

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 DRC Copy

2004-0103

Application I. D. Number

5/25/2004

Application Date

single family lot split from existing
 Project Name/Description

Jordan John R
 Applicant
 450 Ray St, Portland, ME 04103
 Applicant's Mailing Address

Consultant/Agent *CONTACT?*
 Agent Ph: *Greg McComick*
 Applicant or Agent Daytime Telephone, Fax *671-2631*

450 - 450 Ray St, Portland, Maine
 Address of Proposed Site
 400 D008001
 Assessor's Reference: Chart-Block-Lot

- Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1092 Proposed Building square Feet or # of Units 8000 sf Acreage of Site R-3 Zoning

Check Review Required:

- Site Plan (major/minor) *5/25/04 Mike Hayes* Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 5/19/2004

DRC Approval Status:

- Approved Approved w/Conditions See Attached Denied

Reviewer *Jay Reynolds*

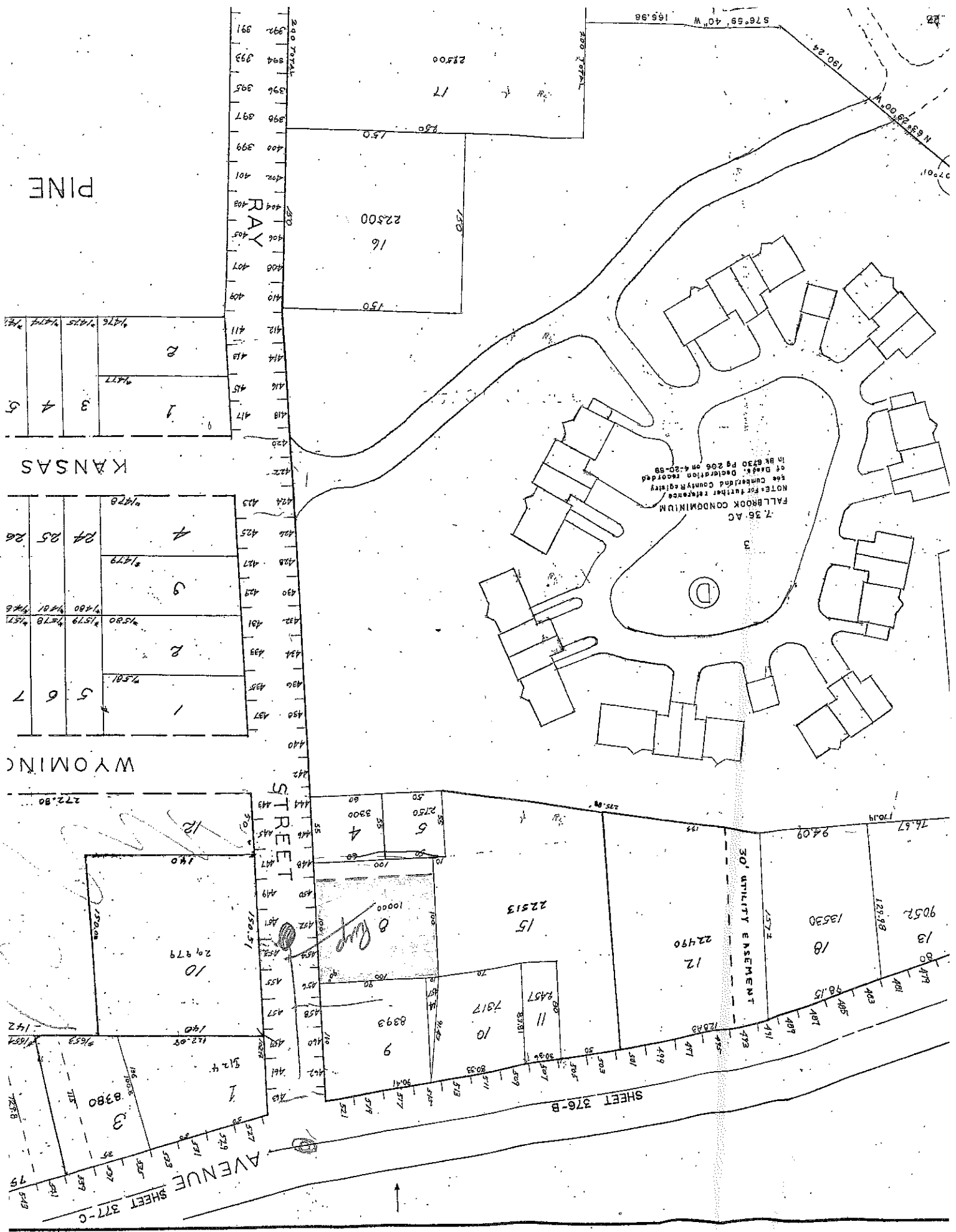
Approval Date *6-30-04* Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance *Jay Reynolds* *6-30-04*
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	



