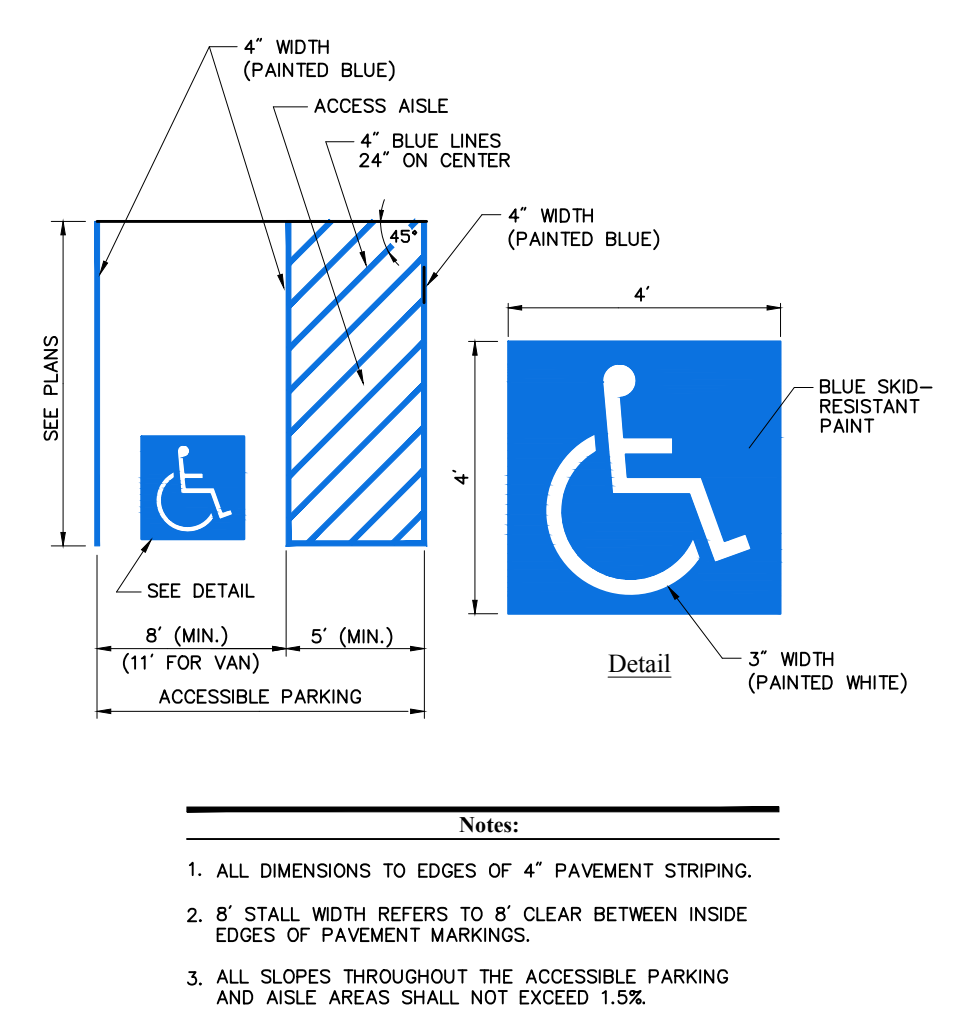
DATE: AUGUST 2009  
 REVISIONS: N.T.S.  
 CITY OF PORTLAND, MAINE  
 TECHNICAL STANDARDS MANUAL  
 TRANSPORTATION SYSTEMS AND STREET DESIGN  
 SECTION I  
**VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS**  
 FIGURE: I-17  
 SOURCE: VHB  
 LD\_80



