

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that CORY & SNOW

Located At 398 RAY

Job ID: 2011-05-1132-ALTR

CBL: 400 - - D - 017 - 001 - - - -

has permission to alterations and additions

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before ~~this~~ building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer // Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

[Handwritten signature and date: G/8/11]

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Setback inspection required prior to pouring concrete.
 2. Close-in inspection of framing, plumbing, and electrical prior to insulating or drywalling.
 3. Final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-05-1132-ALTR

Located At: 398 RAY

CBL: 400 - - D - 017 - 001 - - - -

Conditions of Approval:

Zoning

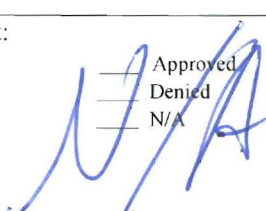
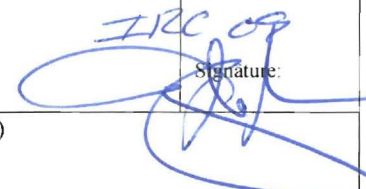
1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
4. This permit is being issued with the condition that the existing deck needs to be permitted within thirty days of the date the permit is issued.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1132-ALTR	Date Applied: 5/19/2011	CBL: 400 - - D - 017 - 001 - - - - -	
Location of Construction: 398 RAY ST	Owner Name: CORY SNOW & SHEILA SULLIVAN	Owner Address: 398 RAY ST PORTLAND, ME 04103	Phone: 207-878-3097
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single Family	Proposed Use: Single Family – replace existing 7.5' x 16 one story addition with a two story addition in same footprint.	Cost of Work: 50000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB
Proposed Project Description: 398 Ray St. – replace one story additions w/ two story addition (7.5' x 16')		Signature: 	Signature: 
Permit Taken By:		Pedestrian Activities District (P.A.D.)	
		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
2. Building Permits do not include plumbing, septic or electrical work.	<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
	Date: <i>05/26/11 ABM</i>	Date:	Date: <i>ABM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

8-28-17

- Newsnotes + CO₂
- Seal penetrations
- CIC on Framing around
tub
- Dryer Vent



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 398 Ray Street, Portland, Maine 04103		
Total Square Footage of Proposed Structure/Area footprint=no change: 2,222 SF including decks and porches	Square Footage of Lot 50,000	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# BOOK 22875/197 MAP N7 . LOTS 400-D-17 AND 403-F-18	Applicant "must be owner, Lessee or Buyer" Name Cory Snow and Sheila Sullivan Address 398 Ray Street City, State & Zip Portland, ME 04103	Telephone: 878-3097
Lessee/DBA (If Applicable) N/A	Owner (if different from Applicant) Name same Address City, State & Zip	Cost Of Work: \$ 50,000 C of O Fee: \$ Total Fee: \$ 50,000
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? Proposed Specific use: <u>no change</u> Is property part of a subdivision? <u>no</u> If yes, please name Project description: Replace a single-story existing addition with a two-story addition on the same foundation. Footprint of addition is approximately 7'6" x 18'. First floor to contain small sitting room off existing kitchen and small 1/2 bath. Second floor to contain master bath off existing master BR and small laundry room.		
Contractor's name: <u>TBD</u> Address: City, State & Zip Telephone: Who should we contact when the permit is ready: <u>Owner, Sheila Sullivan</u> Telephone: <u>c. 653-1688</u> Mailing address: <u>398 Ray Street Portland, ME 04103</u>		

#1695

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
MAY 19 2011
Department of Building Inspections
City of Portland, Maine

Signature:

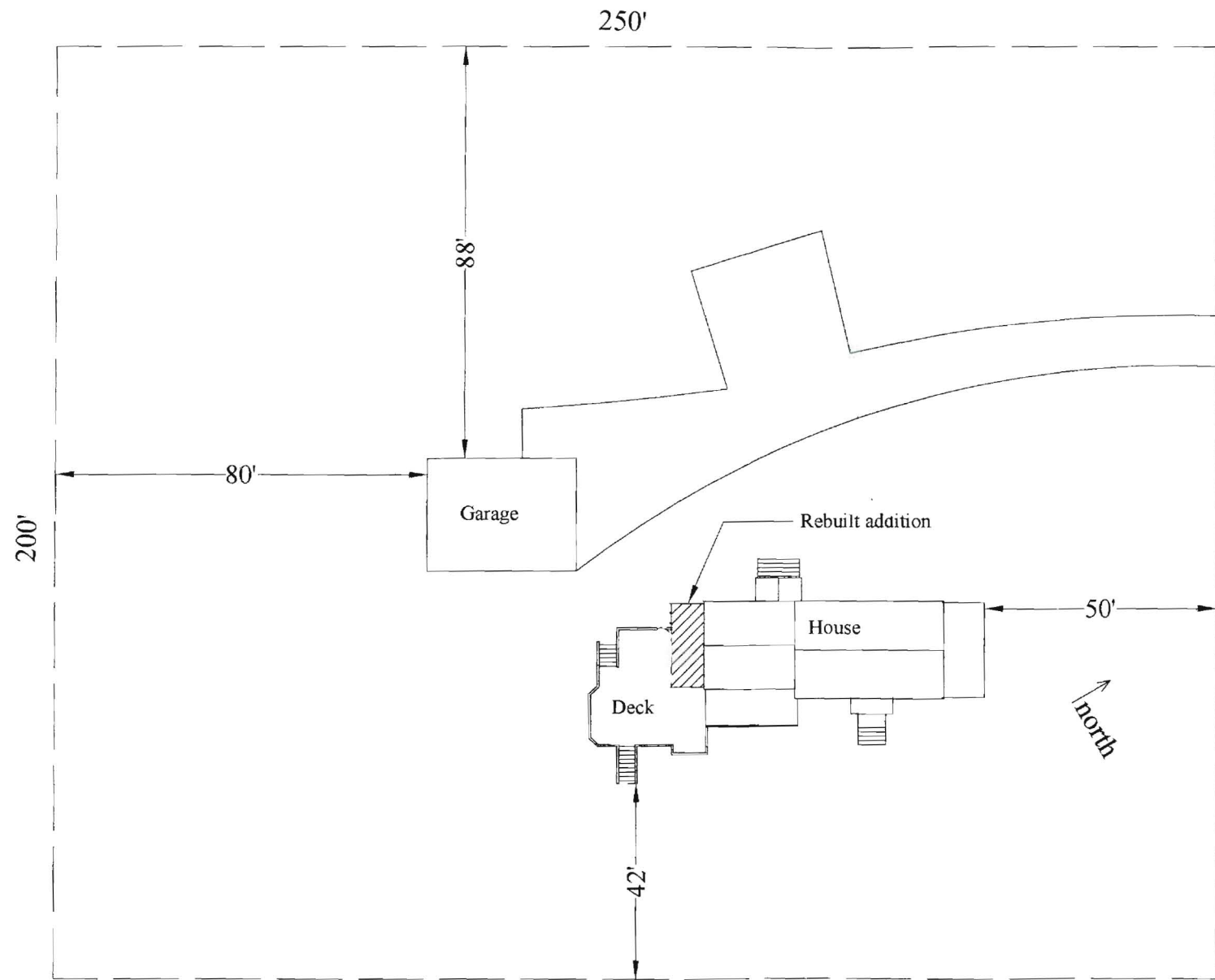
Sheila Sullivan

Date:

5-12-11

This is not a permit; you may not commence ANY work until the permit is issued

Issued/Revised	
No.	Date Description
1	12/1/2010 Schematic Design
2	2/4/2011 Schematic Design Revised
3	4/29/2011 Preliminary set issued for builder review and pricing start
4	5/18/2011 Issued for Building Permit
5	
6	



EXISTING and PROPOSED SITE PLAN

Notes: Distances to lot lines are approximate.
There is no change to building footprint as new addition is on the foundation

ZONING ANALYSIS SUMMARY

BOOK 22875/197
MAP N7, LOTS 400-D-17 AND 403-F-16

BOOK 22875/197

ZONING DISTRICT R-3
YARD SIZE REQUIREMENTS:
FRONT YARD 25'
REAR YARD 25' (5' FOR BUILDINGS <144 SF)
SIDE YARD 14' FOR TWO STORIES (5' FOR BUILDINGS <144 SF)

MAX HEIGHT IS LESS THAN 35'

MAX LOT COVERAGE = 35%
LOT SIZE IS 200X250=50,000 SF,
COVERAGE HOUSE 2231 SF, GARAGE 768 SF
TOTAL COVERAGE IS 2999 SF, OR 6%

R-3
lot size - 50,000 sq ft
front - 25' min - N/A
rear - 25' min - 80' +
side - 8' 14" min - 80' +
8' 14" min - 42' 6" min

LIST OF DRAWINGS

- A0 COVER/SITE PLAN
- A1 FIRST FLOOR EXISTING AND DEMOLITION PLAN
- A2 SECOND FLOOR EXISTING/ DEMOLITION PLAN
- A3 EXISTING ROOF PLAN
- A4 FULL HOUSE EXTERIOR ELEVATIONS AT 1/8"
- A5 FOUNDATION AND FRAMING PLANS
- A6 FIRST FLOOR PLAN
- A7 SECOND FLOOR PLAN
- A8 ROOF PLAN
- A9 ADDITION EXTERIOR ELEVATIONS AT 1/4"
- A10 INTERIOR ELEVATIONS
- A11 NOT USED
- A12 BUILDING SECTION
- A13 DETAILS
- A14 DETAILS

- E1 FIRST FLOOR ELECTRICAL PLAN
- E2 SECOND FLOOR ELECTRICAL PLAN

RECEIVED
MAY 19 2011
Dept. of Building Inspections
City of Portland Maine

lot coverage - 17,500 sq ft
house - 1379 sq ft
768
deck - 2147
525
2672

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t: 207.899.1845 e: newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title
SITE PLAN AND COVER SHEET

Scale As noted
Date 18 MAY 2011
Project No. 10 102
Drawing No.

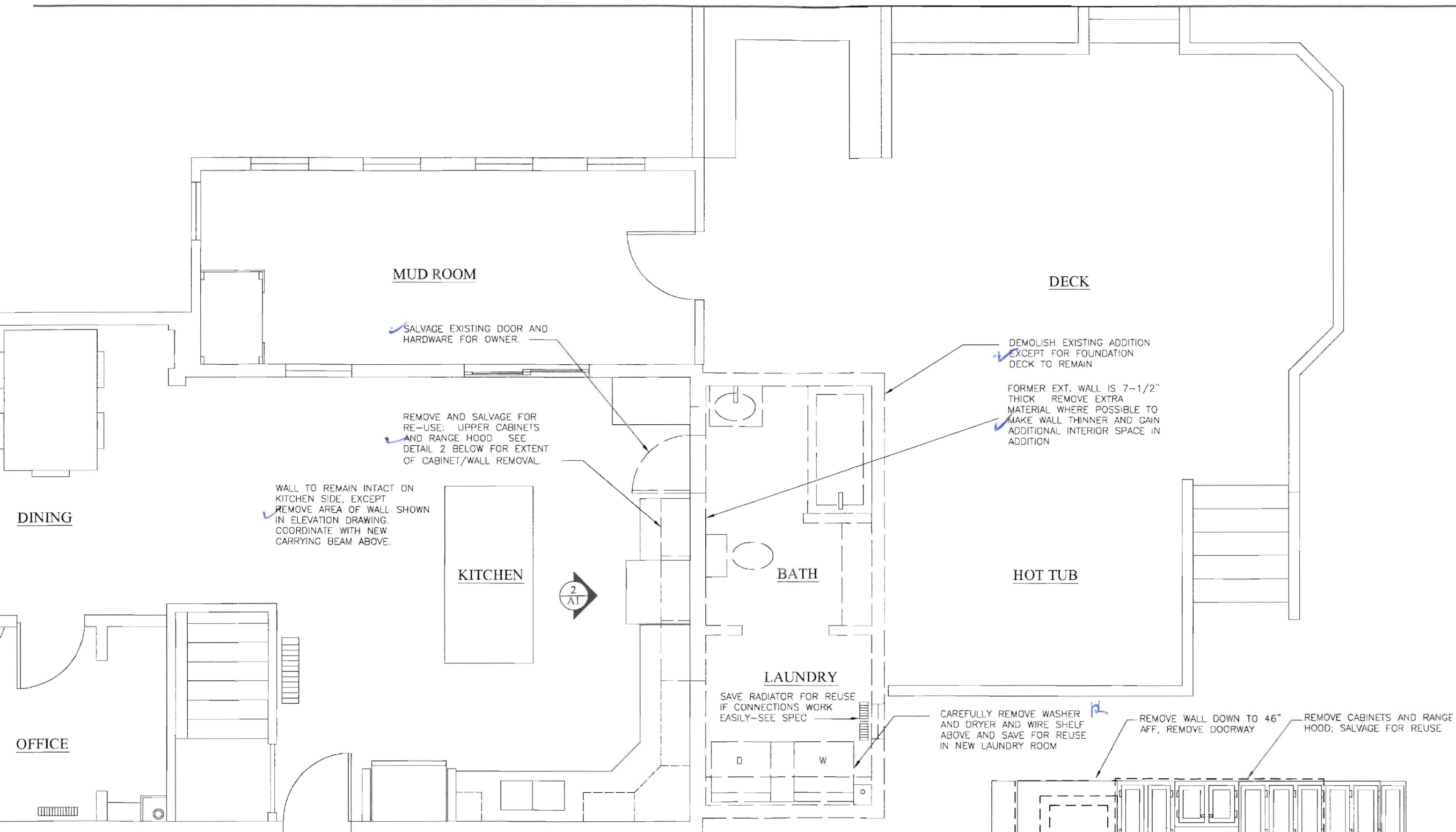
CORY SNOW AND SHEILA SULLIVAN FAMILY HOUSE 398 RAY STREET PORTLAND, MAINE
RENOVATION AND ADDITION PROGRESS DRAWINGS ISSUED FOR PERMIT MAY 18, 2011
ELIZABETH NEWMAN ARCHITECT