FALLBROOK CONDOMINIUM
 7.36 AC
 NOTE: For further reference
 see Cumberland County Register
 of Deeds. Declaration recorded
 in BR 8730 pg 206 on 4-20-88

PINE

KANSAS

WYOMING

STREET 51

AVENUE 52

30' UTILITY EASEMENT

SHEET 376-B

SHEET 377-C

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1477				

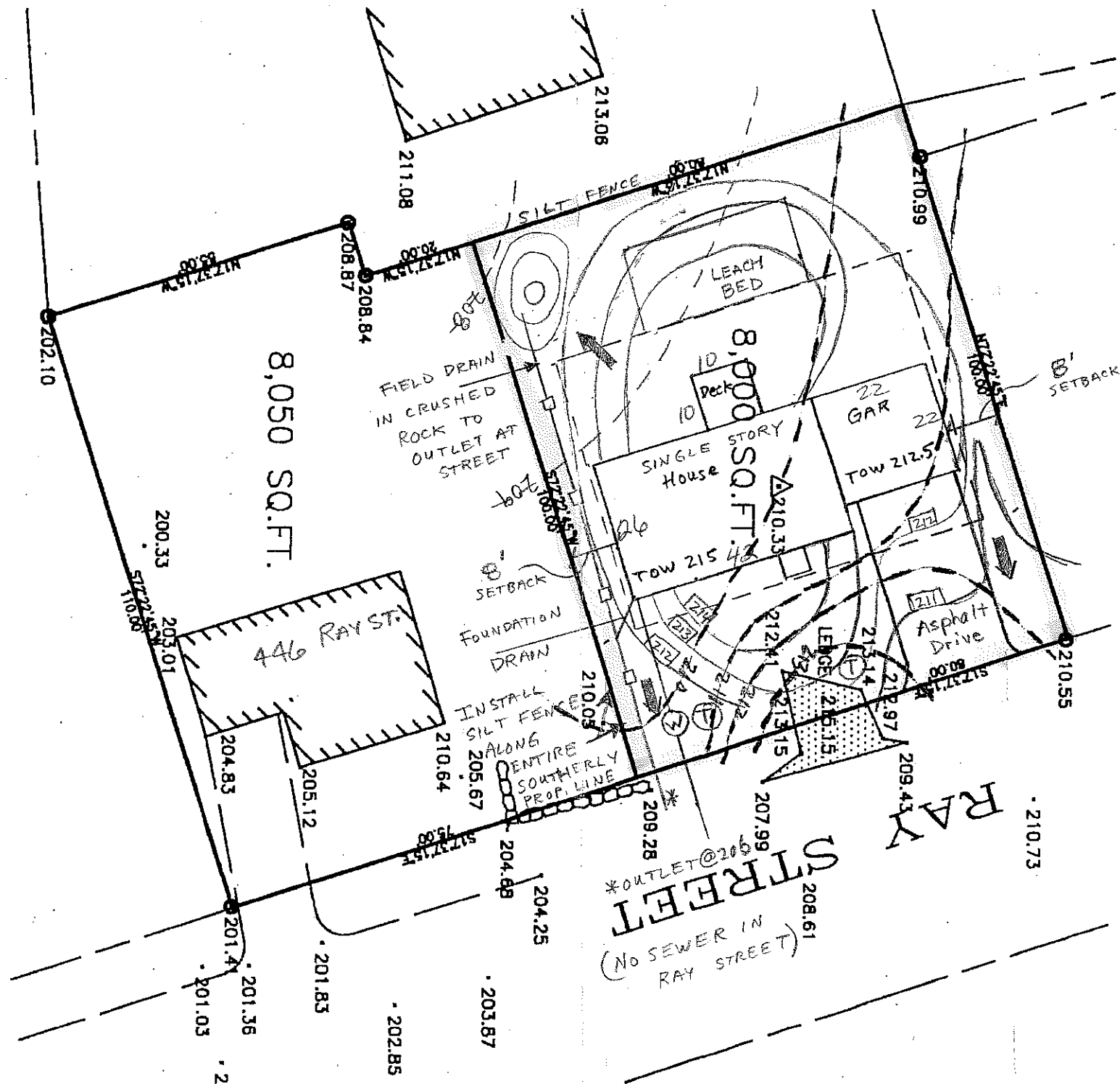
1	2	3	4	5	6	7
1580	1579	1578	1577	1576	1575	1574
1581						