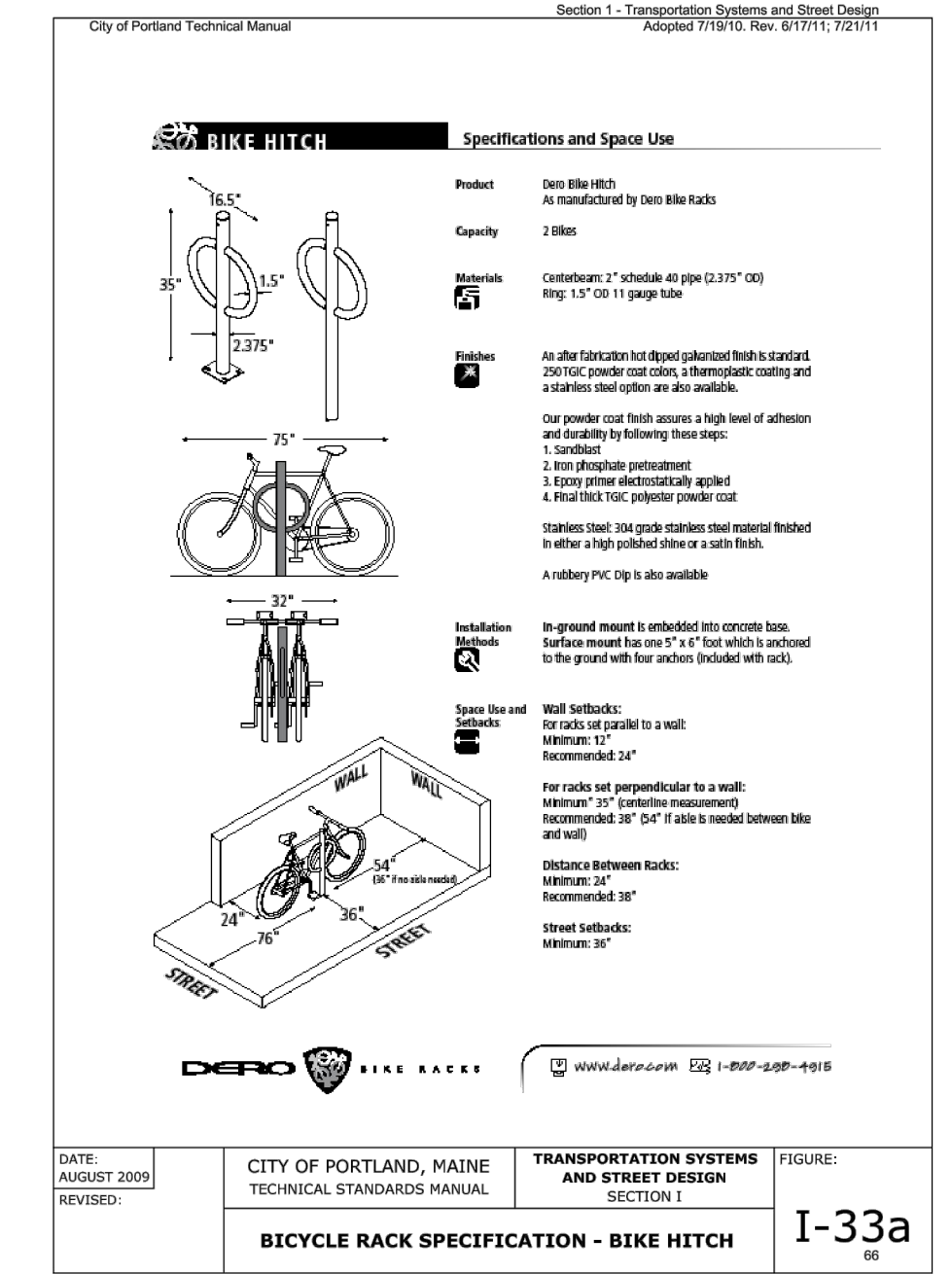
**Accessible Curb Ramp (ACR) Type 'M-D'**  
 N.T.S. Source: VHB LD\_512



