

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 35 Wyoming Ave.		Owner: Pines of Portland, Inc.		Phone: 772-2127		Permit No: 010151
Owner Address: 426 Forest Ave. Portland, Me.		Lessee/Buyer's Name: 04101		Phone:		
Contractor Name: Pines of Portland, Inc.		Address: 426 Forest Ave. Portland, Me. 04101		Phone: 772-2127		Permit Issued: FEB 27 2001
Past Use: Vacant Lot		Proposed Use: New Single Fam.		COST OF WORK: \$ 120,000 PERMIT FEE: \$ 744.0 INSPECTION: Use Group <i>R-3</i> Type <i>503</i> <i>BOC 899</i> Signature: <i>[Signature]</i>		
Proposed Project Description: Construction of single family home with attached (2) car garage.				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/> Signature: _____ Date: _____		Zone: R-3 CBL: 400 B 015 Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <i>N/A 2/26/01</i> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 2 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input checked="" type="checkbox"/> mm <i>A</i> <i>#20010025</i> Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>HA</i>
Permit Taken By: Chris		Date Applied For: 2/22/2001 CIH				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Feb. 22, 2001

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS
 WOOD DISTRICT
 2

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>35 Wyoming Ave</i>		
Total Square Footage of Proposed Structure <i>2200 sq ft ±</i>	Square Footage of Lot <i>27000 sq ft</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>400</i> Block# <i>B</i> Lot# <i>15</i>	Owner: <i>Pines of Portland Inc.</i>	Telephone#: <i>7722127</i>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <i>09101 426 Forest Ave. Portland</i>	Cost Of Work: <i>\$120,000</i> Fee: <i>\$</i>
Proposed Project Description:(Please be as specific as possible) <i>Construction of Single family home with attached (2) car garage</i>		
Contractor's Name, Address & Telephone <i>Pines of Portland Inc. (see above)</i>		Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan)includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

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Signature of applicant: <i>[Signature]</i>	Date: <i>2/19/01</i>
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Site Review Fee: \$300.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Pines of Portland, Inc.

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Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <i>426 Forest Ave. Portland</i>	Cost Of Work: <i>\$120,000</i>	Fee: <i>\$144.00</i>
Proposed Project Description:(Please be as specific as possible) <i>Construction of Single family home with attached (2) car garage</i>			
Contractor's Name, Address & Telephone <i>Pines of Portland Inc. (see above)</i>			Rec'd By: <i>Chris</i>

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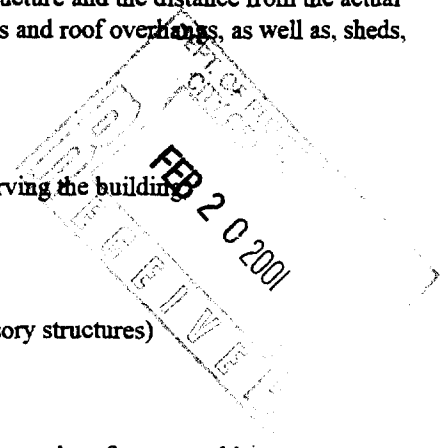
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Pines of Portland, Inc.



BUILDING PERMIT REPORT

DATE: 22 February 2001 ADDRESS: 35 Wyoming Ave. CBL: 400-B-015

REASON FOR PERMIT: To Construct a single family dwelling/attached 2 car garage

BUILDING OWNER: Pines of Portland, Inc.

PERMIT APPLICANT: CONTRACTOR Pines of Portland, Inc.

USE GROUP: A-3 CONSTRUCTION TYPE: E-3 CONSTRUCTION COST: 120,000 PERMIT FEES: 744.00

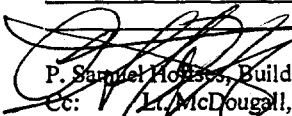
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5, *6, *8, *9, *11, *13, *14, *15, *19, *26, *27, *28, *29, *31, *32, *33, *34, *35, *37

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16) *All conditions and requirements on the attached*
- 31. Please read and implement the attached Land Use Zoning report requirements. *site plan development review sheets sl*
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *see m*
- *33. Bridging shall comply with Section 2305.16.
- *34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *35. All flashing shall comply with Section 1406.3.10.
- 36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- *37. Your plans show a 5th beam but did not have an approved design by a professional engineer - please submit this for approval before wd-k is started


 P. Samuel Hodges, Building Inspector
 Cc: L. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$120,000.00 Plan Review # 159/2641

Fee: \$744.64 Date: 22 February 2001

Building Location: 35 Wyoming Ave. CBL: 400-13-015

Building Description: Single Family dwelling/attached (P) garage.

Reviewed By: S. Hoffsoe

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a Certificate of Occupancy can or will be issued.	111.0 118.9
2.	Before calling for a foundation inspection all lot lines shall be clearly marked.	118.9
3.	Your plan shows a steel beam being used but did not have a design. The code requires a design professional to design the beam with his/her signature seal & date of design - Please submit this info. before work is started.	107.7
4.	Foundation drains shall comply with section 1813.5.2	1813.5.2
5.	Foundation anchors shall comply with section 2305.17	2305.17
6.	Waterproofing and damp proofing shall comply with section 1813.0	
7.	Concrete and masonry protection shall comply with sections 1908.9-1908.10-2111.3-2111.4	1908.9 1908.10 2111.3 2111.4
8.	Private garage shall comply with sect. 407.0	407.0
9.	Chimneys and vents shall comply with NFPA 211 - Ch. 4	NFPA 211 Ch. 4.

REV: PSH 4-7-00

Correction List		
NO:	Description	Code Section
10.	Guardrails and handrails shall comply with sections 1021.0 - 1022.0	1021.0 1022.0
11.	Stair Construction shall comply with sec. 1014.0	1014.0
12.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
13.	Smoke detectors shall comply with section 9203.2	9203.2
14.	Ventilation of attic or crawl space shall comply with section 1210.5 & 1211.0	1210.0 1211.0
15.	Fastening shall comply with Table 2305.2	2305.2
16.	Boring, Cutting & Notching shall comply with sections 2305.3, 2305.3.1, 2305.4.4, 2305.5.1	see sec. E
17.	Bridging shall comply with section 2305.16	2305.16
18.	Glass & glazing shall comply with section 2406.0 Safety glazing.	
19.	Framing shall comply with section 1406.3.4b	1406.3.4b

rev: PSH 6-28-98

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) ~~3-1, 3-2~~

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
NA Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
NA Anchorage bolting in concrete (2305.17)
X Columns (1912)
NA Crawl space (1210.2) Ventilation
NA Crawl opening size (1210.2.1)
NA Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~X~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~A~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~NA~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NO~~ Metal construction
- ~~SA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NA~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~X~~ Approved materials (1404.1)
- ~~NA~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~X~~ Material and installation requirements (1507)
- ~~NA~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~SA~~ Masonry (1206.0)
- ~~NA~~ Factory - built (1205.0)
- ~~NA~~ Masonry fireplaces (1404)
- ~~NA~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>48 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- _____ Louvered window or jalousies (2402.5)
- _____ Human impact loads (2405.0)
- _____ Specific hazardous locations (2405.2)
- _____ Sloped glazing and skylights (2404)
- SA 2406.0 Safety glazing
- _____
- _____
- _____
- _____

Private Garages (Chapter 4)

- SA General (407)
- _____ Beneath rooms (407.3)
- _____ Attached to rooms (407.4)
- _____ Door sills (407.5)
- _____ Means of egress (407.8)
- _____ Floor surface (407.9)
- _____
- _____
- _____

Egress (Chapter 10)

- ~~X~~ ~~SA~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation
Table 602**

N/A

Applicant: Pines of Portland

Date: 2/23/01

Address: 35 Wyoming Ave (lot 29)

C-B-L: 400-B-015

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior of corner lot -

Proposed Use/Work - Construct single family with attached garage
26 x 30 22 x 24
NO rear Deck & Show