1	2	3	4	5	6	7	8	9	10	11	12
512.4	142.08	142.08	142.08	142.08	142.08	142.08	142.08	142.08	142.08	142.08	142.08
142	142	142	142	142	142	142	142	142	142	142	142

150.24
N 83°52'00" W
165.98
576.55 40' W

37°01'

Chart 400; Block D; lot 8
(ADDRESS UNASSIGNED)



14/00/03 .11:23 HAY 892203/

ALCEN AVE. EXT. → TO FALMOUTH

NORTH →

MAY 17, 2004

SCALE: 1" = 25'

R-3 zone; 8000^{sq} Lot with 80' ROAD FRONT.

(T) TREE TO BE CONSERVED OR PLANTED

- BLASTING, IF NECESSARY, SHALL BE DONE IN CONFORMANCE WITH CITY OF PORTLAND REQUIREMENTS. -

1402

- POWER TO BE PROVIDED OVERHEAD

Jay Reynolds



CITY OF PORTLAND, MAINE
Department of Public Works
Street Numbering Notice

6/2 2004

John R. Jordan

You are hereby notified that the legal STREET NUMBER of your building on Ray Street is _____

STREET NUMBER	LOT NUMBER
452	400 D 80
_____	_____
_____	_____

City ordinances direct the Director of Public Works to assign street numbers to all buildings and lots on all public streets in the City of Portland. The City Council may order any public street to be renumbered whenever they determine that the public convenience so requires. The ordinances require that the above number be plainly displayed on the building to which it has been assigned so as to be visible at all times, and the ordinances also provide a penalty for non-compliance.

James M. Robbins
Archivist Public Works

Sec. 24-35. Sanitary facilities required.

Every building intended for human habitation, occupancy, employment, recreation or other purposes, situated within the city shall be provided with suitable and sufficient sanitary facilities for the use of the occupants thereof, which facilities in character, number and method of installation shall comply with all health laws of the state, ordinances of the city, and rules and regulations of the state bureau of health so far as the same are compatible and not inconsistent.

(Ord. No. 263-96, 5-20-96)

Sec. 24-36. Connection to public sewer required.

The owner of any building used for human habitation, occupancy, employment, recreation or other purposes, situated within the city and abutting on any street, alley or right-of-way in which there is located a public sanitary, combined or interceptor sewer, is hereby required at his expense to connect the building drainage system in the most direct manner possible with the proper public sewer in accordance with the provisions of this article, provided that the public sewer is within two hundred (200) feet of the building (the two hundred (200) feet to be measured in such manner so as not to pass over any property owned privately by anyone other than the owner of the premises from which such measurement is being made). Any required compliance with this section shall be completed within one (1) year after the date of official notice to do so.

(Ord. No. 263-96, 5-20-96)

Sec. 24-37. Exception for private wastewater system.