A0

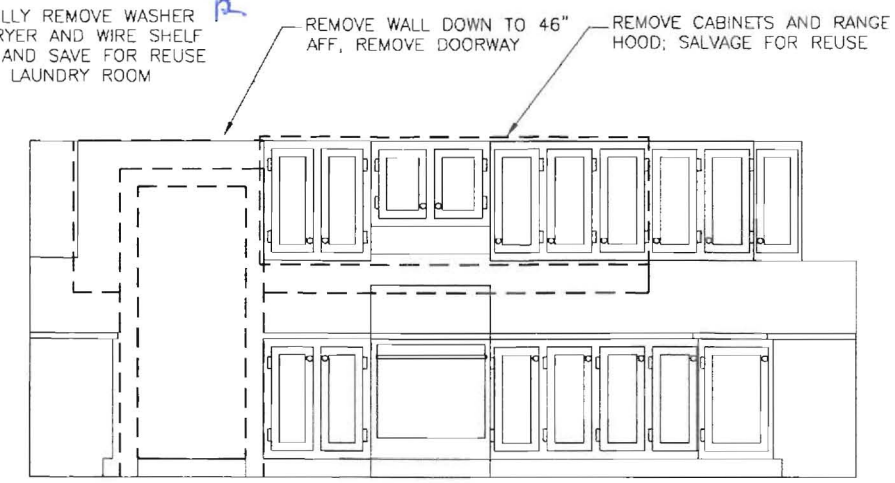
No.	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start.
4	5/18/2011	Issued for Building Permit
5		
6		

16x125 = 200
 25x13 = 325

 525



1 EXISTING FIRST FLOOR PLAN AND DEMOLITION NOTES
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5 10 15



2 EXG KITCHEN SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

Key Plan
 Not to scale

Elizabeth Newman
 Architect
 32 Sawyer Street Portland Maine 04103
 t. 207.899.1845 e. newman.liz@gmail.com

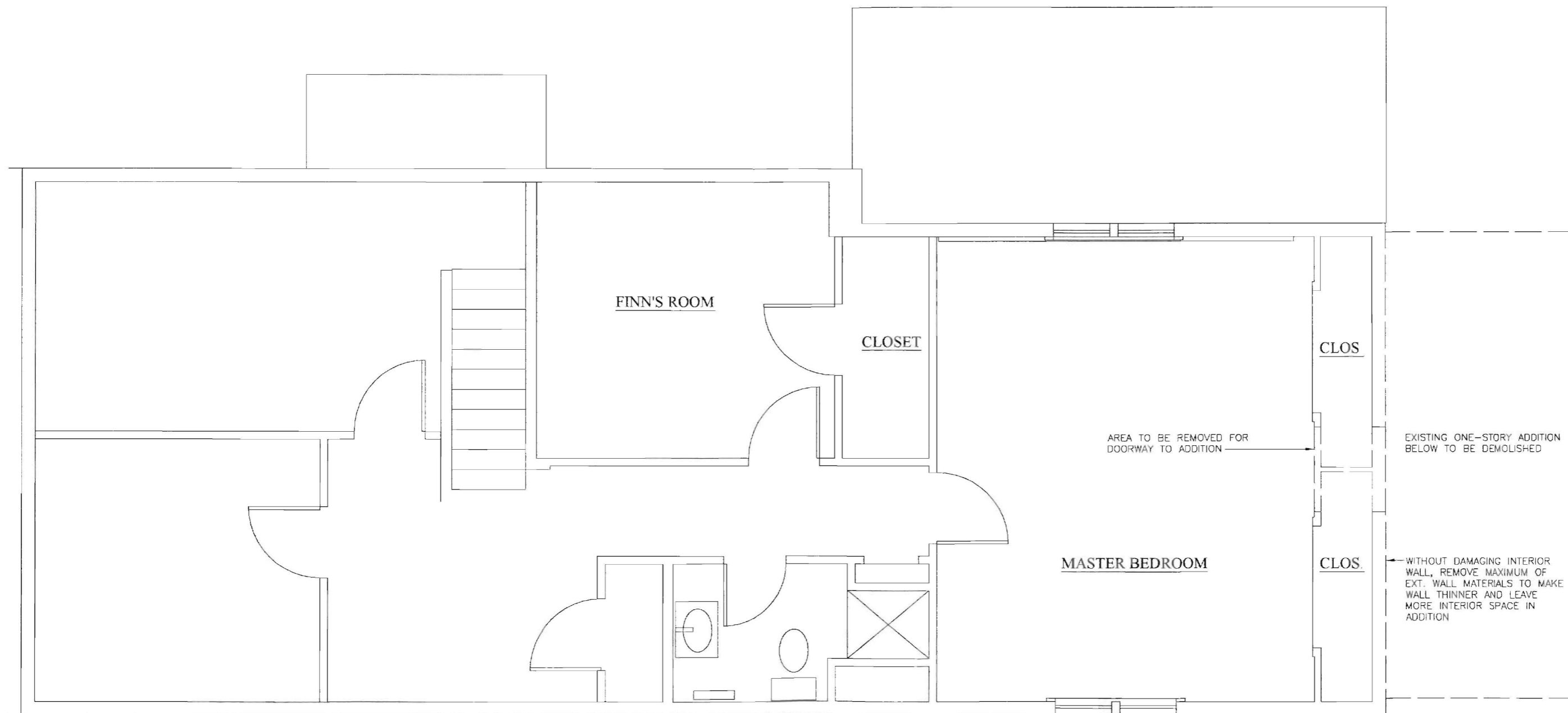
Cory Snow and Sheila
 Sullivan-Family Home
 398 Ray Street
 Portland, Maine 04103

Drawing Title
**Existing/
 Demolition
 First Floor Plan**

Scale As noted
 Date 18 MAY 2011
 Project No. 10.102
 Drawing No.

A1

Issued/Revised		
No.	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/28/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



1 EXISTING SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5 10 15

Key Plan
 Not to scale

Elizabeth Newman
 Architect

32 Sawyer Street Portland Maine 04103
 t. 207.899.1845 e. newman.liz@gmail.com

Cory Snow and Sheila
 Sullivan-Family Home
 398 Ray Street
 Portland, Maine 04103

Drawing Title
**Existing/
 Demolition
 Second Floor Plan**

Scale As noted

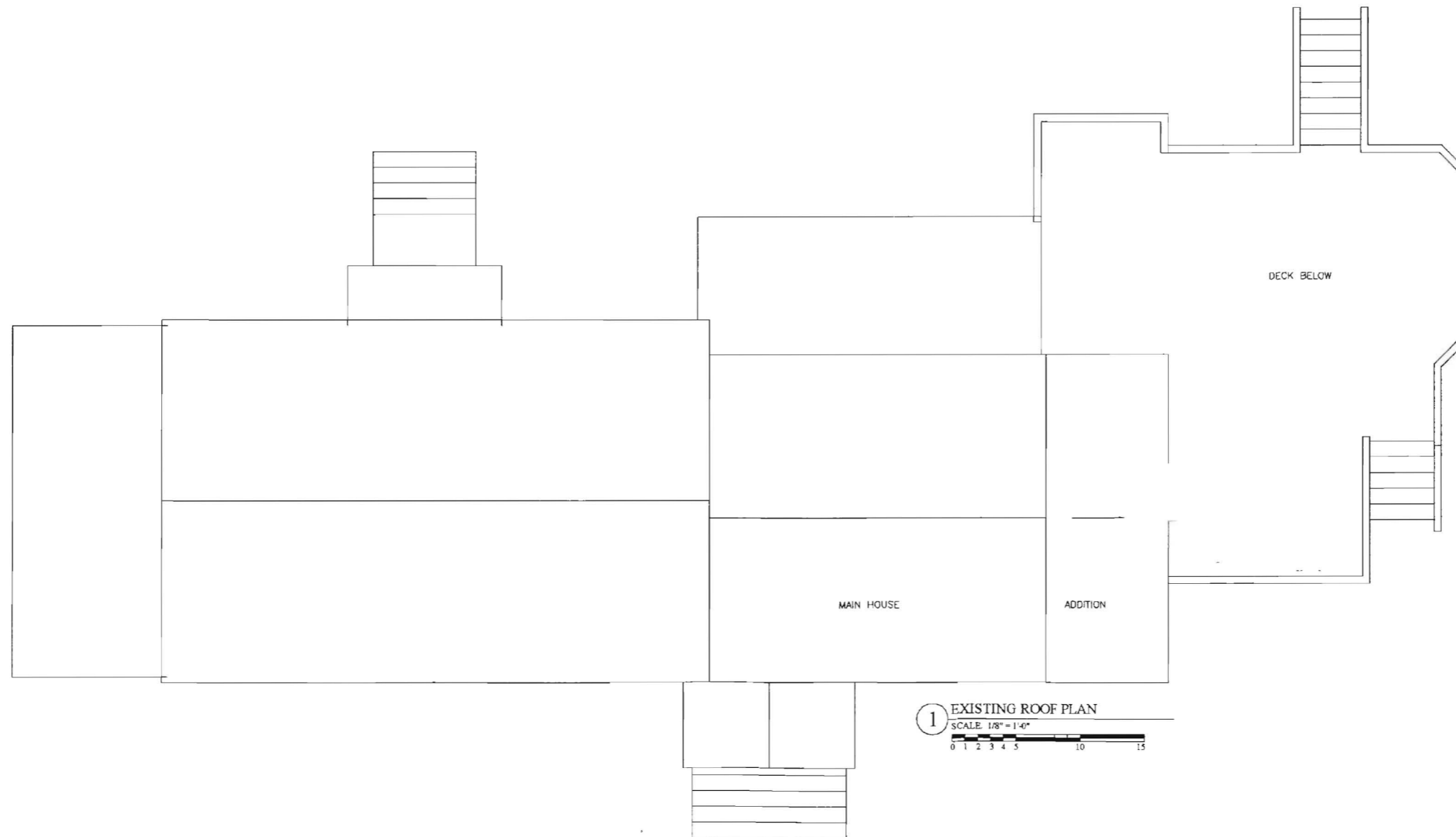
Date 18 MAY 2011

Project No. 10.102

Drawing No.

A2

Issued/Revised		
No	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t. 207.899.1845 e. newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title

Existing
Roof Plan

Scale As noted

Date 18 MAY 2011

Project No. 10 102

Drawing No.