Sewage Disposal - Public

Lot Street Frontage - 50' req - 90' shown

Facing east - Front Yard - 25' req - 100' shown (Defin. show that the orientation of the structure determines the front)

Rear Yard - 25' req - 42' shown

Side Yard - 16' req - 18' shown

2 1/2 stories 20' req. for side yard - 28' shown - Kansas is a side yard on a side street

Projections - 6x8 front porch

Width of Lot - ~~35' max~~ 75' required - ~~100'~~ 100' shown

CEO Check -> Height - 35' max height - 32' scaled - 2 1/2 story shown

Lot Area - 6,500 sq ft min - 27,000 sq ft shown

Lot Coverage/Impervious Surface - 25% of 6,750 sq ft MAX

Area per Family - 6,500 sq ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor #20010025

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 Zone X

26 x 30 = 780 sq ft

22 x 24 = 528 sq ft

6 x 8 = 48 sq ft

1356 sq ft

NO ACCESS allowed onto Kansas Ave from this lot (#29)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Inspections Office Copy**

20010025

I. D. Number

Pines of Portland Inc.
Applicant
426 Forest Ave, Portland, ME
Applicant's Mailing Address
Pines of Portland Inc.
Consultant/Agent
772-2127
Applicant or Agent Daytime Telephone, Fax

Application Date
Wyoming Ave. - #35 (lot #29)
Project Name/Description
35 - 35 Wyoming Ave, Portland, Maine
Address of Proposed Site
400-B-015
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **New Single Family**

2,200 sf **27,000 sf** **R-3 zone**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date: 02/23/2001

Inspections Approval Status:

Approved **Approved w/Conditions see attached** Denied Reviewer Marge Schmuckal
Approval Date 02/26/2001 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance *[Signature]* 2/26/01
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20010025
I. D. Number

Pines of Portland Inc.
Applicant
426 Forest Ave, Portland, ME
Applicant's Mailing Address
Pines of Portland Inc.
Consultant/Agent
772-2127
Applicant or Agent Daytime Telephone, Fax

Application Date
Wyoming Ave. - #35 (lot #29)
Project Name/Description
35 - 35 Wyoming Ave, Portland, Maine
Address of Proposed Site
400-B-015
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. There shall be no access allowed onto Kansas Avenue from this lot (#29) per the site plan condition notes.
3. Street name signs & stop signs are to be erected per the City's requirements by the Developer PRIOR to the issuance of the first certificate of occupanc
4. Separate permits shall be required for future decks, sheds, pools, and/or garage.
5. The maximum building height is 35 feet from grade. Your plans do not show an accurate grade. What I scaled showed a height of 32 feet.
Please be aware that the inspector will check the height to insure compliance with the zoning ordinance.
6. No rear deck is being shown on this submittal and none is being approved. Separate permits shall be required for any newly proposed decks.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
D.R.C. Copy**

20010025
I. D. Number

Pines of Portland Inc.
Applicant
426 Forest Ave, Portland, ME
Applicant's Mailing Address
Pines of Portland Inc.
Consultant/Agent
772-2127
Applicant or Agent Daytime Telephone, Fax

Application Date
Wyoming Ave. - #35 (lot #29)
Project Name/Description

35 - 35 Wyoming Ave, Portland, Maine
Address of Proposed Site
400-B-015
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **New Single Family**

2,200 sf **27,000 sf** **R-3 zone**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date: **02/23/2001**

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** Denied
see attache

Approval Date **02/26/2001** Approval Expiration **02/26/2002** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **02/26/2001**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20010025
I. D. Number

Pines of Portland Inc.
Applicant
426 Forest Ave, Portland, ME
Applicant's Mailing Address
Pines of Portland Inc.
Consultant/Agent
772-2127
Applicant or Agent Daytime Telephone, Fax

Application Date
Wyoming Ave. - #35 (lot #29)
Project Name/Description
35 - 35 Wyoming Ave, Portland, Maine
Address of Proposed Site
400-B-015
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 35 Wyoming Ave.
, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822.
(Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall install silt fence along the southerly lot line, at the discretion of the Development Review Coordinator.

All slopes on this lot greater than 3:1 shall be rip-rap. This is not limited to the area shown on the approved site plan.

Planning Conditions of Approval

See DRC Conditions

Inspections Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20010025

I. D. Number

Pines of Portland Inc.

Applicant

426 Forest Ave, Portland, ME

Applicant's Mailing Address

Pines of Portland Inc.

Consultant/Agent

772-2127

Applicant or Agent Daytime Telephone, Fax

Application Date

Wyoming Ave. - #35 (lot #29)

Project Name/Description

35 - 35 Wyoming Ave, Portland, Maine

Address of Proposed Site

400-B-015

Assessor's Reference: Chart-Block-Lot

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. There shall be no access allowed onto Kansas Avenue from this lot (#29) per the site plan condition notes.
3. Street name signs & stop signs are to be erected per the City's requirements by the Developer PRIOR to the issuance of the first certificate of occupancy.
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Please be aware that the inspector will check the height to insure compliance with the zoning ordinance.
6. No rear deck is being shown on this submittal and none is being approved. Separate permits shall be required for any newly proposed decks.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Inspections Office Copy**

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Pines of Portland Inc.
Applicant
426 Forest Ave, Portland, ME
Applicant's Mailing Address
Pines of Portland Inc.
Consultant/Agent
772-2127
Applicant or Agent Daytime Telephone, Fax

Application Date
New single Family Home
Project Name/Description

35 - 35 Wyoming Ave, Portland, Maine
Address of Proposed Site
400-B-015
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **New Single Family**

2,200 sf Proposed Building square Feet or # of Units **2,700 sf** Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date: **2/23/01**

Inspections Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions**
see attache **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