Where the public sewer does not extend to within two hundred (200) feet distant from the nearest point of the building (measured as described in section 24-36), the public sewer shall, at such time, be classified as inaccessible with regard to such premises. Where the public sewers are inaccessible to premises, any building required to be provided with sanitary facilities under section 24-35 shall comply with the following:

- (a) The owner may at his own expense connect with the public sewer even though the building is over two hundred (200) feet distant from the public sewer; or
- (b) Where liquid-carried wastes or wastewater result, they shall discharge into a private wastewater disposal



MULKERIN ASSOCIATES
REAL ESTATE

FAX COVER SHEET

Date: 6/22/04

Total Pages: 3

To: JAY REYNOLDS; PLANNING DEPT.

Fax#

From: Greg Mc Cormack

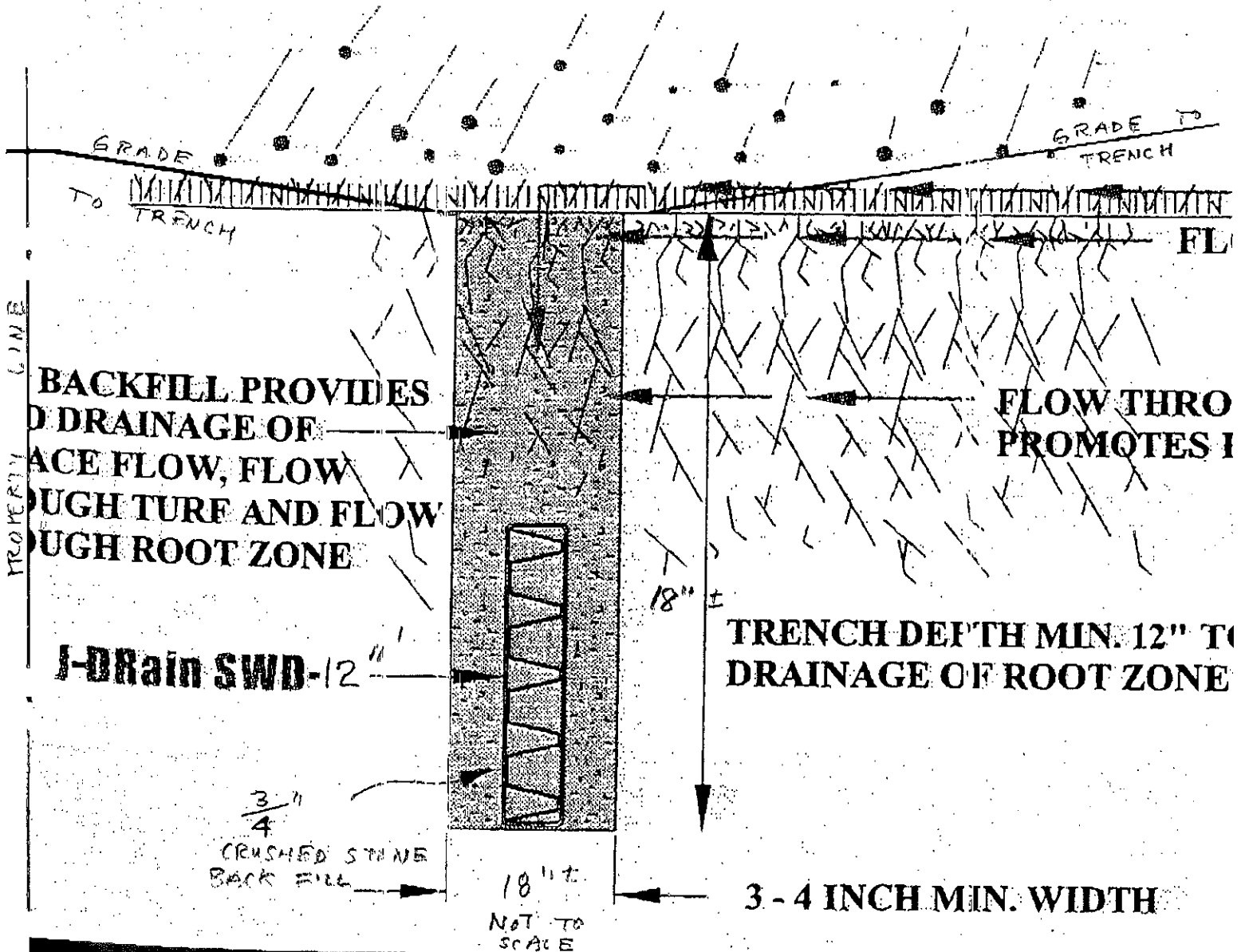
Subject: 450 RAY ST. BUILDING PERMIT.