A3

Issued/Revised		
No.	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



1 FULL EXISTING EAST (ABOVE) AND WEST ELEVATIONS
1/8"=1'-0"



Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t. 207.899.1845 e. newman.iz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

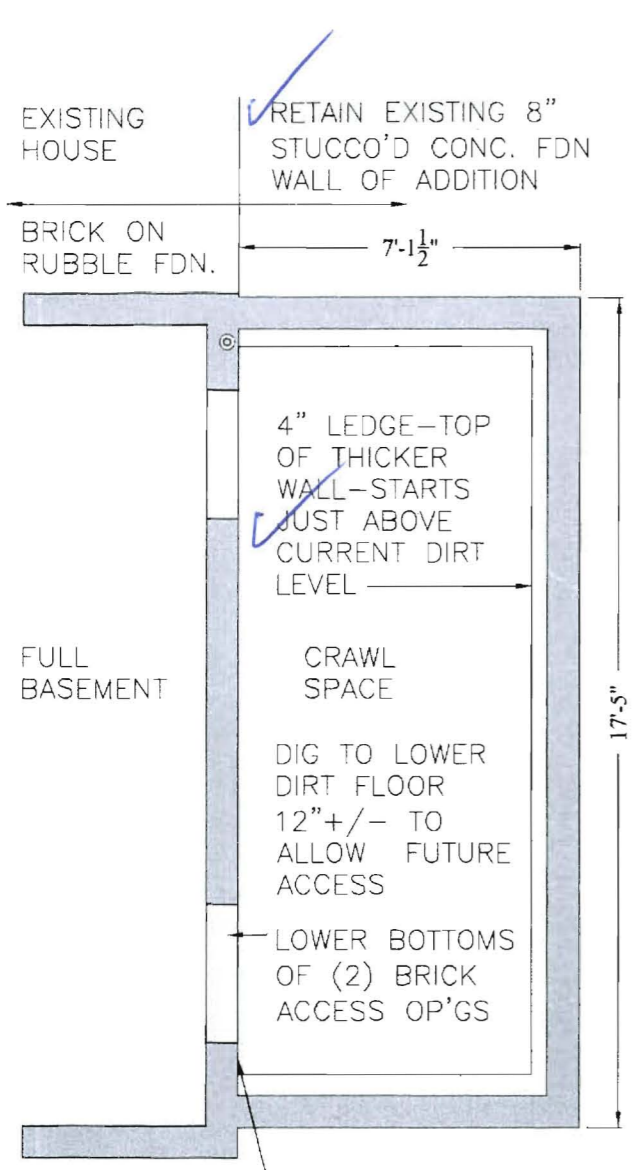
Drawing Title

**Existing Long
Exterior Elevations**

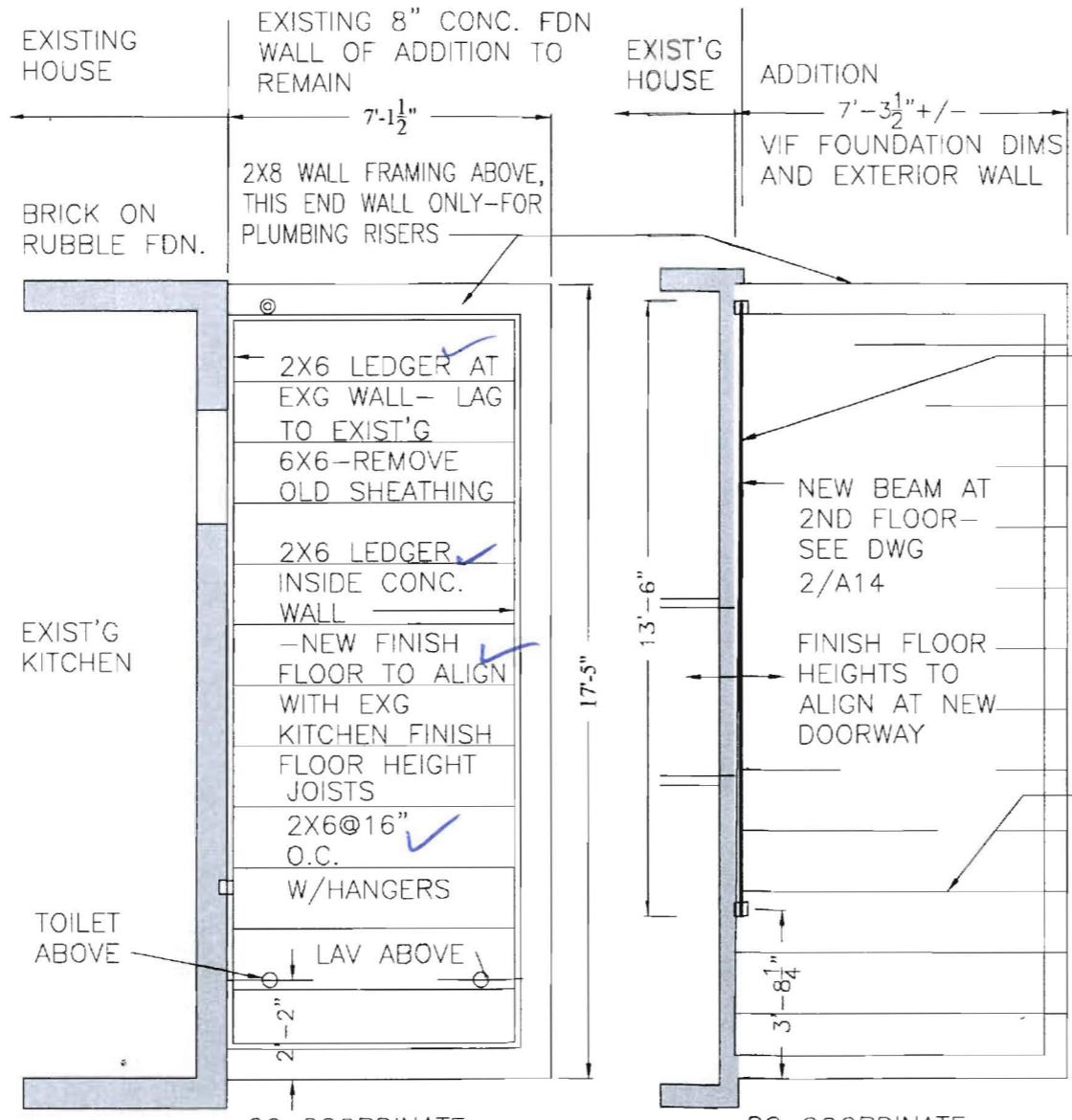
Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

A4

Issued/Revised	
No.	Date Description
1	12/1/2010 Schematic Design
2	2/4/2011 Schematic Design Revised
3	4/28/2011 Preliminary set issued for builder review and pricing start
4	5/18/2011 Issued for Building Permit
5	
6	



NOTE: REMOVE UNNEEDED/ UNSOUND MATERIAL FROM FACE OF FORMER EXTERIOR WALL



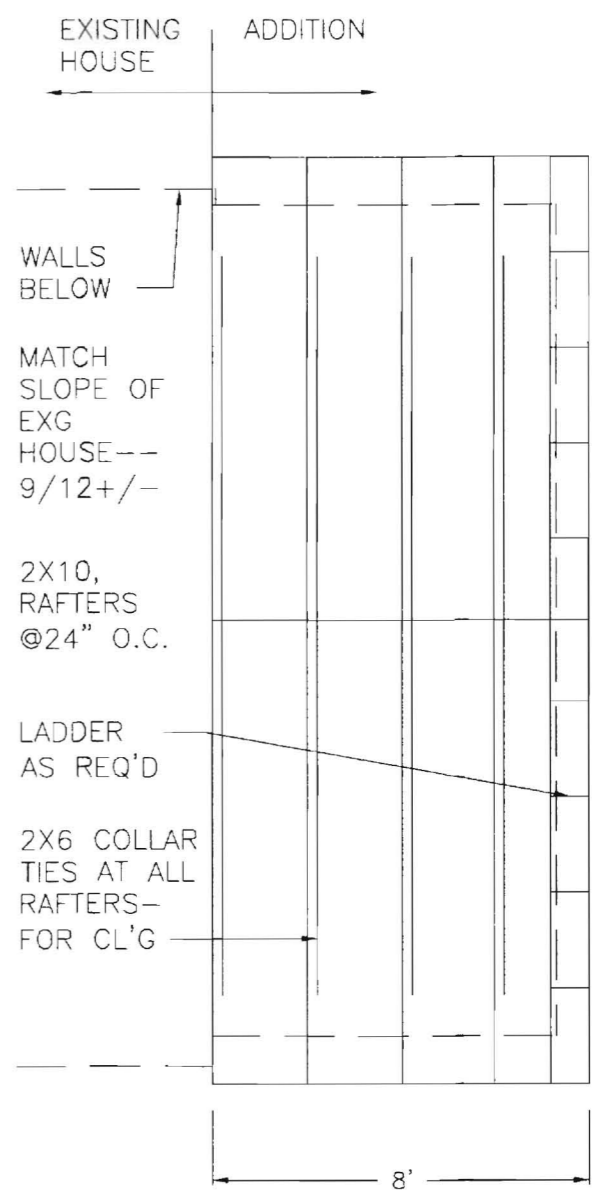
STRIP OLD EXT. WALL DOWN TO STUDS.

SISTER IN NEW CARRYING BEAM BELOW 2ND FLOOR ON 4X4 POSTS IN WALLS BELOW TO SPAN NEW 1ST FL. WALL OP'G BELOW AND CARRY FLOOR. FASTEN TO STUDS. PROVIDE CALCS BY MFCTR. TO CITY.

NEW BEAM AT 2ND FLOOR- SEE DWG 2/A14

FINISH FLOOR HEIGHTS TO ALIGN AT NEW DOORWAY

2X8 JOISTS @16" O.C. WITH SIMPSON HANGERS. FINISH FLOOR LEVEL TO ALIGN WITH FINISH FLOOR LEVEL OF ADJACENT MASTER BEDROOM



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

3 SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

4 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland, Maine 04103
t. 207.899.1845 e. newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

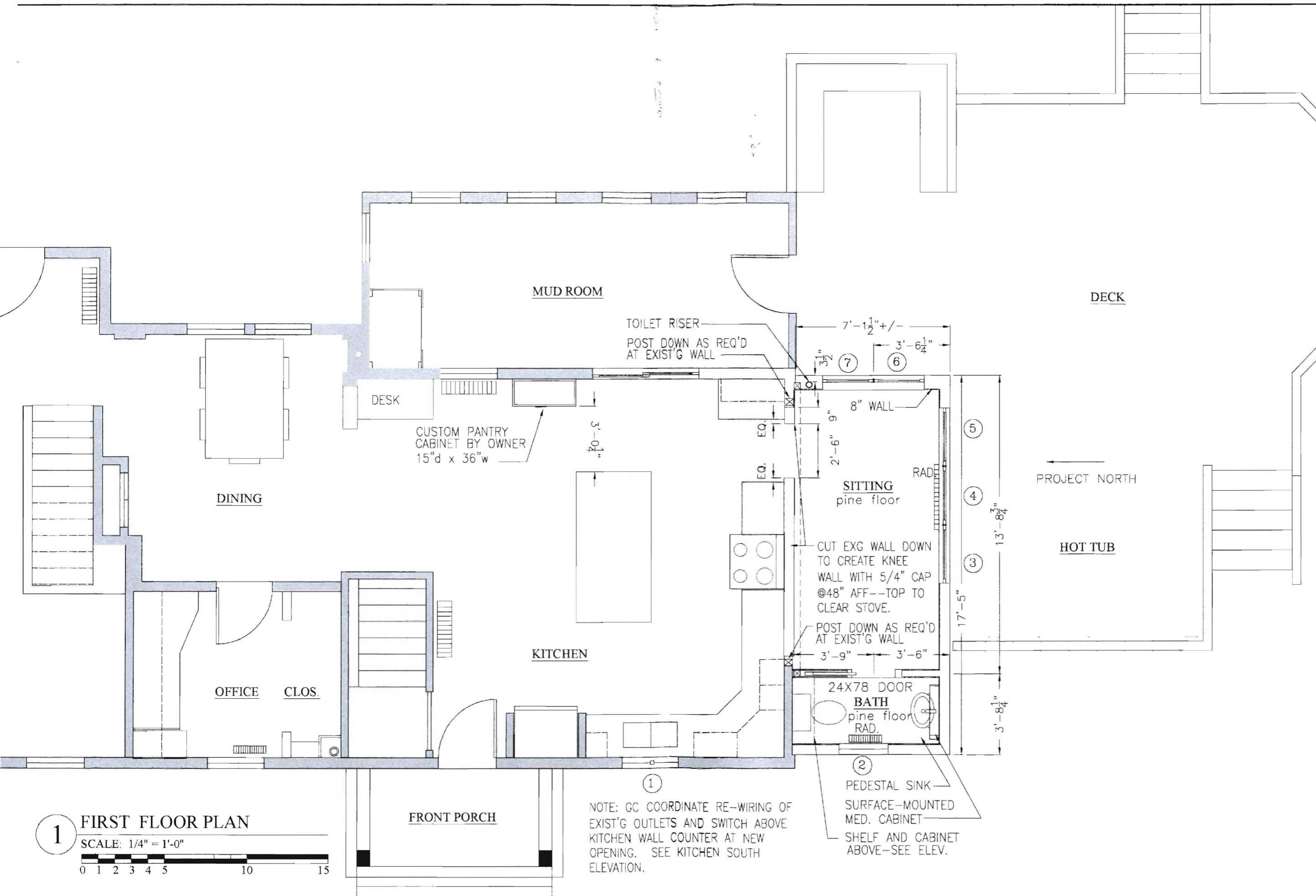
Drawing Title

Foundation and
Framing Plans

Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

A5

Issued/Revised		
No.	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



Key Plan
Not to scale

Elizabeth Newman
Architect
22 Sawyer Street Portland Maine 04103
t. 207.899.1845 e. newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title