BLACK NT all ch. 4

SHINGLES

VINYL SIDING
TRUSS

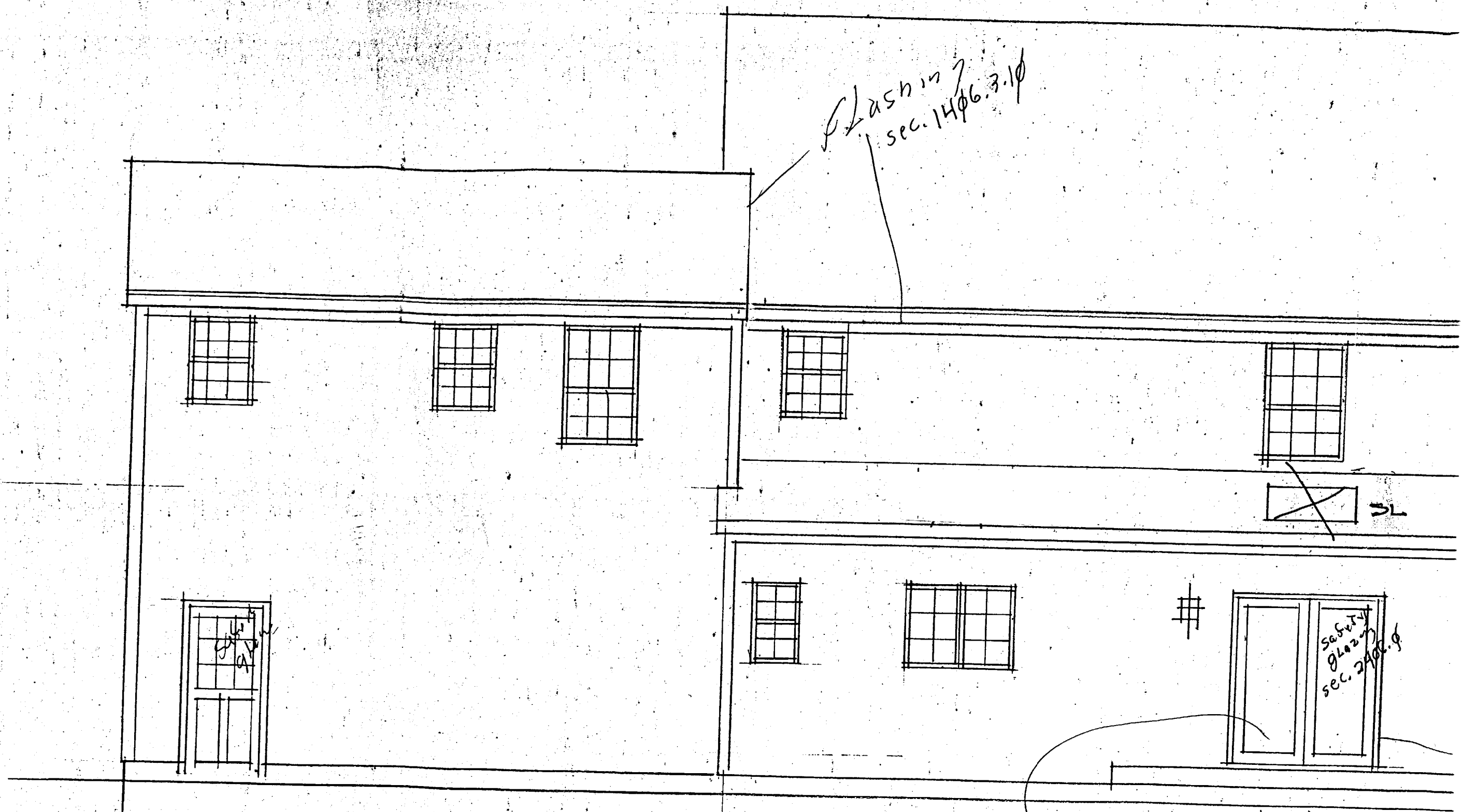
VAULT CEILING



FRONT ELEVATION

Garage sec. 1022.4

Private garage
sec. 467.0



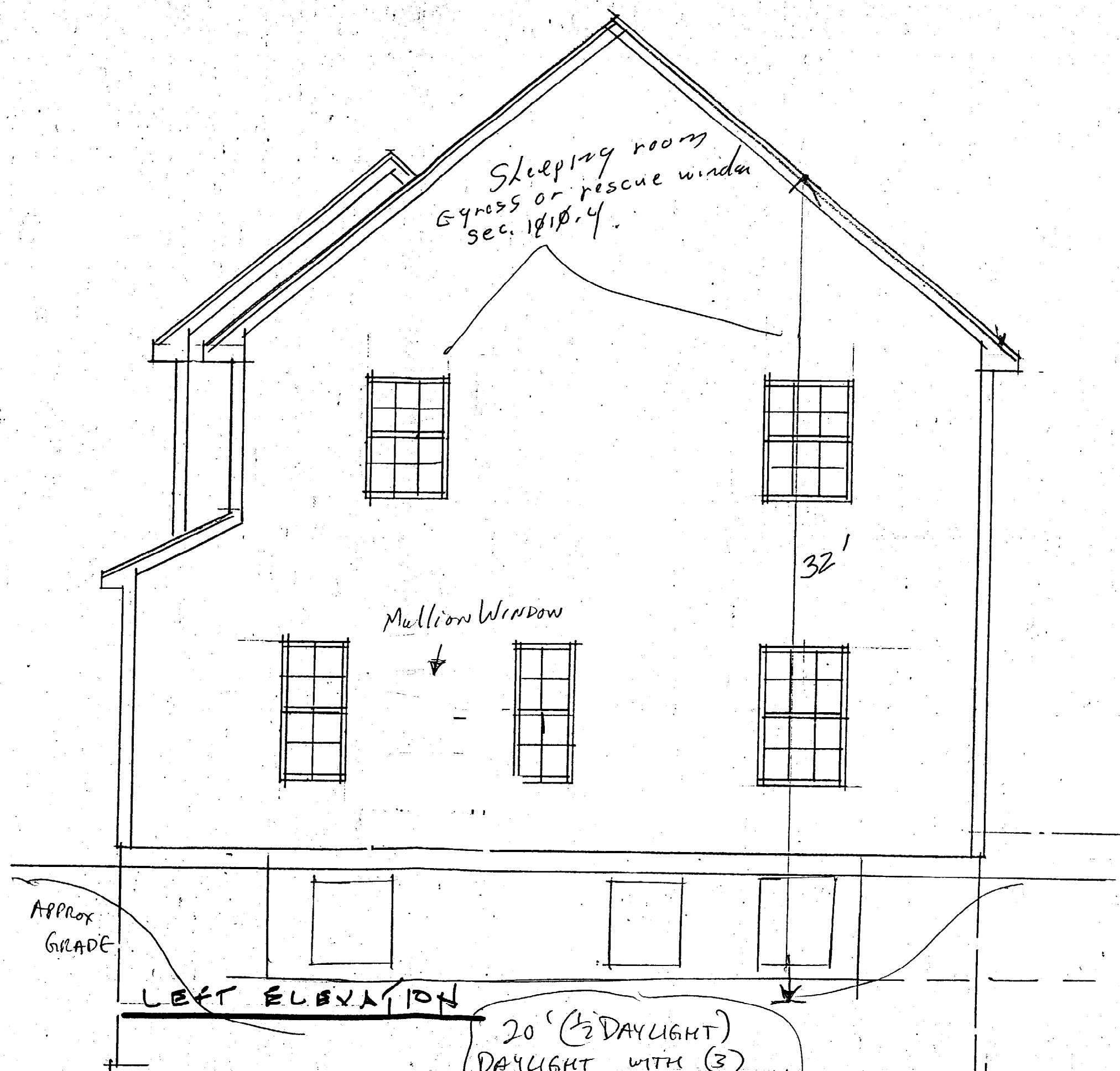
FLASHING?
sec. 1406.3.10

~~SL~~

SECURITY
GLAZING
sec. 2402.8

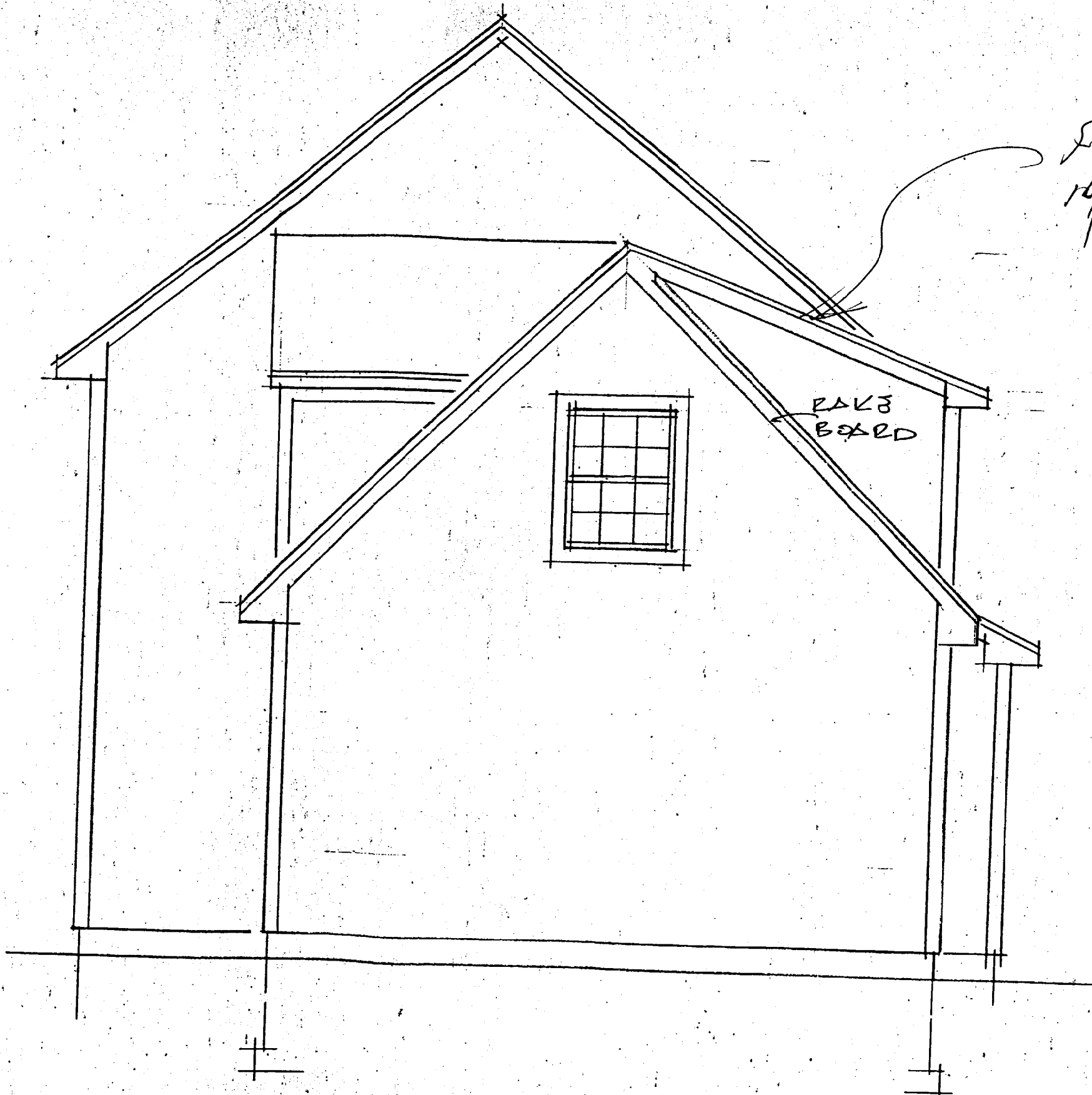
CEAP ELEVATION

No Deck shown on
plot plan —
none AP#



REVISIONS	B