ERIC LABELLE will BE TALKING TO YOU ON WED. RE
SEPTIC SYSTEM.

ENCLOSED IS DRAIN DETAIL REQUESTED.

CALL US AT (207) 772-2127 IF THERE ARE ANY PROBLEMS.

...prevent water from entering the soil, preventing it from being large enough to promote free drainage. If the majority of drainage problems, it is highly recommended for clay soils laboratory. Where time or budget is a concern, the C-33 designation may be used. Specifica



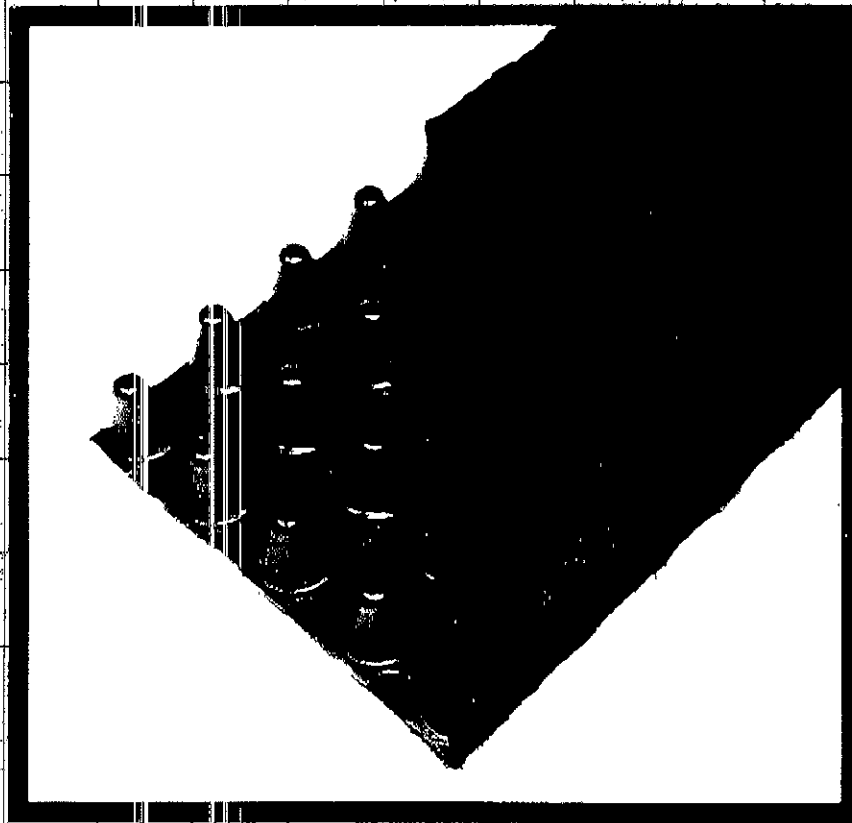
Run to POSITIVE OUTLET AT STREET

450 EAV ST. DRAINAGE CROSS-SECTION

J-DRain®

02622/JDR
BuyLine 6034

SITE WATER DRAINAGE COMPOSITES



J-DRain® SWD
Site Water Drainage

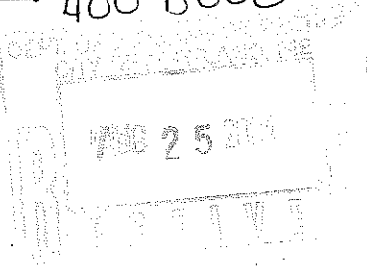
JDR Enterprises, Inc.