First Floor Plan

Scale As noted

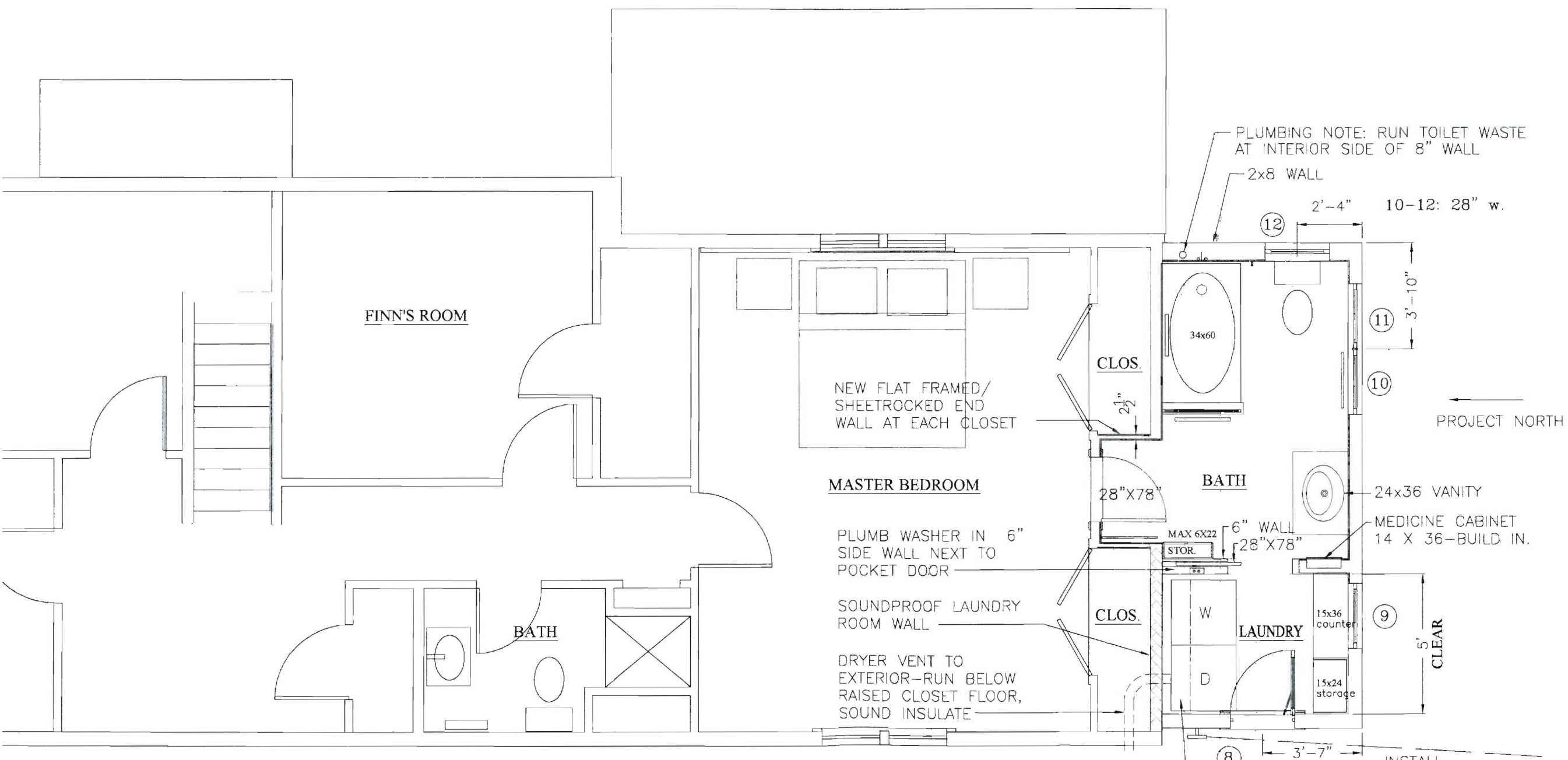
Date 18 MAY 2011

Project No. 10.102

Drawing No.

A6

Issued/Revised		
No	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5 10 15

WIRE SHELF FROM OLD LAUNDRY - CUT DOWN TO FIT

INSTALL CLOTHESLINE TO GARAGE

Key Plan
 Not to scale

Elizabeth Newman
 Architect
 32 Sawyer Street Portland Maine 04103
 t. 207.899.1845 e. newman.liz@gmail.com

Cory Snow and Sheila Sullivan-Family Home
 398 Ray Street
 Portland, Maine 04103

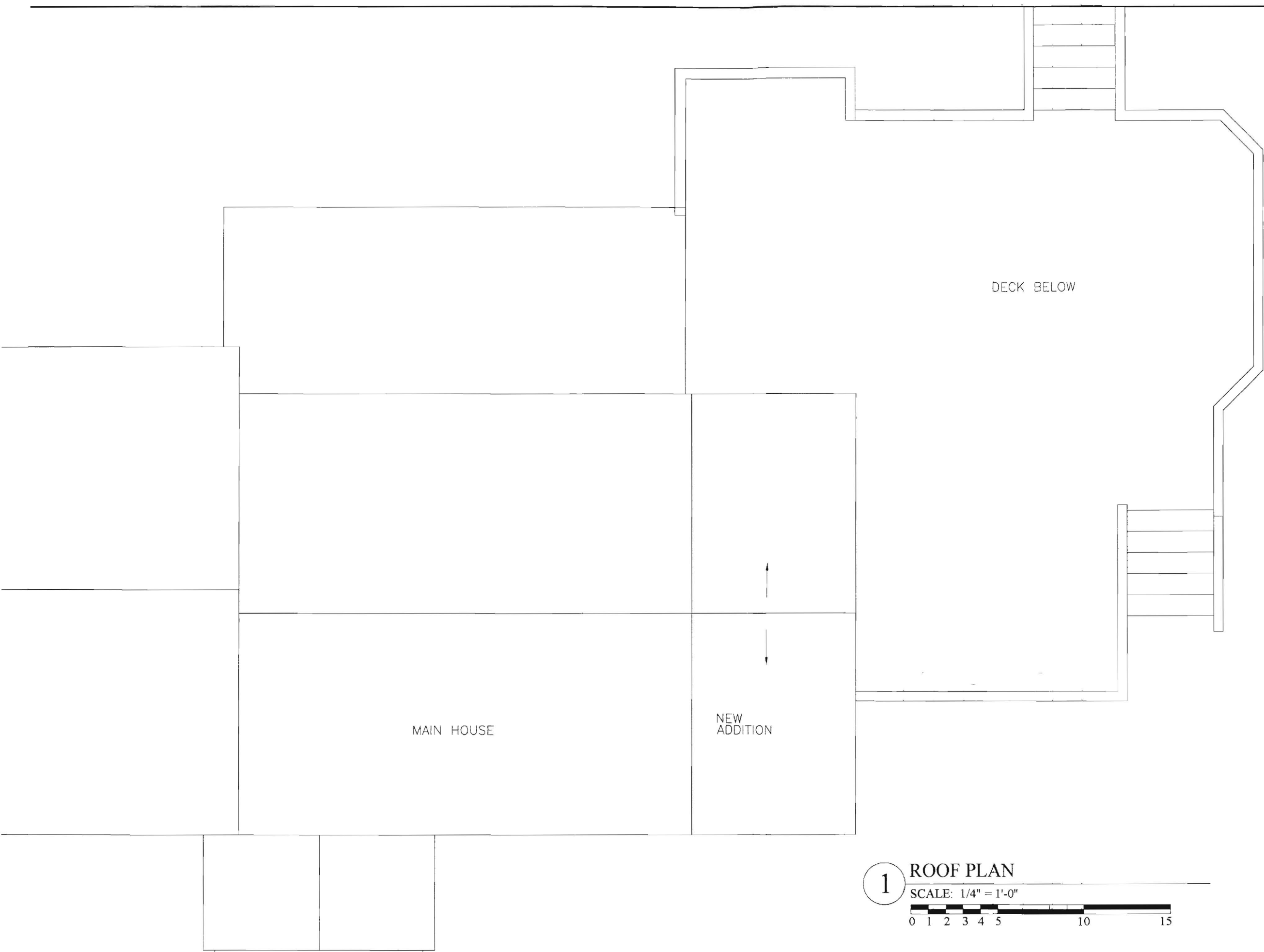
Drawing Title

Second Floor Plan

Scale As noted
 Date 18 MAY 2011
 Project No. 19.102
 Drawing No.

A7

Issued/Revised		
No.	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t. 207.899.1845 e. newman.iz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



Roof Plan
Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

A8

Issued/Revised		
No	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revise
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		

WINDOW SCHEDULE						
WINDOW NO.	TYPE	LOCATION	SIZE OR #	R.O.	NOTES	UNIT FOR ALT PRICE
1	3	KITCHEN	CMT 1828		EAGLE AXIOM CASEMENT--2 UNITS FACTORY MULLED--REPLACE EX'G. FULL INSECT SCREEN, NO GRILLES, UNFIN WOOD INT., WHITE ALUM. EXTERIOR. BUILDER TO CONFIRM JAMB DEPTH U=.35	ANDERSEN CASEMENT 40.75 W X 35.94 H MULLED DOUBLE UNIT UNFINISHED WD INT., WHITE VINYL EXTERIOR
2	1	1/2 BATH	1	1'-10 5/8" X 4'-0 7/8"	1	
3	1	SITTING	3254	32 X 54		alt=andersen wdh2642
4	1	"	3254	32 X 54		alt=andersen wdh2642
5	1	"	3254	32 X 54		alt=andersen wdh2642
6	1	"	2854	28 X 54	1	alt=andersen wdh2642
7	1	"	2854	28 X 54	1	alt=andersen wdh2642
8	2	LAUNDRY	CS0710	28-9/16" W X 40-5/8"	NORWOOD INSWING CASEMENT SIMULATED DBL HUNG--NO SCREEN NO GRILLES--NORCOAT INSIDE AND OUTSIDE. LOW E ARGON, U=.28	--
9	1	"	2842	28 X 42	1	alt=andersen wdh24310
10	1	BATH	2842	28 X 42	1	alt=andersen wdh24310
11	1	"	2842	28 X 42	1	alt=andersen wdh24310
12	1	"	2842	28 X 42	1	alt=andersen wdh24310

TYPE 1 WINDOWS: HANCOCK CLASSIC (ALL VINYL) WHITE DOUBLE HUNG, NO GRILLES, 3-1/2" INTEGRAL FLAT EXTERIOR VINYL CASING, FULL INSECT SCREENS. LOW-E, ARGON, U=.31
 FOR ALTERNATE PRICING WITH ANDERSEN, 400S: UNFINISHED INTERIORS, NO GRILLES, STANDARD WHITE HDW., COMPARABLE EXT. CASING, FULL INSECT SCREENS.