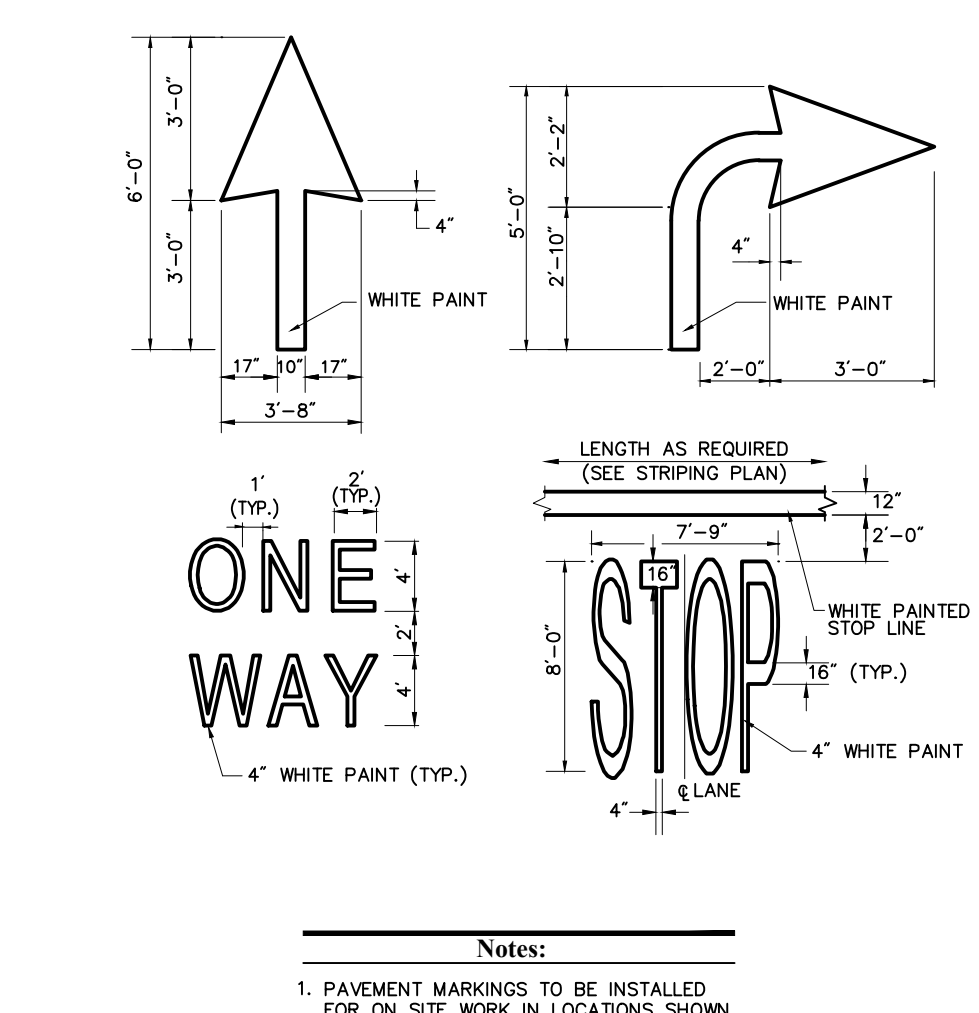
**Siltsack Sediment Trap**  
 N.T.S. Source: VHB LD\_674