292 south main street, suite 200, alpharetta, georgia 30004-1950

<http://www.j-drain.com>

CHART 400; Block D; Lot 8

400 0008



Revised

CITY OF PORTLAND,
APPROVED SITE PLAN

Subject to City Regulations

Date of Approval: 9-14-01

August 24, 2004

REVISED SITE PLAN: 452 RAY ST.
PORTLAND, MAINE

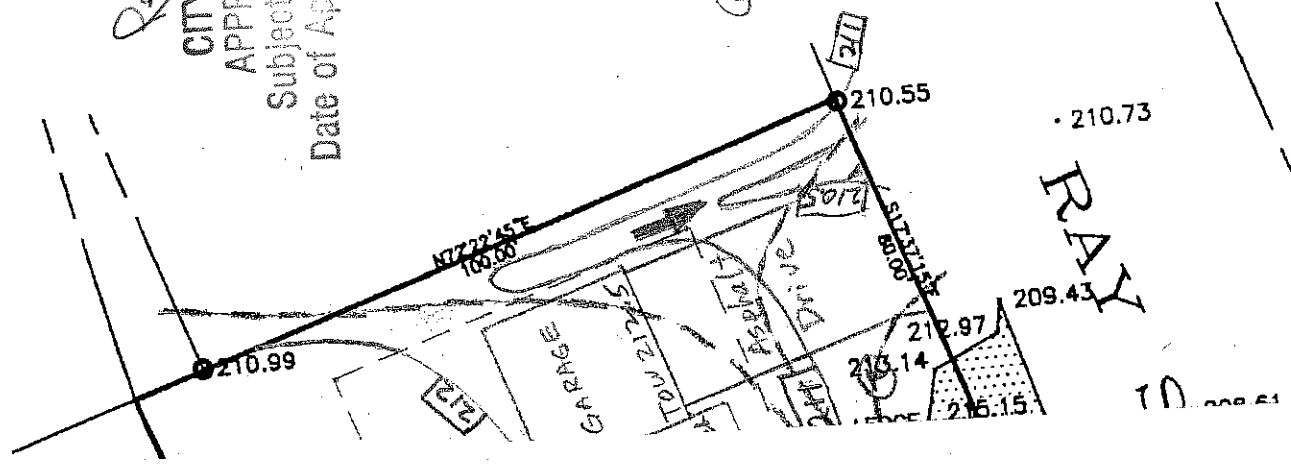
① - CHANGED CONTOURS; ELIMINATED DRAIN
TO STREET