ved



FLASHING
12/6.3.10

RAKED
BOARD

RIGHT ELEVATION

LOT 29 PINES, WYOMING STREET RESIDENCE
PORTLAND, ME

DESIGNER:
PLANNING / DESIGN ASSOCIATES
35 PARTRIDGE ROAD, WINDHAM, ME 892-2640

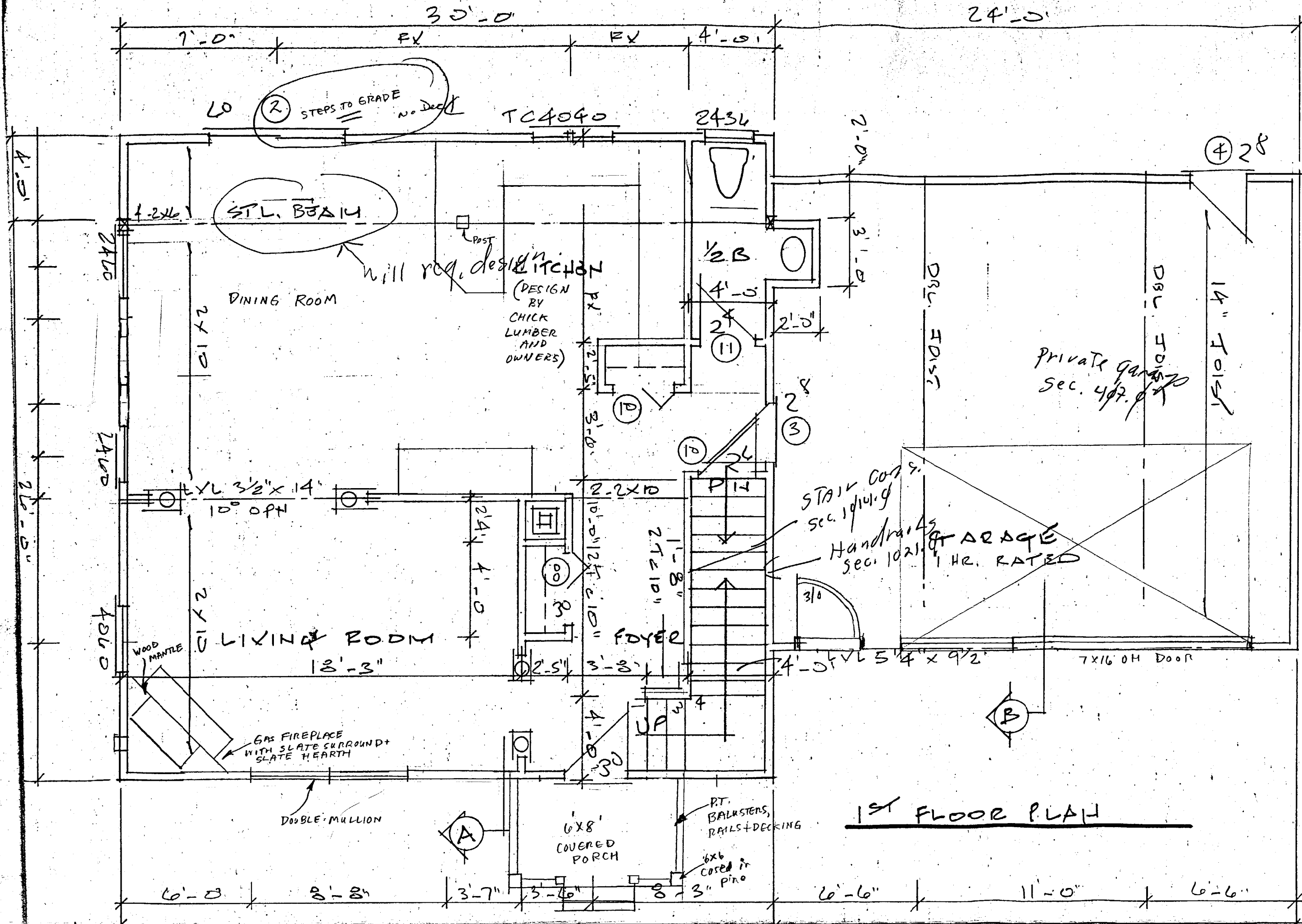
Date | 12.20.01

Scale | 1/4"

Drawn

Job

Sheet | 1



LO (2) STEPS TO GRADE
No Deck

STL. BEAM

will req. design
(DESIGN BY CHICK LUMBER AND OWNERS)