**Accessible Parking Space**  
 N.T.S. Source: VHB LD\_552



**BICYCLE RACK SPECIFICATION - BIKE HITCH**  
 N.T.S. Source: VHB LD\_533a



**Painted Pavement Markings - On Site**  
 N.T.S. Source: VHB LD\_554



**Proposed Taco Bell**  
 1363 Washington Avenue  
 Portland, Maine

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1	RESPONSE TO STAFF COMMENTS	3/2/16	
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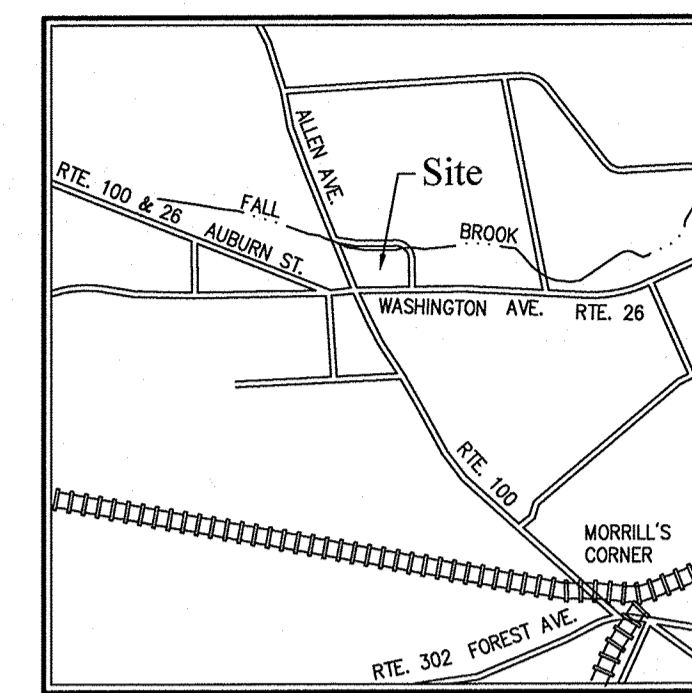
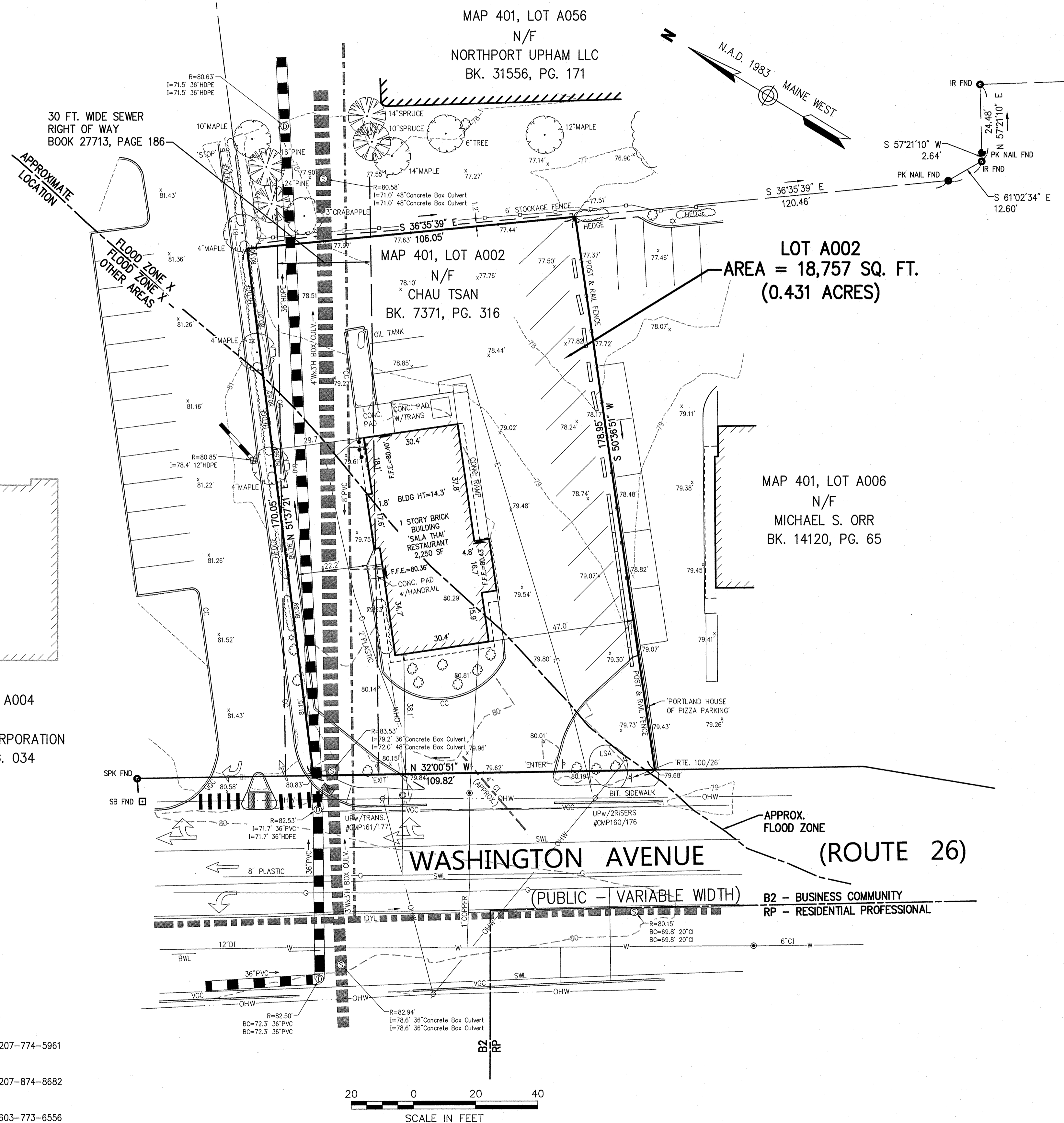
Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
 Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**Permitting** Jan. 4, 2016