R-3 ZONE; 8000 S' LOT

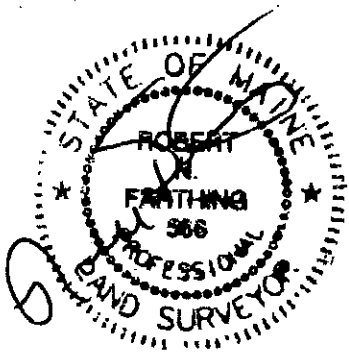
- BLASTING TO BE DONE IN CONFORMANCE
WITH CITY PORTLAND REQUIREMENTS

- ① TWO TREES TO BE PLANTED OR
CONSERVED PER CITY REQUIREMENTS

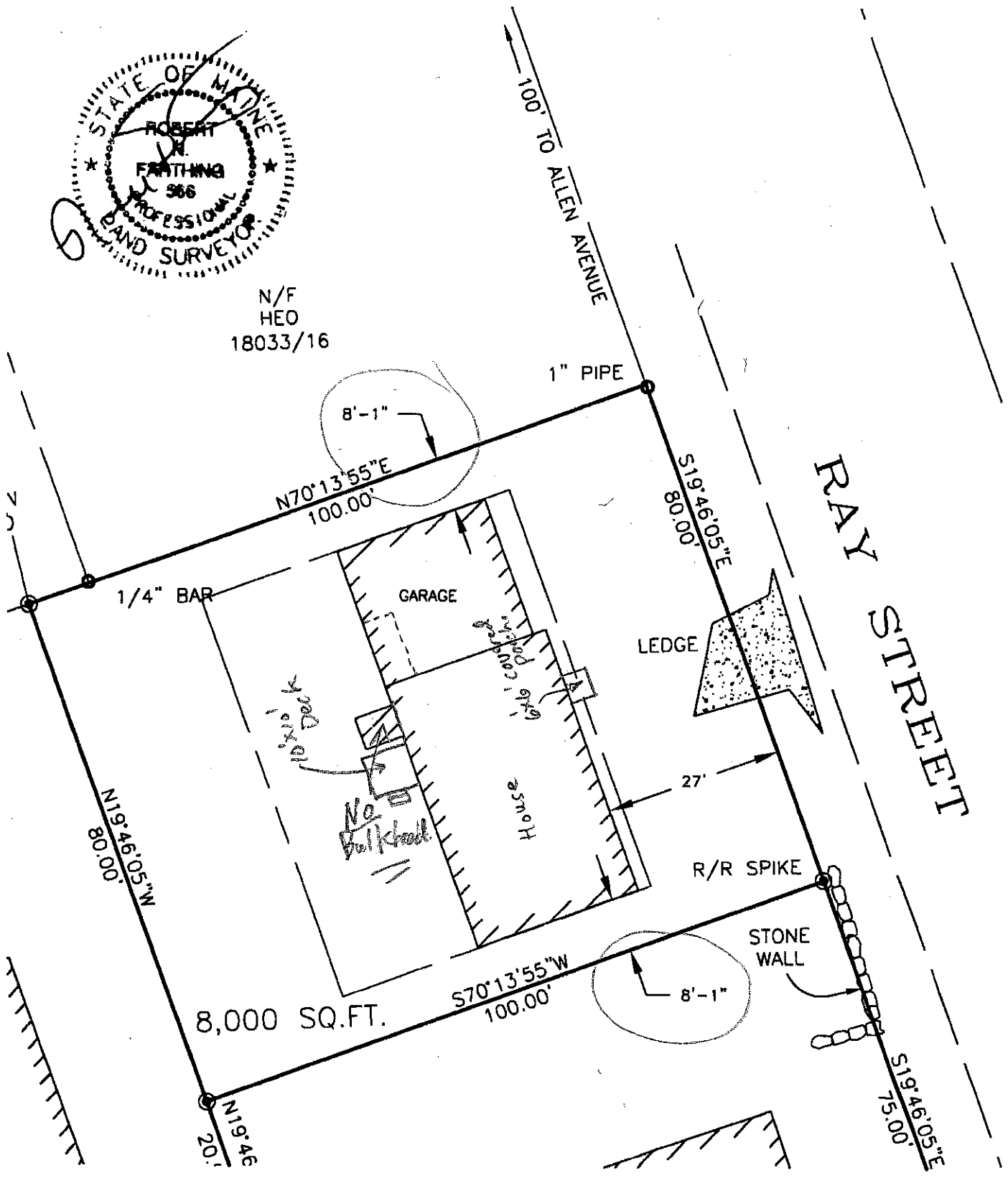
- EROSION CONTROL PER CITY REQUIREMENTS



SCALE: 1" = 25'



N/F
HEO
18033/16



SURVEY, INC. P.O. BOX 210 WINDHAM, ME 04062 Tel: (207) 892-2556 Fax: (207) 892-2557 SURVEY.INC@VERIZON.NET Professional Land Surveyors	446 RAY STREET	
	FOUNDATION LOCATION AS STAKED 08/12/04	
DRN. JTF	CHK. RNF	DATE: AUGUST 15, 2004 SCALE: 1"=20'