Private game room
Sec. 407.4

STAIR COV'G
Sec. 101.9
Handrails
Sec. 102.1
1 HR. RATED

GAS FIREPLACE WITH SLATE SURROUND + SLATE HEARTH

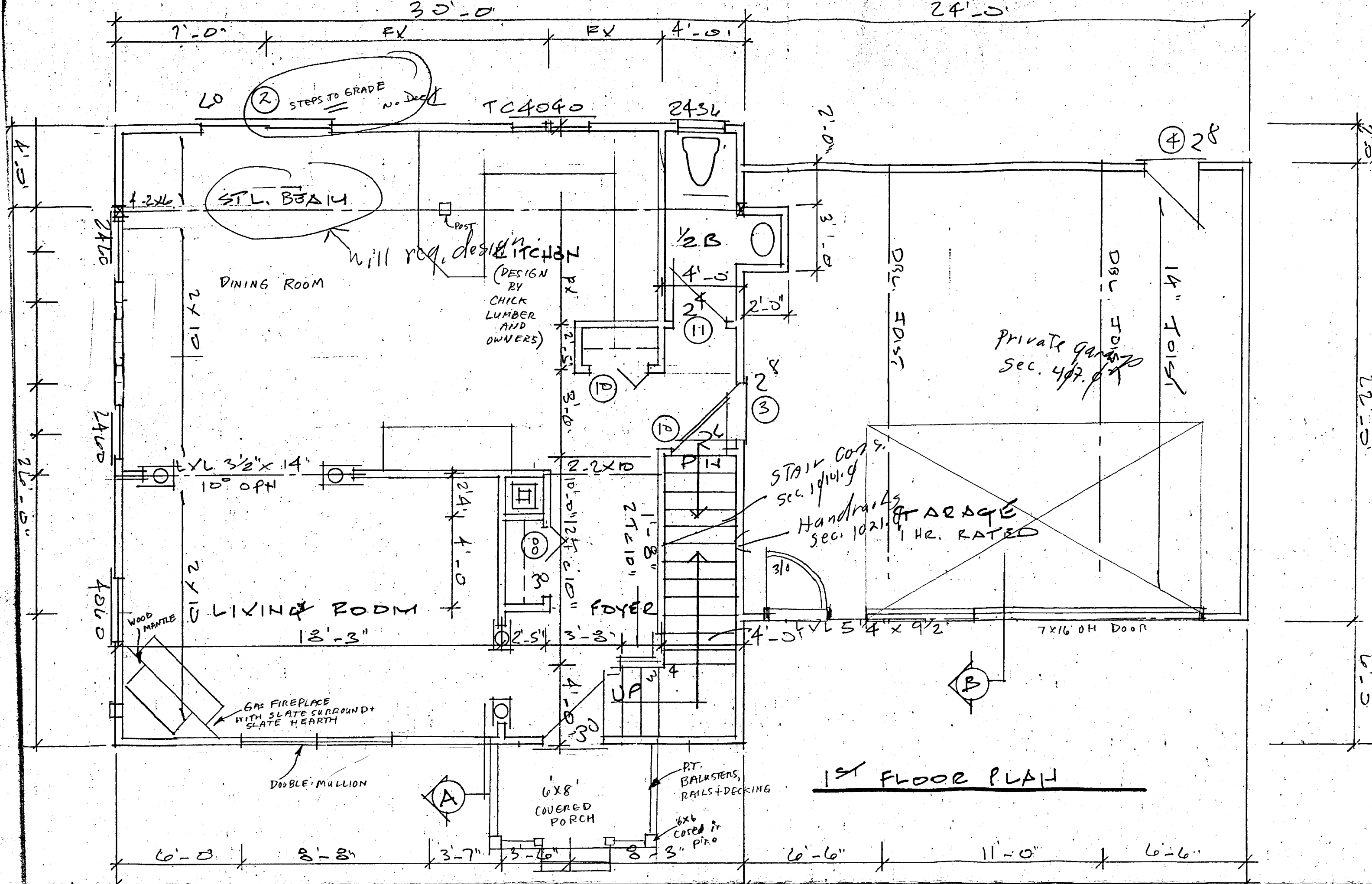
DOUBLE MULLION

6'x8' COVERED PORCH

P.T. BALUSTERS, RAILS + DECKING

6x6 cased in 3" pine

1st FLOOR PLAN



LO (2) STEPS TO GRADE
No Deck

STL. BEAM

will req. design
(DESIGN BY CHICK LUMBER AND OWNERS)

Private game room
Sec. 407.4

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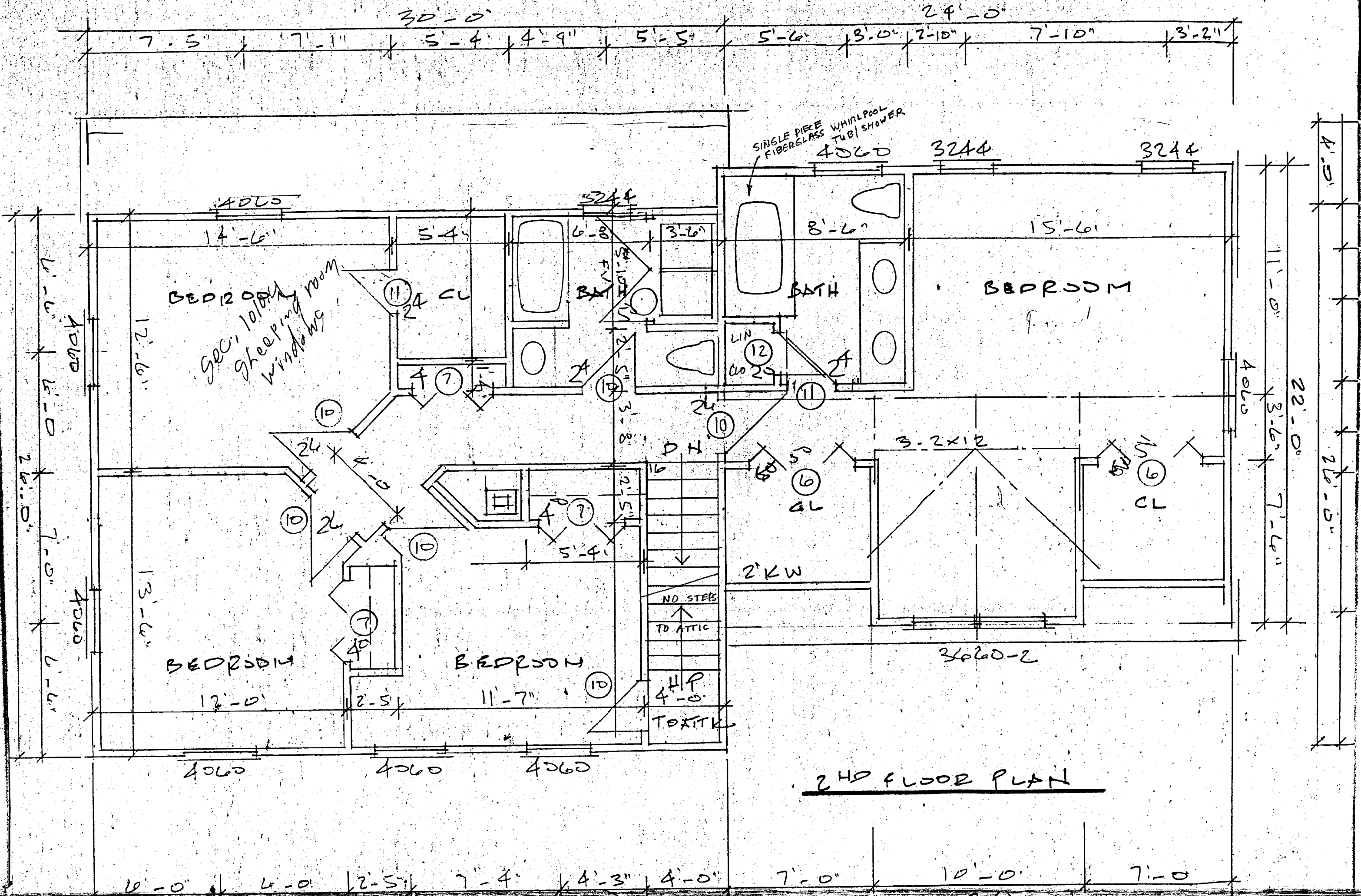
DOUBLE MULLION