**Not Approved for Construction**  
 Drawing Title: **Details**  
 Drawing Number: \_\_\_\_\_

STATE OF MAINE  
 DAVID FENSTERMACHER  
 No. 11913  
**C-4**  
 Sheet 4 of 5  
 Project Number: 52387.04







Locus Map  
(NOT TO SCALE)

vhb.com

500 Southborough Drive  
Suite 105B  
South Portland, ME 04106  
207.889.3150

MAP 401, LOT A004  
N/F  
REALTY INCOME CORPORATION  
BK. 25785, PG. 034

MAP 401, LOT A056  
N/F  
NORTHPORT UPHAM LLC  
BK. 31556, PG. 171

MAP 401, LOT A002  
N/F  
CHAU TSAN  
BK. 7371, PG. 316

LOT A002  
AREA = 18,757 SQ. FT.  
(0.431 ACRES)

MAP 401, LOT A006  
N/F  
MICHAEL S. ORR  
BK. 14120, PG. 65

- Legend**
- ⊕ DRAIN MANHOLE
  - ⊕ CATCH BASIN
  - ⊕ SEWER MANHOLE
  - ⊕ ELECTRIC MANHOLE
  - ⊕ TELEPHONE MANHOLE
  - ⊕ MANHOLE
  - ⊕ HH - HANDHOLE
  - ⊕ BOLLARD
  - ⊕ WATER GATE
  - ⊕ FIRE HYDRANT
  - ⊕ GAS GATE
  - ⊕ STREET SIGN
  - ⊕ LIGHT POLE
  - ⊕ UTILITY POLE
  - ⊕ GUY POLE
  - ⊕ GUY WIRE
  - ⊕ MONITORING WELL
  - EDGE OF PAVEMENT
  - CONCRETE CURB
  - VERTICAL GRANITE CURB
  - SLOPED GRANITE EDGE
  - BITUMINOUS BERM
  - GUARD RAIL
  - CHAIN LINK FENCE
  - DRAINAGE LINE
  - SEWER LINE
  - OVERHEAD WIRE
  - UNDERGROUND ELECTRIC
  - TELEPHONE LINE
  - GAS LINE
  - WATER LINE
  - STONE WALL
  - TREE LINE
  - WF1-100 VEGETATED WETLAND BOUNDARY