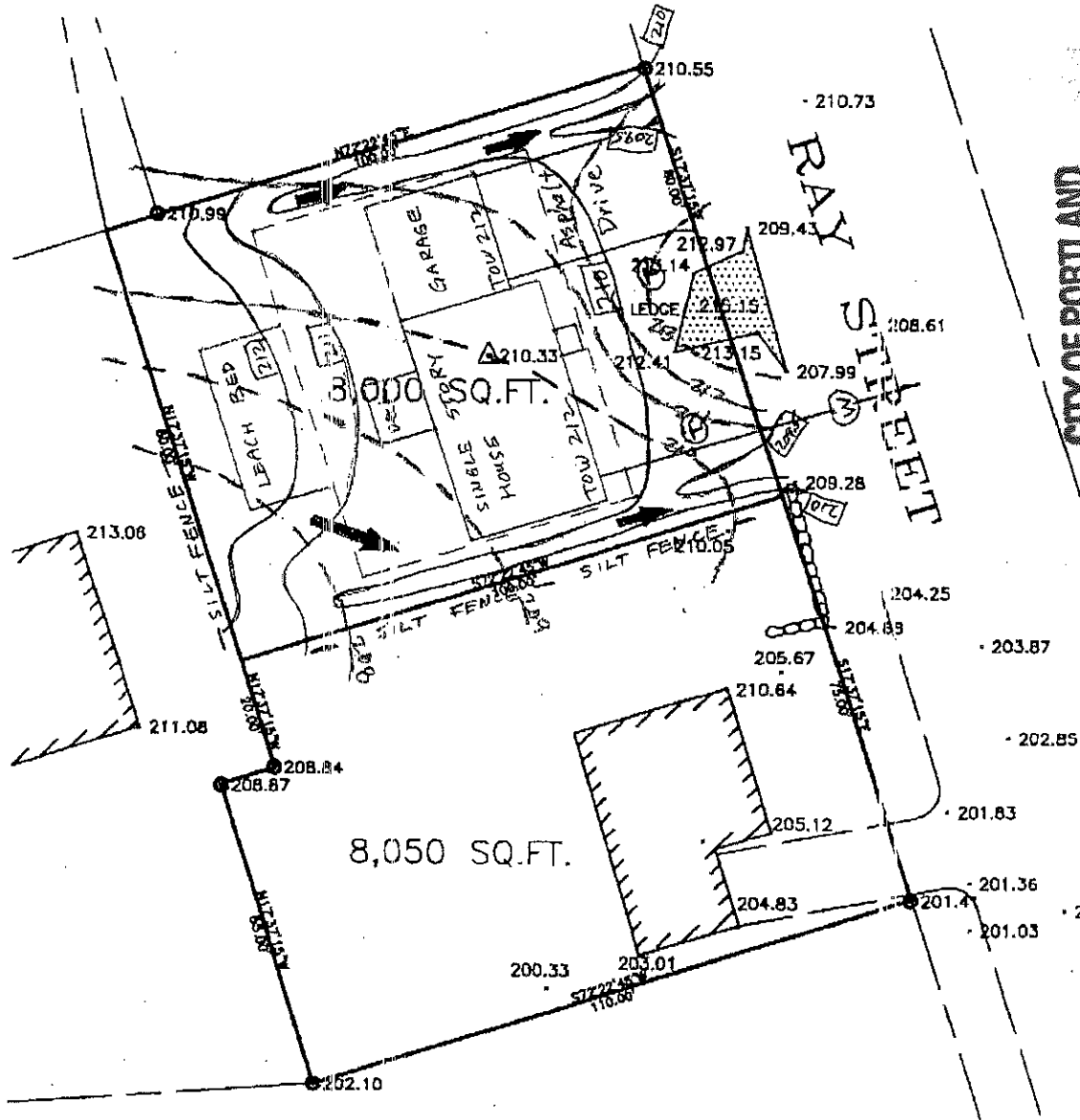
CHART 400; BLOCK D; LOT 8

JUNE 29, 2004

REVISED SITE PLAN: 450 RAY ST.
PORTLAND, MAINE

- ① - CHANGED CONTOURS; ELIMINATED DRAIN TO STREET
- R-3 ZONE; 8000 S.F. LOT
- BLASTING TO BE DONE IN CONFORMANCE WITH CITY PORTLAND REQUIREMENTS
- ① TWO TREES TO BE PLANTED OR CONSERVED PER CITY REQUIREMENTS
- EROSION CONTROL PER CITY REQUIREMENTS

SCALE: 1" = 25'



CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 6-30-04



MULKERIN ASSOCIATES
REAL ESTATE

FAX COVER SHEET

Date: 6/29/04

Total Pages: 2

To: JAY REYNOLDS

Fax#

From: GREG MC CORMACK

Subject: REVISED SITE PLAN - 450 RAY ST.

I NEED PERMIT AS A P.

THANKS FOR YOUR HELP.

Greg

CALL US AT (207) 772-2127 IF THERE ARE ANY PROBLEMS.