NOTE: TYP. EXTERIOR WALL CONSTRUCTION IS 2X6 STUDS WITH ONE INCH RIGID FOAM OUTSIDE OF SHEATHING.

30-YEAR ASPHALT SHINGLE ROOF SEE SPEC AND DETAILS. OWNER TO APPROVE ACTUAL SAMPLE BEFORE ORDER

ATTIC VENTILATION LOUVER SIZED TO CONFORM TO CODE--TO VENT EXISTING AND NEW ATTIC SPACE. PROVIDE OPG IN EXIST'G GABLE END FOR VENTILATION AND ACCESS TO NEW ATTIC.

WOOD SHADE STRUCTURE FOR SOLAR SHADING TYP AT SOUTH FACADE WINDOWS

12
9
VIF MATCH EXISTING SLOPE

NEW ADDITION ROOF

DASHED LINE SHOWS OUTLINE OF MAIN HOUSE BEHIND

WESTERN RED CEDAR SHINGLES PREPRIMED ON ALL SIDES AND PAINTED TO MATCH MAIN HOUSE. SEE SPEC.

GUTTERS TO MATCH TRIM COLOR

SIDE OF MAIN HOUSE BEHIND

END OF ADDITION

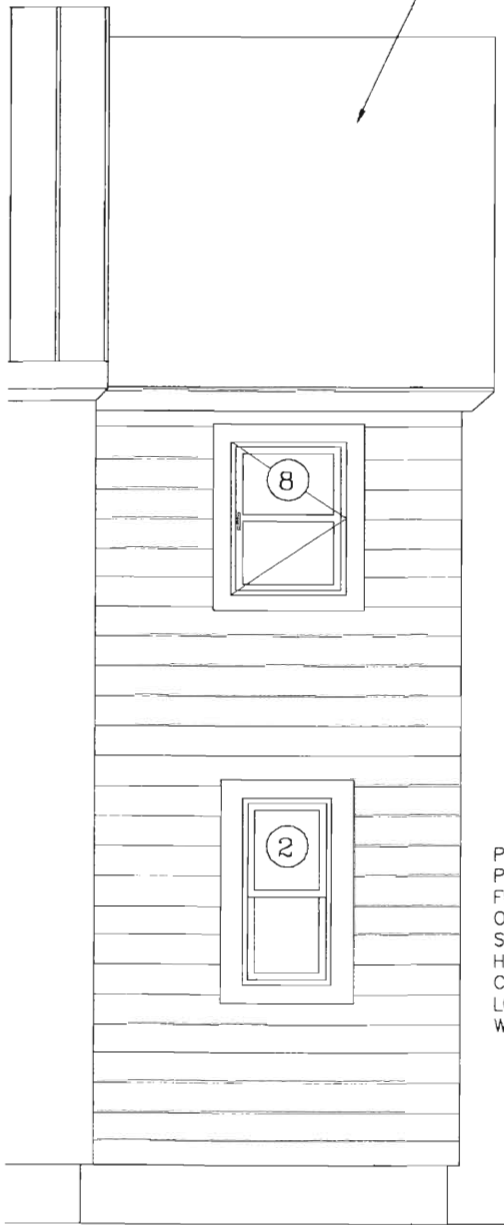
SHINGLE OVER EXISTING T11--AT SOUTH END OF MUD ROOM ONLY--TO MATCH ADDITION. USE MATCHING MCELROY ROOFING TRIM OVER NEW 2X6 AND PAINTED 1X TRIM AT RAKE EDGE TO EXTEND OVERHANG AND PROTECT NEW SHINGLES. TRIM AT CORNER TO COVER EDGE OF NEW MATL'S 1/2"-3/4" SPACE BEHIND SHINGLES

PROVIDE PLUMBING FOR FUTURE OUTDOOR SHOWER HEAD HERE. COORD. LOCATION WITH OWNER

16'-1 1/2" +/-

15'-0"

DECK



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland, Maine 04103
t. 207.899.1845 e. newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title

Exterior
Elevations

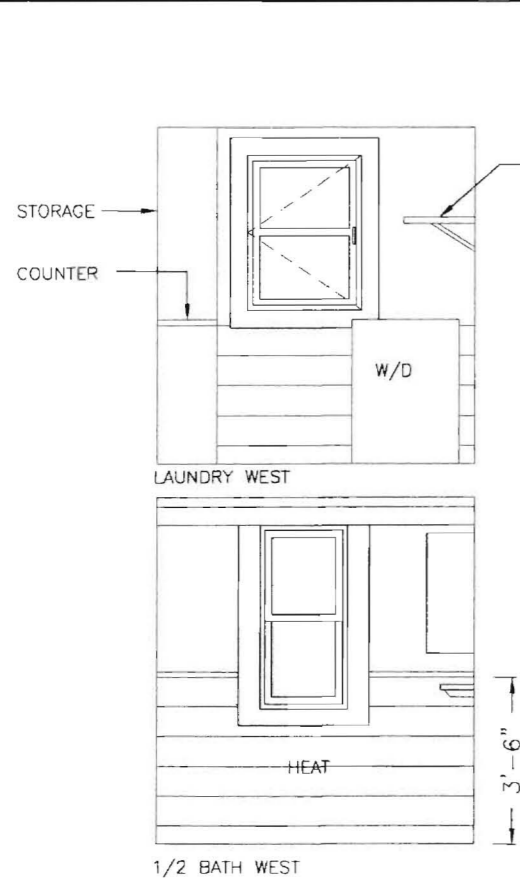
Scale As noted

Date 18 MAY 2011

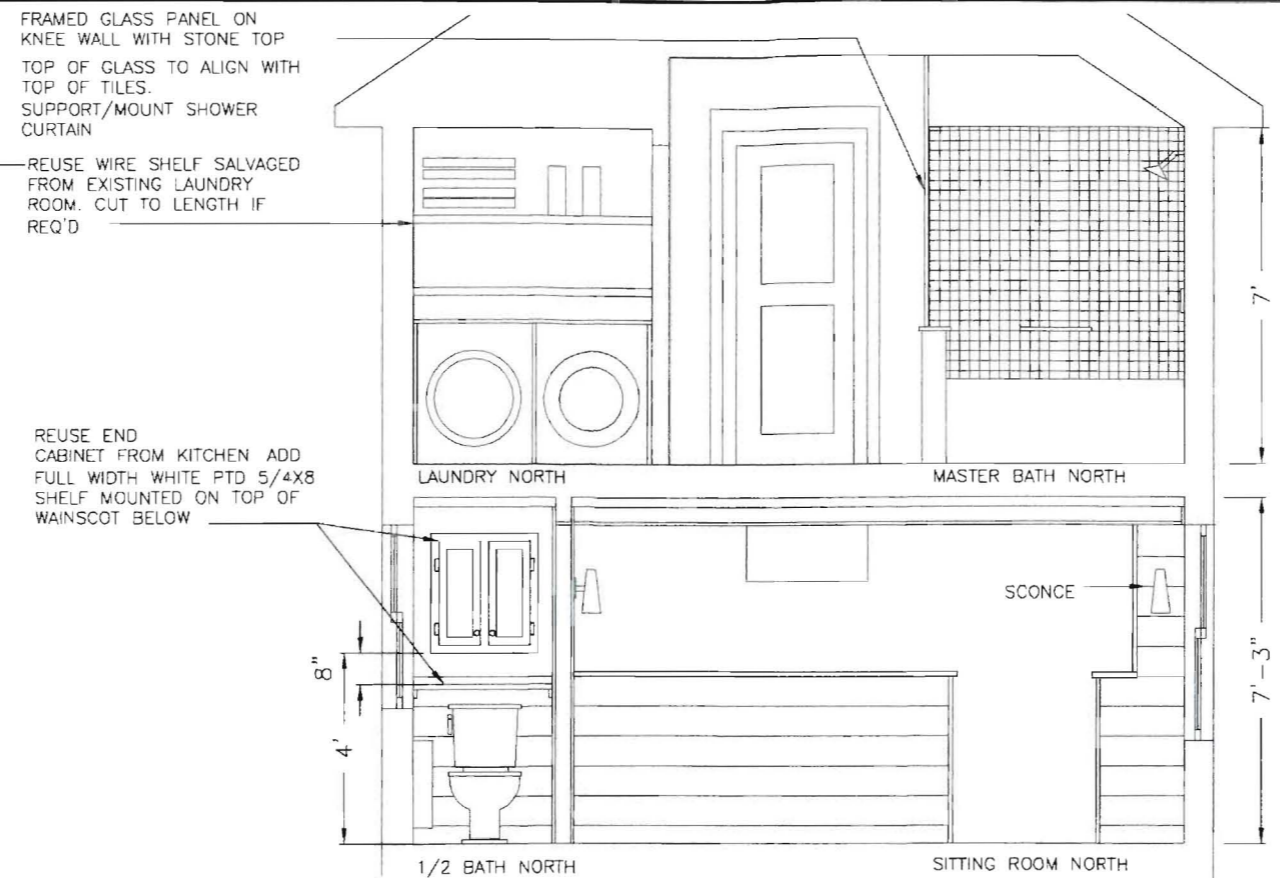
Project No. 10.102

Drawing No.

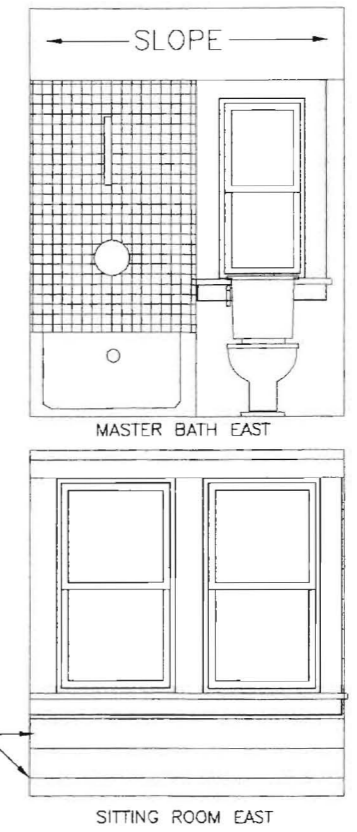
A9



1 EAST INT. ELEV/SECTION.
SCALE: 1/4" = 1'-0"



2 NORTH INTERIOR ELEV/SECTION
SCALE: 1/4" = 1'-0"



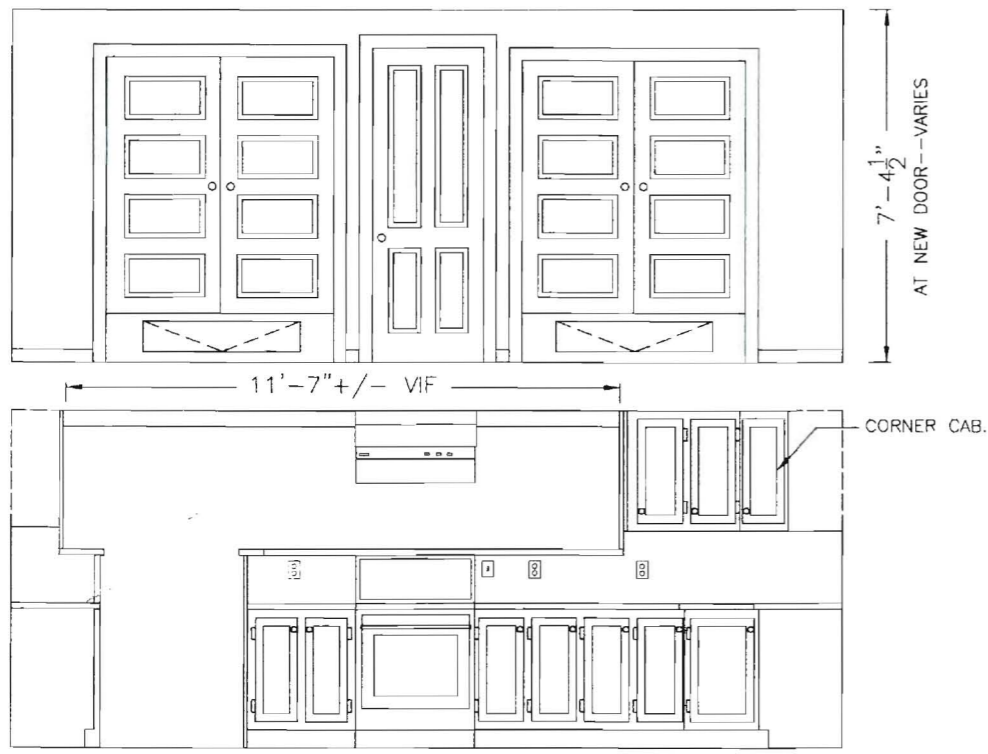
3 EAST INT. ELEV/SECTION.