6'x8' COVERED PORCH

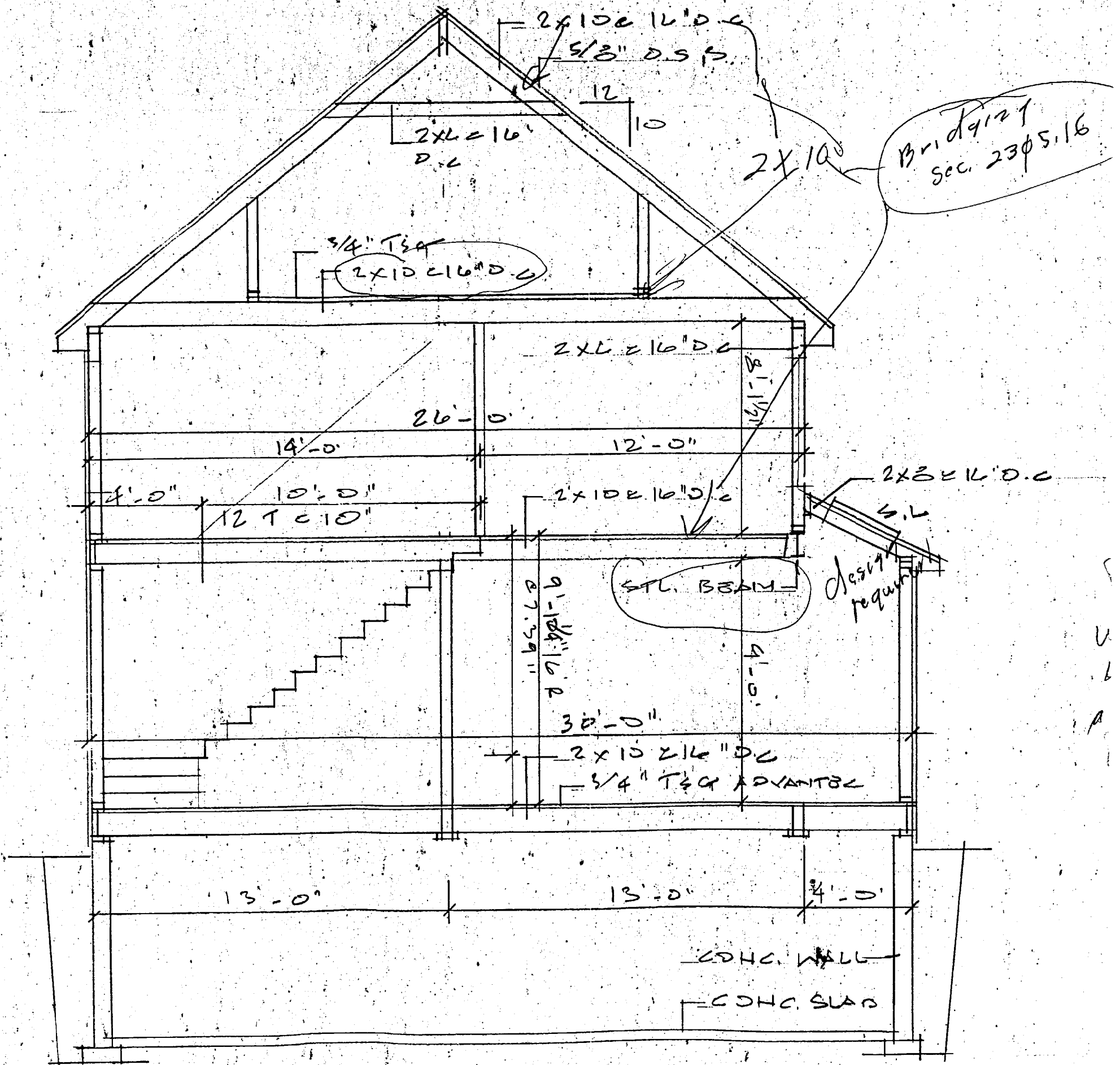
P.T. BALUSTERS, RAILS + DECKING

6x6 cased in 3" pine

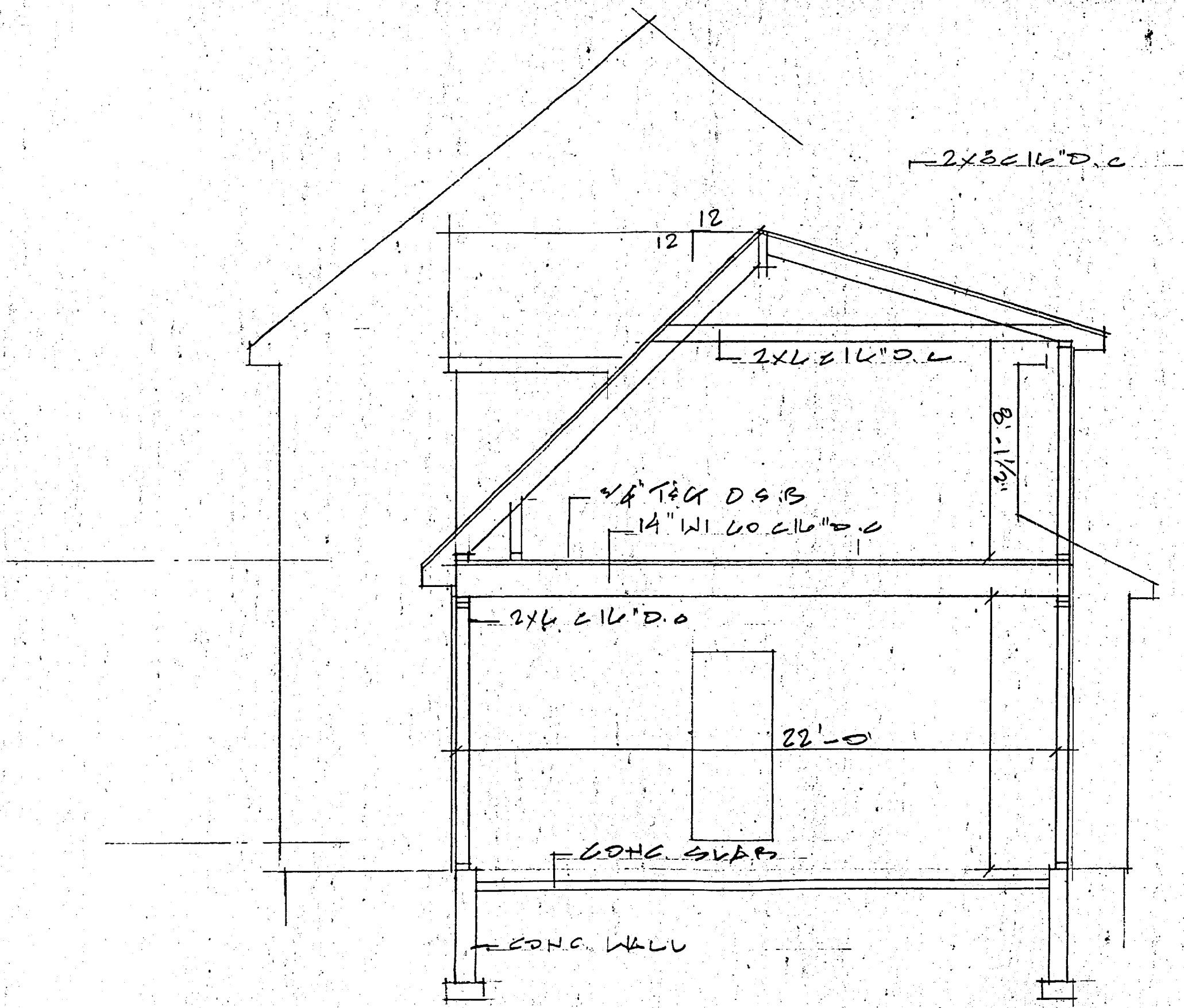
1st FLOOR PLAN



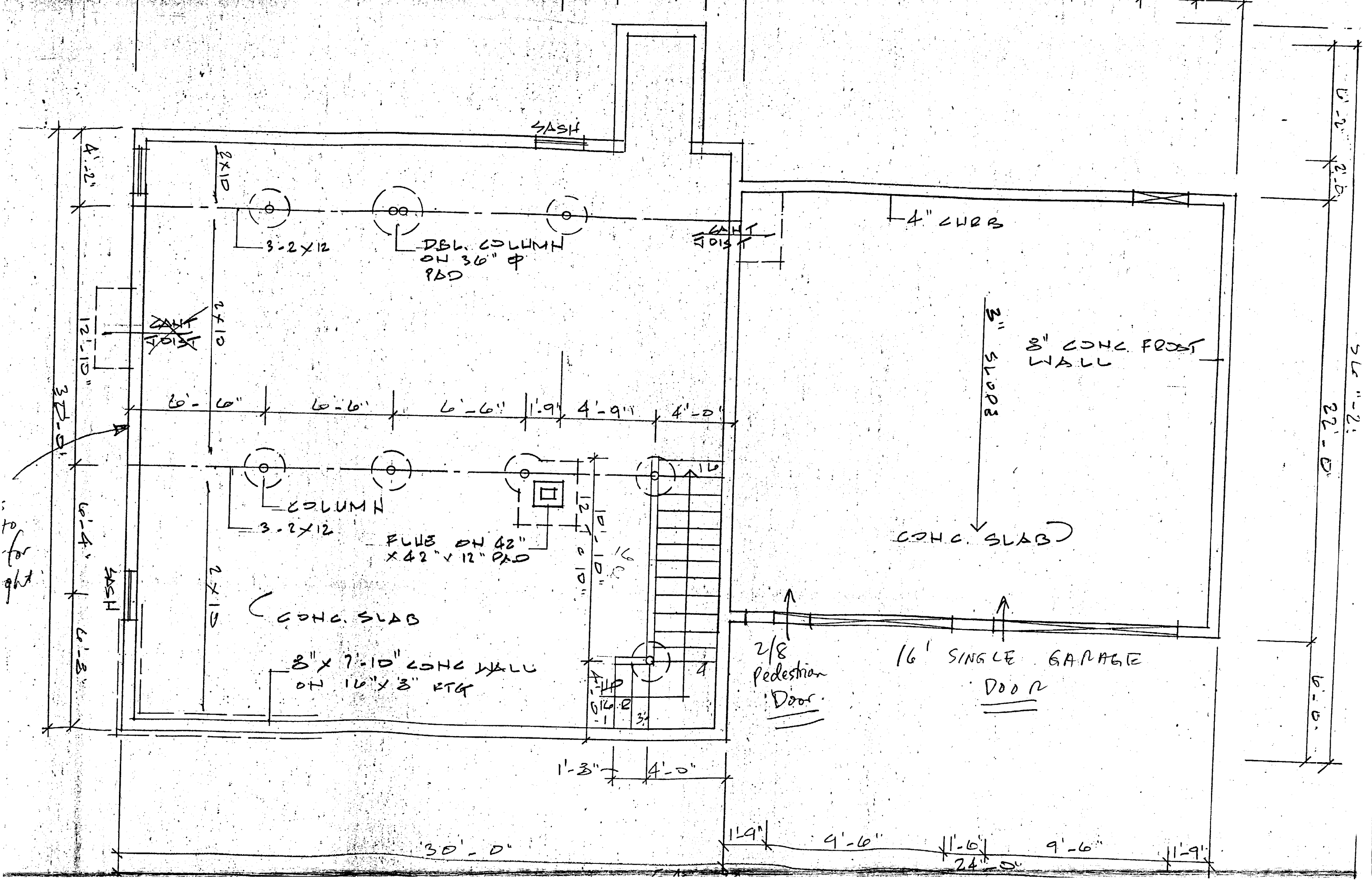
2ND FLOOR PLAN

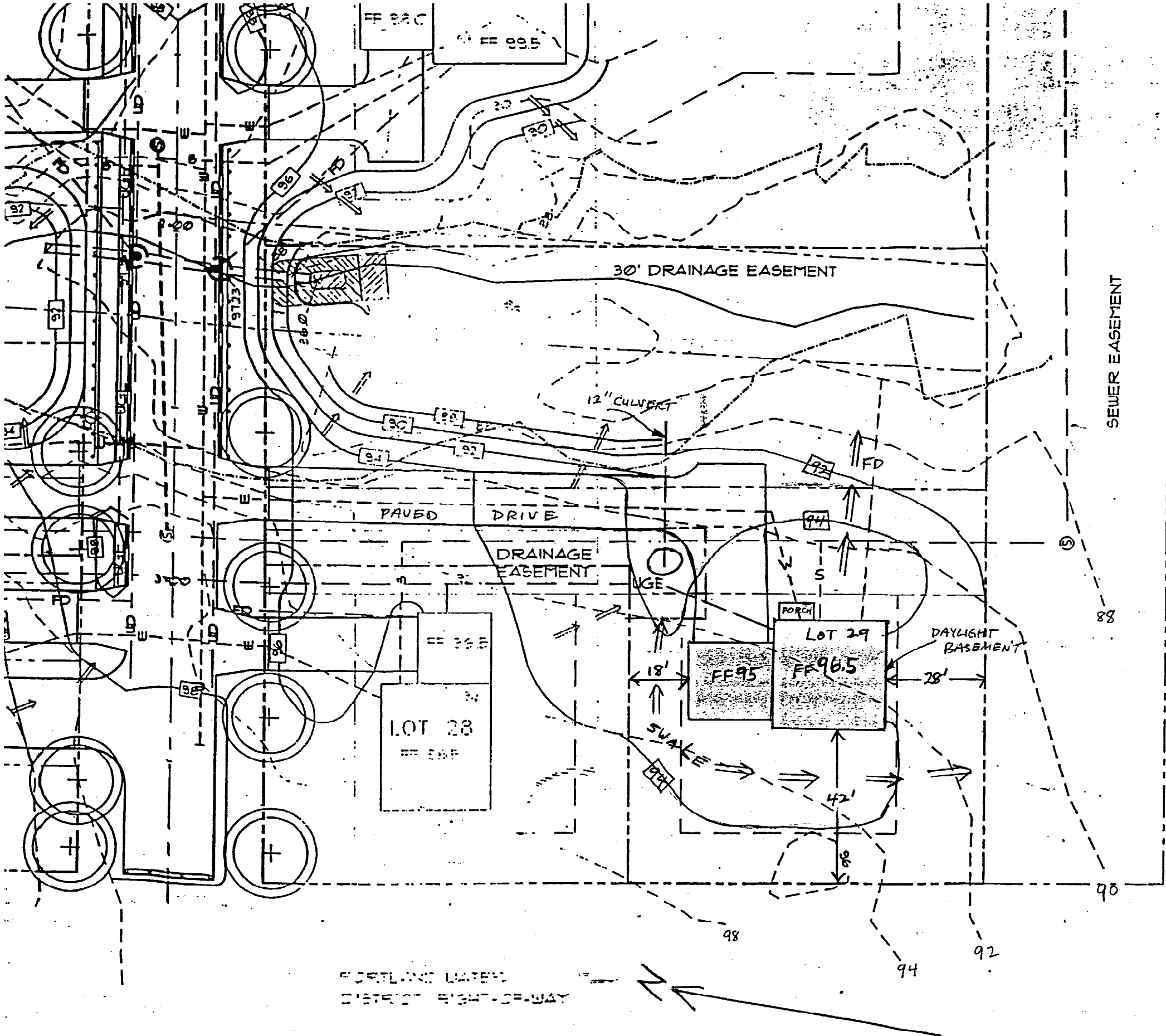


'A' SECTION



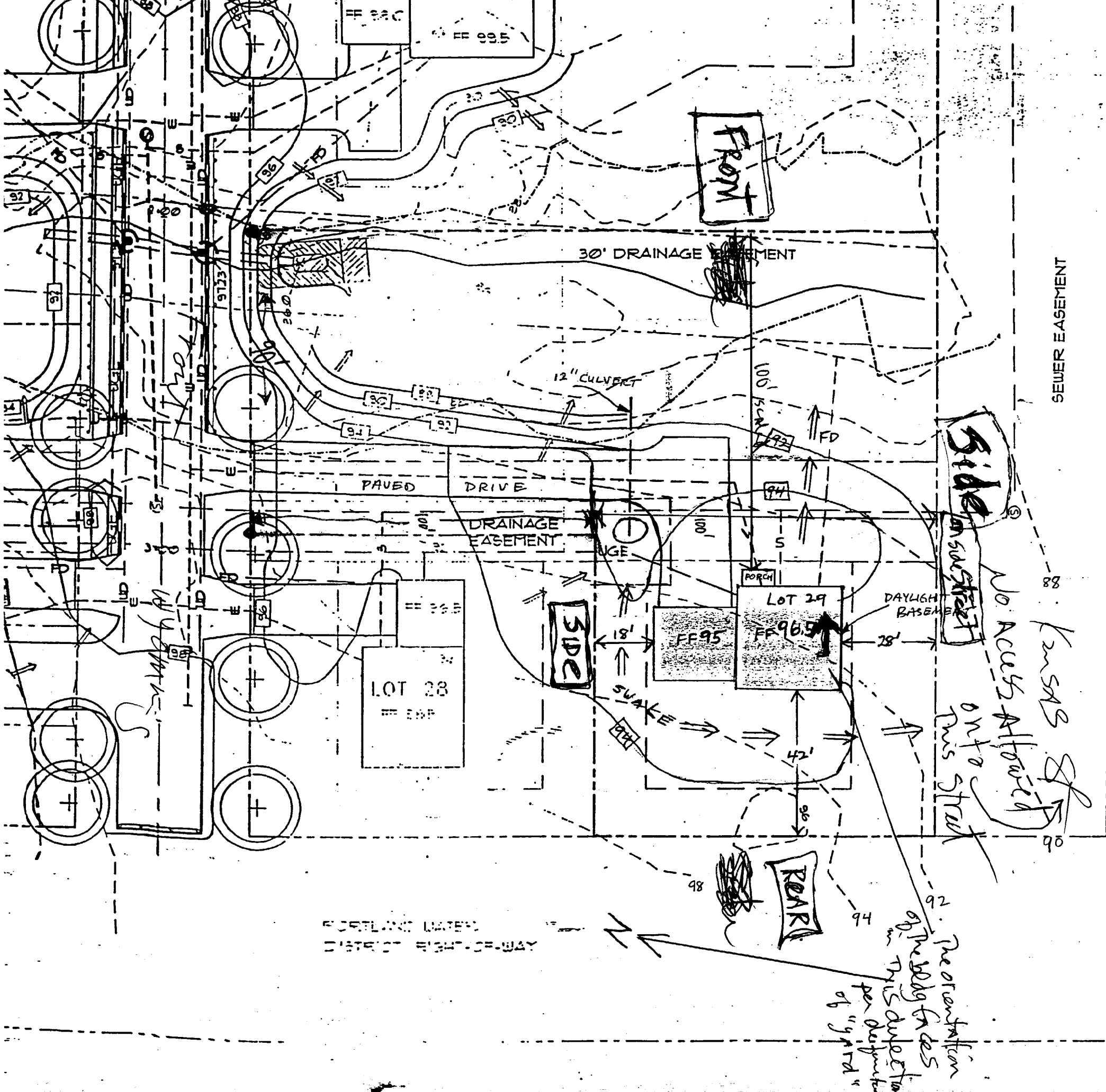
'B' SECTION





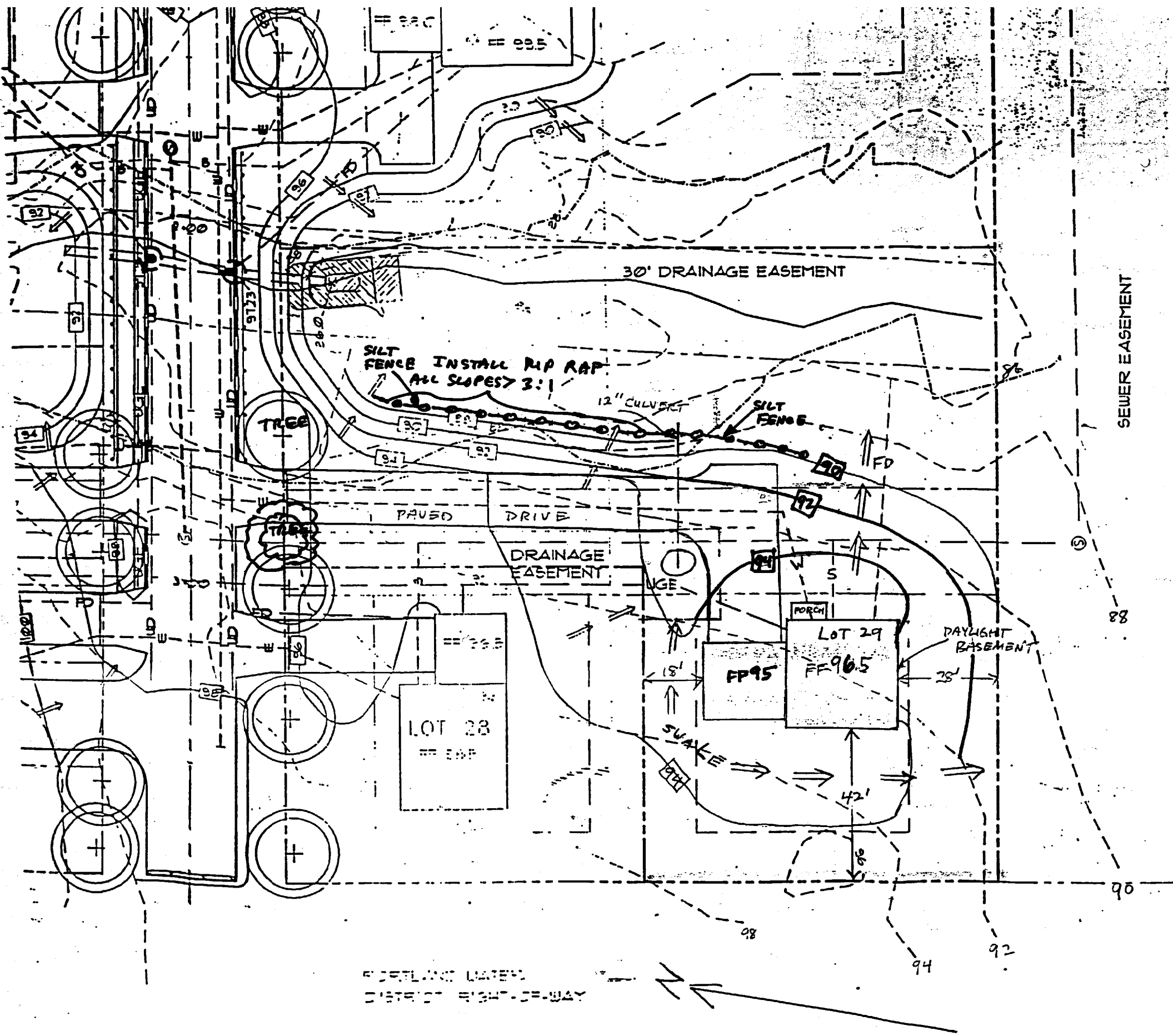
Conceptual Grading Plan ; Scale 1"=30'
 Lot 29 Pines @ Wyoming