- Plan References**
- "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR WENDWORD CORP. PROPOSED WENDY'S SITE PROPOSED BUILDING ON 50' SETBACK" PREPARED BY H.I. & E.C. JORDAN - SURVEYORS, DATED MARCH 17, 1977 AND RECORDED IN PLAN BOOK 118, PAGE 63.
  - "CONDOMINIUM PLAT OF NORTHPORT BUSINESS PARK WASHINGTON AVE AND ALLEN AVE. PORTLAND, MAINE FOR : LL BEAN, INC." DATED 6-1-06, REVISED TO 7-20-06 AND RECORDED IN PLAN BOOK 207, PAGE 20.
  - "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR NEW ENGLAND LAND COMPANY" PREPARED BY H.I. & E.C. JORDAN - SURVEYORS, DATED MAY 20, 1970 AND RECORDED IN PLAN BOOK 86, PAGE 29.
  - "RIGHT OF WAY MAP STATE HIGHWAY "15" (WASHINGTON AVE. & ALLEN AVE.) PORTLAND CUMBERLAND COUNTY FEDERAL AID PROJECT NO. STP-7541 (00)X", DATED JANUARY 2003.

- General Notes**
- THE OWNER OF RECORD AT THE TIME OF THE SURVEY IS:  
CHAU TSAN  
238 GORHAM ROAD  
SCARBOROUGH, MAINE 04074
  - THE PROPERTY LINES SHOWN WERE DETERMINED BY ACTUAL FIELD SURVEY CONDUCTED IN NOVEMBER 2015 WITH AN ERROR OF CLOSURE LESS THAN 1:10,000 AND PLANS AND DEEDS OF RECORD.
  - THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC IN NOVEMBER 2015
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
  - HORIZONTAL DATUM IS N.A.D. 1983. (MAINE WEST)
  - CONTOURS AND SPOT ELEVATIONS SHOWN ARE BASED UPON N.A.V.D. 1988.
  - MAP 401 LOT A002 LIES PARTIALLY WITHIN ZONE X (AREA OUTSIDE OF 500 YEAR FLOODPLAIN) AND ZONE X (AREA OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE FT) AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF PORTLAND COMMUNITY PANEL NUMBER 230051 0002 C, AND 230051 0007 C, EFFECTIVE DATE DECEMBER 8, 1988.
  - MAP 426 LOT 44-6 LIES ENTIRELY WITHIN THE BUSINESS COMMUNITY (B2) ZONING DISTRICT AS DEFINED BY THE PORTLAND ZONING ORDINANCE, DIMENSIONAL REQUIREMENTS FOR THE COMMERCIAL DISTRICT AT THE TIME OF THE SURVEY ARE AS FOLLOWS:  

MINIMUM LOT AREA	NONE
MINIMUM FRONTAGE	80 FEET
MINIMUM FRONT YARD SETBACK	15 FEET
MINIMUM SIDE YARD SETBACK	10 FEET
MINIMUM REAR YARD SETBACK	25 FEET
  - 15 PARKING SPACES WERE OBSERVED ON LOCUS.

**Utility Contacts**

<b>WATER</b>		
PORTLAND WATER DISTRICT	KEVIN ISHIHARA	207-774-5961
<b>WASTE WATER</b>		
PORTLAND SEWER DISTRICT	MICHELLE SWEENEY	207-874-8682
<b>NATURAL GAS</b>		
UNITIL	ESTHER OLSON-MURPHY	603-773-6556
<b>ELECTRIC</b>		
CENTRAL MAINE POWER	TOM ATWOOD	207-791-1022
<b>TELEPHONE/INTERNET/TV</b>		
TIME WARNER CABLE	DON JOHNSON	207-253-2291

**1363 Washington Avenue**  
Route 26  
Portland, Maine 04101

No.	Revision	Date	Appr.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
Issued for \_\_\_\_\_ Date \_\_\_\_\_

December 13, 2015

**Existing Conditions Plan of Land**

Drawing Number

**Sv-1**

Sheet 1 of 1

Project Number  
52387.04