*BLOCK FOR FUTURE GRAB BAR AT SIDE OF TUB, GIVE OWNER SKETCH OF BLOCKING LOCATION.

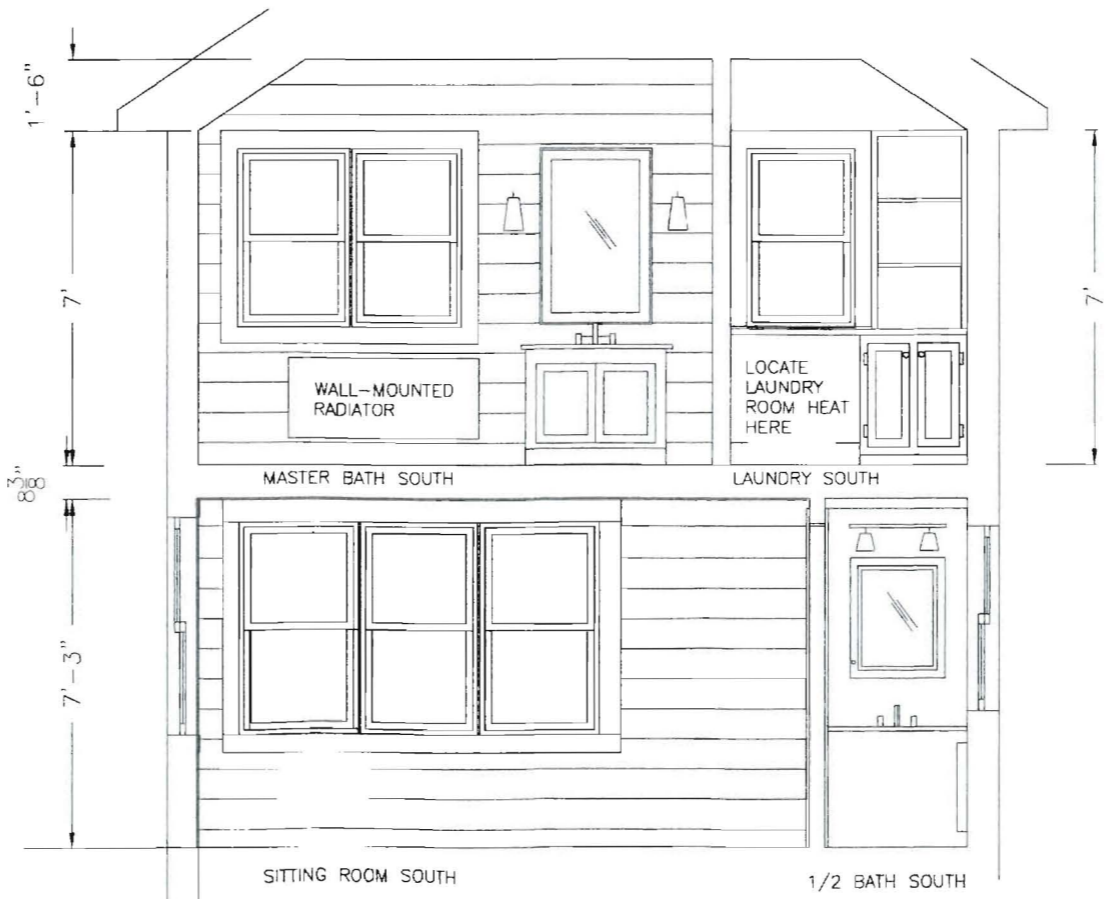
TYP MUD ROOM WALL FINISH: 1X8 V-MATCH BOARD INSTALLED WITH SQUARE SIDE OUT, PAINTED. (6-7/8 X 3/4 ACTUAL PLUS TONGUE)

TYP MUD ROOM BASE BOARD: 1X6 POPLAR, PAINTED OVER 1/2" BOARD (TOTAL THICKNESS = WALL BOARDS PLUS 3/8")

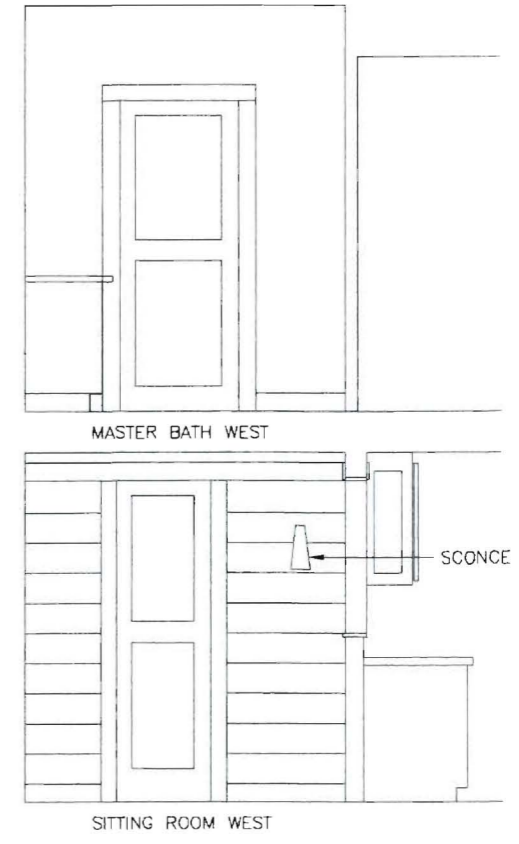
Issued/Revised	
No.	Date Description
1	12/1/2010 Schematic Design
2	2/4/2011 Schematic Design Revised
3	4/29/2011 Preliminary set. Issued for builder review and pricing start
4	5/18/2011 Issued for Building Permit
5	
6	



4 KITCHEN/MASTER BEDROOM SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 SOUTH INTERIOR ELEV/SECTION
SCALE: 1/4" = 1'-0"



6 WEST INT ELEV/SECTION
SCALE: 1/4" = 1'-0"

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t: 207.899.1845 e: newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

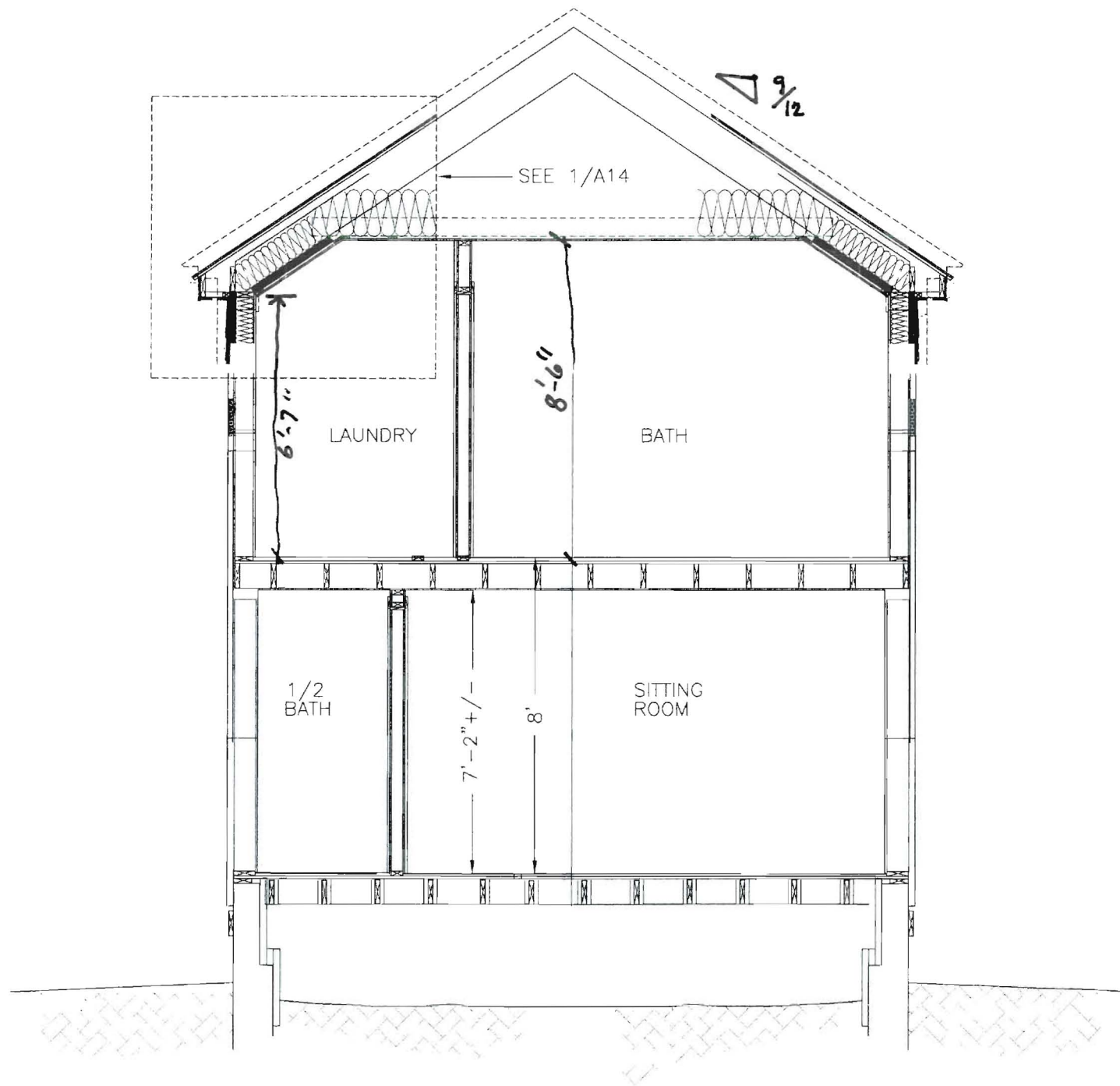
Drawing Title

interior
Elevations

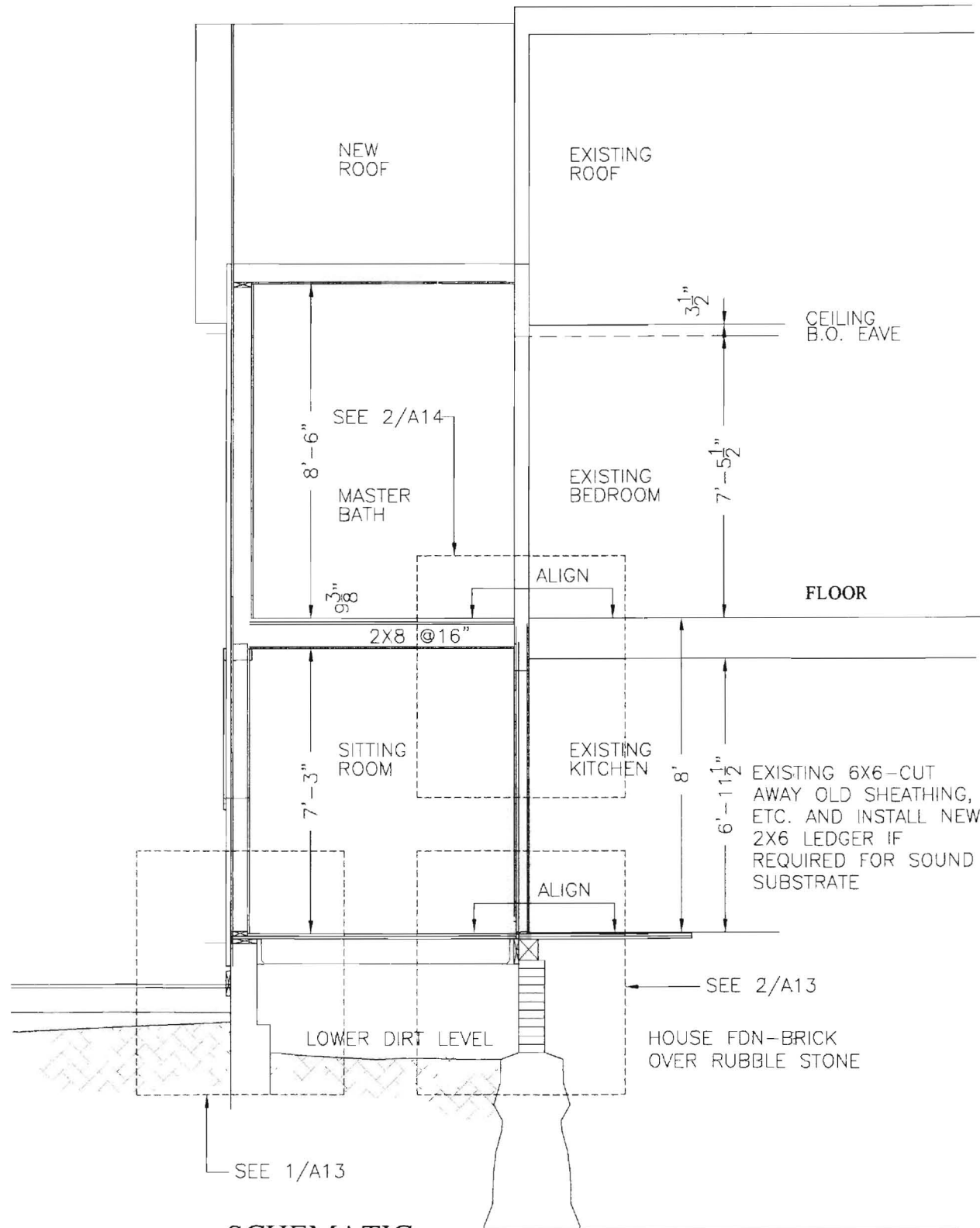
Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