 (35 Wyoming Ave)
 Plot Plan Prepared By Greg McCormack 2/19/01
 Based on Grading Plan Prepared By Pinkham +
 Greer Engineers Dated September, 1999

NOTE: INVERT ELEVATION @ SEWER CONNECTION : 88.0



Conceptual Grading Plan ; Scale 1"=30'
 Lot 29 Pines @ Wyoming
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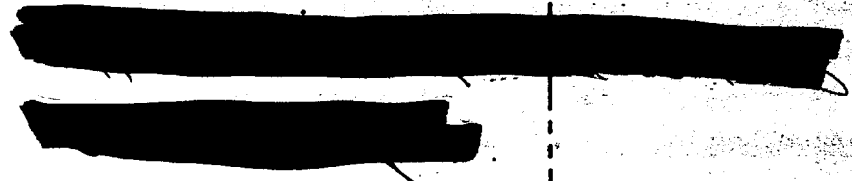
NOTE: INVERT ELEVATION @ SEWER CONNECTION: 88.0



Conceptual Grading Plan ; Scale 1"=30'
 Lot 29 Pines @ Wyoming
 (35 Wyoming Ave)
 Plot Plan Prepared By Greg McCormick 2/19/
 Based on Grading Plan Prepared By Pinkham +
 Greer Engineers Dated September, 1999

NOTE: INVERT ELEVATION @ SEWER CONNECTION: 89.0

- Revised 2/26/01: Provide / Change Grading in
- front of house < 3:1 slope.
 - Install Rip Rap all slopes > 3:1 east side of driveway.
 - Plant / or conserve (2) trees by street.
 - Install silt fence as shown



DISTANCE MARKERS
 DISTRICT RIGHT-OF-WAY