A10

Issued/Revised	
No.	Date Description
1	12/1/2010 Schematic Design
2	2/4/2011 Schematic Design Revised
3	4/29/2011 Preliminary set issued for building review and pricing start
4	5/18/2011 Issued for Building Permit
5	
6	



1 SCHEMATIC BUILDING SECTION LOOKING NORTH
new addition with lowered first floor



2 SCHEMATIC BUILDING SECTION LOOKING WEST
new addition with lowered first floor

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t. 207.899.1845 e. newman.liz@gmail.com
Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

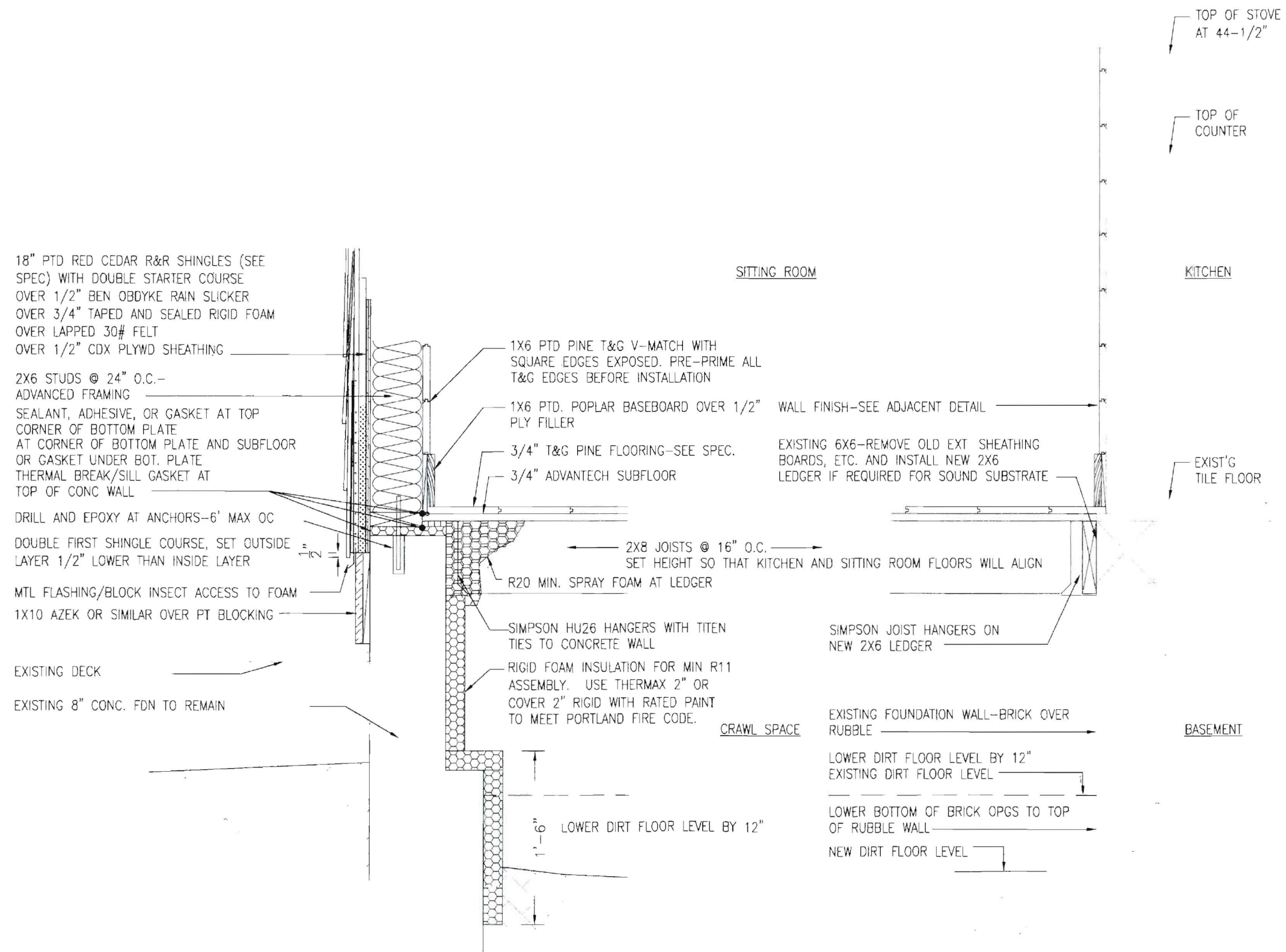
Drawing Title

Building Sections

Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

A12

Issued/Revised	
No	Date Description
1	12/1/2010 Schematic Design
2	2/4/2011 Schematic Design Revised
3	4/28/2011 Preliminary set issued for builder review and pricing start
4	5/18/2011 Issued for Building Permit
5	
6	



1 FOUNDATION/WALL DETAIL AT SOUTH WALL
1"=1'-0"

2 FOUNDATION/WALL DETAIL AT KITCHEN WALL
1"=1'-0"

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t. 207.859.1845 e. newmanliz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title

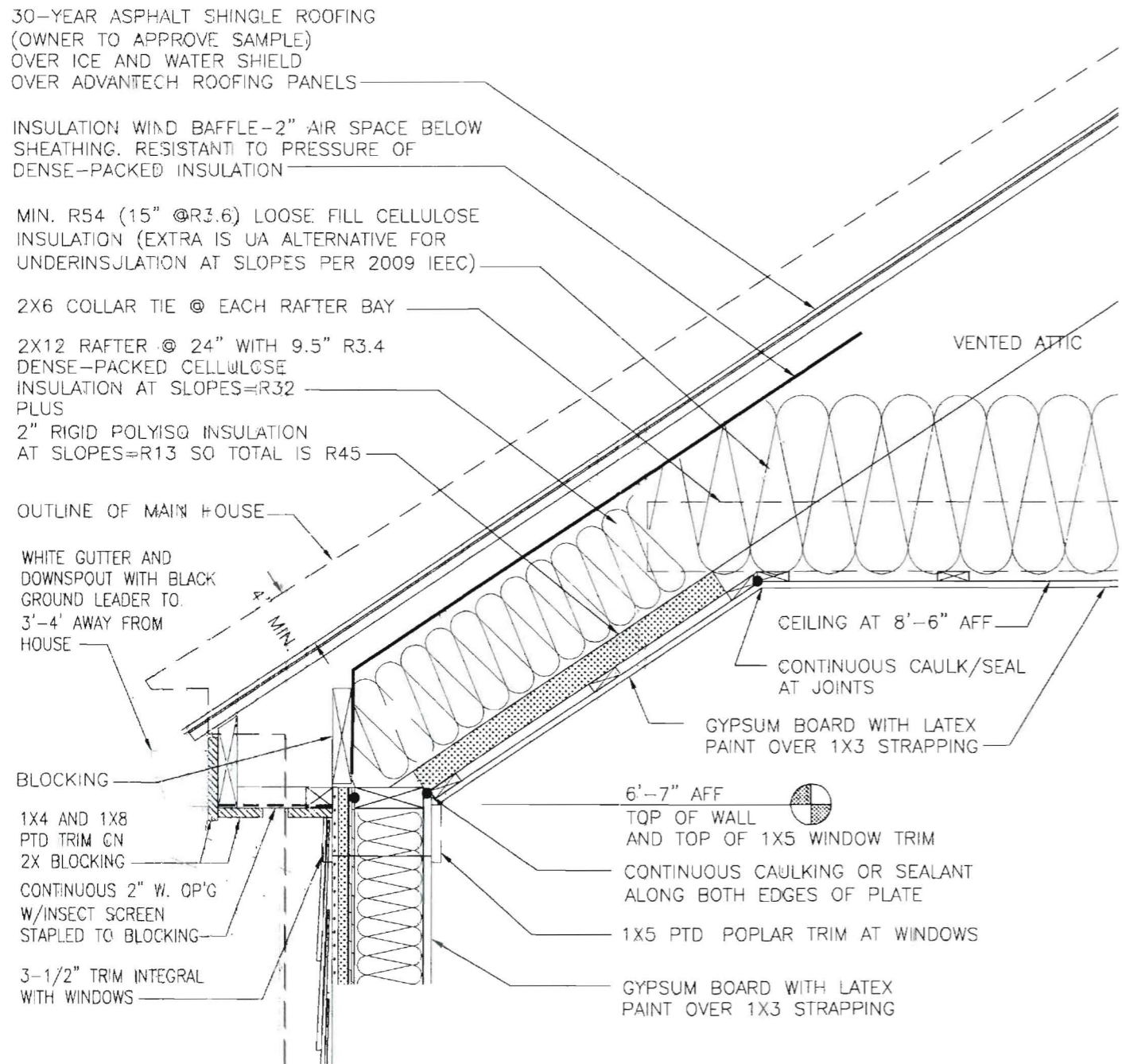
Details

Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

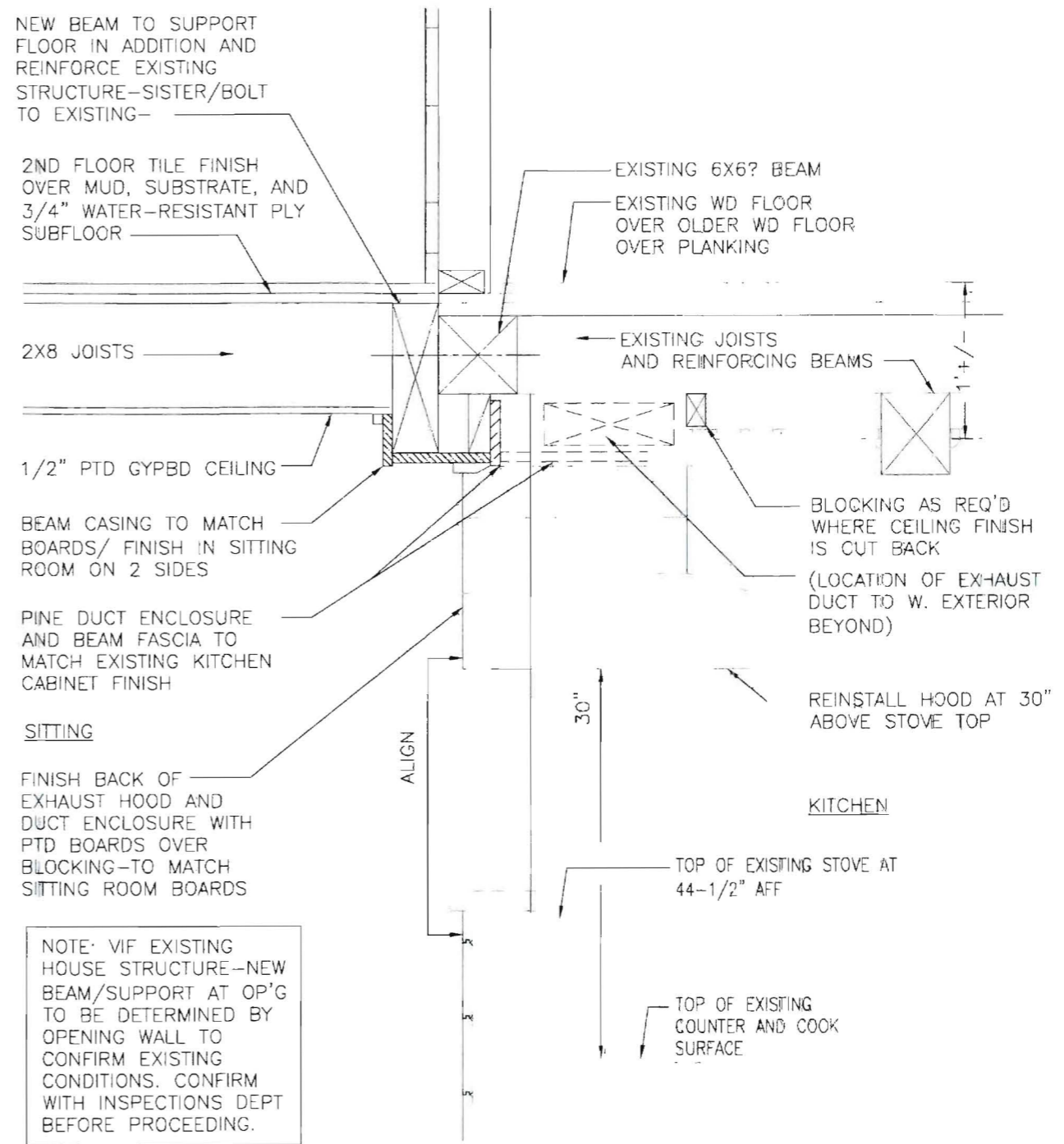
A13

Issued/Revised	
No.	Date Description
1	12/1/2010 Schematic Design
2	2/4/2011 Schematic Design Revised
3	4/29/2011 Preliminary set issued for builder review and pricing start
4	5/18/2011 Issued for Building Permit
5	
6	

* THIS DWG FIRST ISSUED 5.18.2011 FOR PRICING



1 SIDEWALL/ROOF DETAIL AT SLOPES
1"=1'-0"



2 DETAIL SECTION -CONCEPT -AT KITCHEN/SITTING RM
1"=1'-0"

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland Maine 04103
t. 207.899.1845 e. newmanliz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

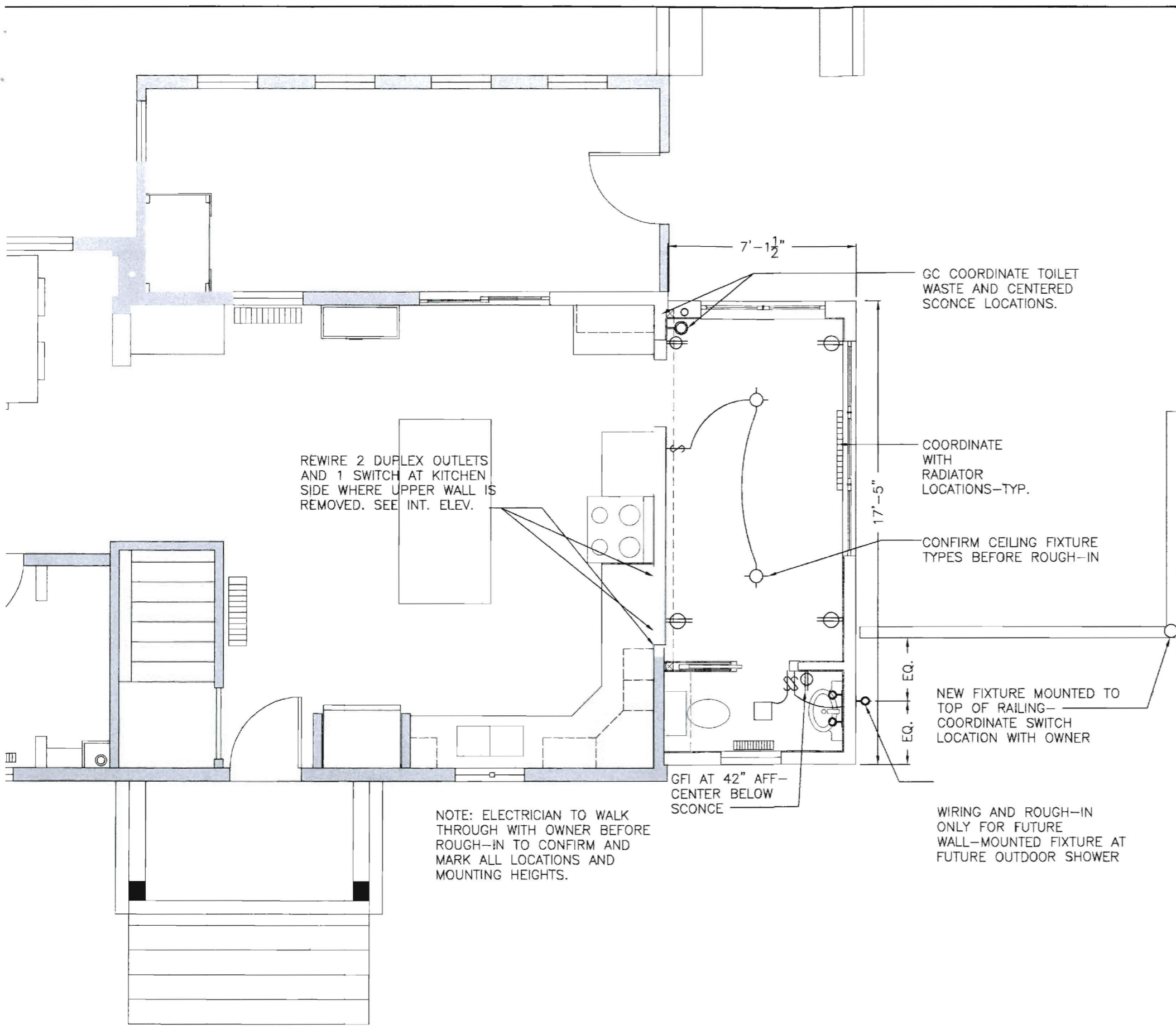
Drawing Title

Details

Scale As noted
Date 18 MAY 2011
Project No. 10102
Drawing No.

A14

Issued/Revised		
No	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permit
5		
6		



ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET FOR WET LOCATION
- LIGHT SWITCH
- 4-WAY SWITCH
- RECESSED CEILING FIXTURE
- CEILING MOUNTED FIXTURE
- SCONCE
- SMOKE DETECTOR
- DOORBELL
- CLOSET LIGHT
- CEILING FAN

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street, Portland, Maine 04103
t: 207.859.1845 e: newman.liz@gmail.com

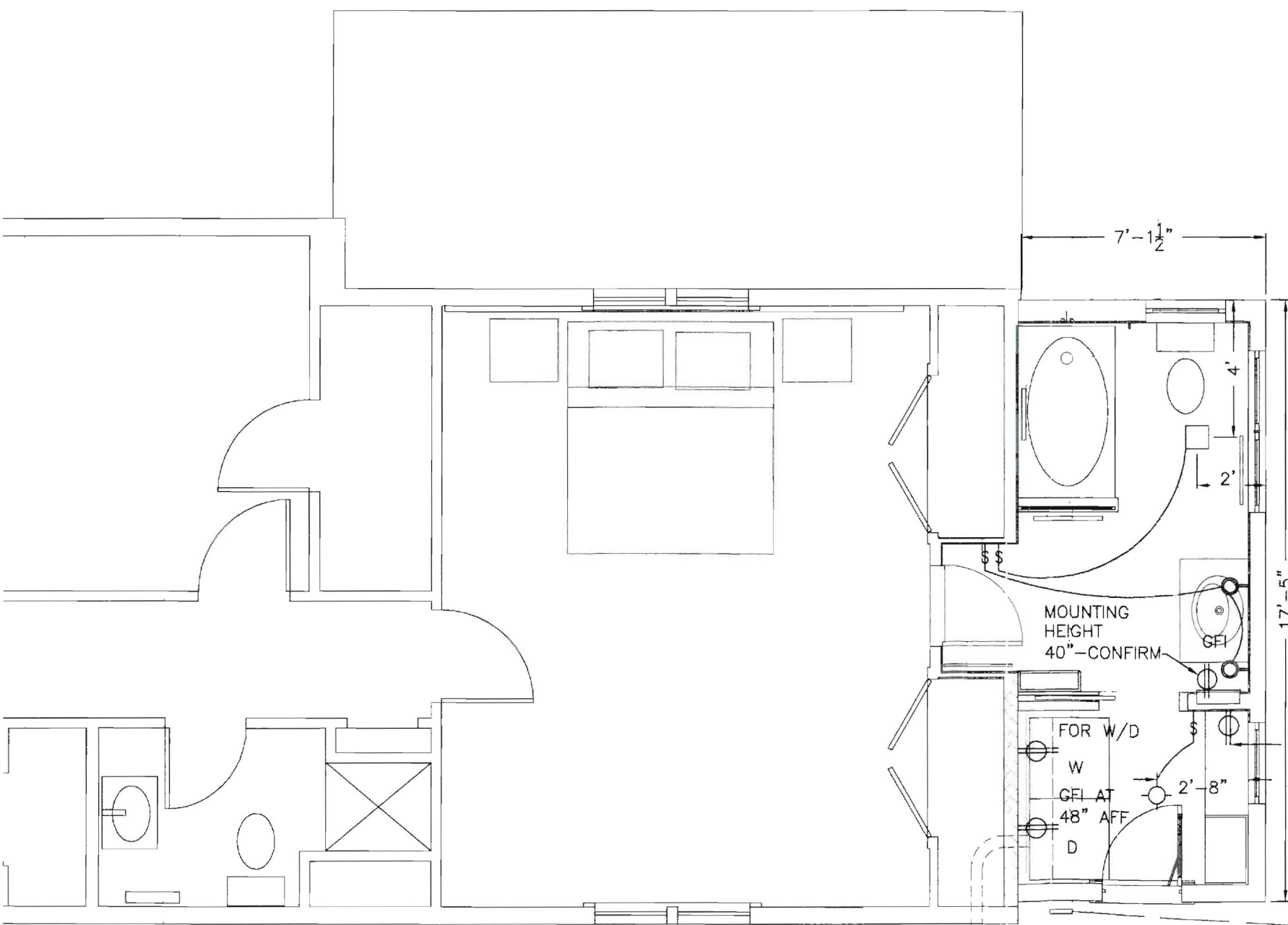
Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title
**First Floor
Electrical Plan**

Scale As noted
Date 18 MAY 2011
Project No. 10.102
Drawing No.

E1

Issued/Revised		
No.	Date	Description
1	12/1/2010	Schematic Design
2	2/4/2011	Schematic Design Revised
3	4/29/2011	Preliminary set issued for builder review and pricing start
4	5/18/2011	Issued for Building Permitt
5		
6		



ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET FOR WET LOCATION
- LIGHT SWITCH
- 4-WAY SWITCH
- RECESSED CEILING FIXTURE
- CEILING MOUNTED FIXTURE
- SCONCE
- SMOKE DETECTOR
- DOORBELL
- CLOSET LIGHT
- CEILING FAN/LIGHT

NOTE: ELECTRICIAN TO WALK THROUGH WITH OWNER BEFORE ROUGH-IN TO CONFIRM AND MARK ALL LOCATIONS AND MOUNTING HEIGHTS.

Key Plan
Not to scale

Elizabeth Newman
Architect
32 Sawyer Street Portland, Maine 04103
t: 207.899.1845 e: newman.liz@gmail.com

Cory Snow and Sheila
Sullivan-Family Home
398 Ray Street
Portland, Maine 04103

Drawing Title

**Second Floor
Electrical Plan**

Scale As noted
Date 18 MAY 2011
Project No. 10 102
Drawing No.

E2