

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

Permit Number: 091394

Please Read Application And Notes, If Any, Attached

PERMIT

PERMIT ISSUED

This is to certify that DIPIETRO DAVID D & ERN M DIPIETRO JTS/David Di Pietro has permission to Raise roof of a ranch and creating a space with a gable roof over side porch AT 232 VIRGINIA ST CBL 400 A0490 DEC 10 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other Department Name

Thomas M. Malley 12/10/09 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1394	Issue Date:	CBL: 400 A049001
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Location of Construction: 232 VIRGINIA ST	Owner Name: DIPIETRO DAVID D & FERN M	Owner Address: 232 VIRGINIA ST	Phone:
Business Name:	Contractor Name: David Dipietro	Contractor Address: 221 Virginia Street Portland	Phone: 2078317914
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3
Past Use: Single Family Home - ranch	Proposed Use: Single Family Home - Raise roof of a ranch and creating a cape with a dormer- new roof over side porch	Permit Fee: \$170.00	Cost of Work: \$15,000.00
Proposed Project Description: Raise roof of a ranch and creating a cape with a dormer. - New roof over side porch		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	CEO District: 4
		INSPECTION: Use Group: Type:	7000 ⁴
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Permit Taken By: L.dobson	Date Applied For: 12/08/2009	Zoning Approval	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> Wetland <i>80% increase Allowed -</i> <input type="checkbox"/> Flood Zone <i>28% being used</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: <i>12/2/09</i>	Date:	Date:

PERMIT ISSUED

DEC 10 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.


Location/Address of Construction: 232 VIRGINIA ST BATHAND		
Total Square Footage of Proposed Structure/Area 900 SF	Square Footage of Lot 7000	Number of Stories 1 1/2
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 232 A 049	Applicant * must be owner, Lessee or Buyer* Name DAVID DIPIETRO Address 221 VIRGINIA ST City, State & Zip 04103	Telephone: 8317914
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 15,000 C of O Fee: \$ _____ Total Fee: \$ 170
Current legal use (i.e. <u>single family</u>) making a 1 story into a 2 story (CAPE LIKE) Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: RAISE ROOF AND CHANGE WALL LAYOUT ON 1ST FLOOR need more structural - plus		
Contractor's name: DAVID DIPIETRO EXAMPLE -> STAIRS ETC Address: 221 VIRGINIA ST City, State & Zip: 04103 Telephone: 8317914 Who should we contact when the permit is ready: DAVID Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

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In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to load copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record has authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **12-8-9**

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1394	Date Applied For: 12/08/2009	CBL: 400 A049001
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Location of Construction: 232 VIRGINIA ST	Owner Name: DIPIETRO DAVID D & FERN M	Owner Address: 232 VIRGINIA ST	Phone:
Business Name:	Contractor Name: David Dipietro	Contractor Address: 221 Virginia Street Portland	Phone: (207) 831-7914
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Raise roof of a ranch and creating a cape with a dormer- new roof over side porch	Proposed Project Description: Raise roof of a ranch and creating a cape with a dormer. - New roof over side porch
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 12/08/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 12/10/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. Carbon Monoxide Detectors are required when additional bedroom added to existing single family dwelling. That detection must be powered by the electrical service in the building AND battery. 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office. 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process. 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 			

Comments:
 12/8/2009-mes: This permit is a little bit more than what was first conveyed - it is actually adding a 2nd story - going from a ranch to a cape with a dormer - I need more information on what is existing for a roof line to the new roof line - I also told David that we will need better structurals including the new stair way details. David brought more plans in later in the day - He is using 28% of the allowable 80% (14-436b)

Code 1968, § 602.19.N)

Sec. 14-436. Building extensions.

Existing non-residential and residential principal structures which are nonconforming as to any area and/or yard requirements may be enlarged within the existing footprint subject to the following provisions:

(a) *For principal structures lawfully nonconforming as to land area per dwelling unit as of July 19, 1988:* The floor area of the expansion shall be limited to no more than fifty (50) percent of the first floor footprint.

City of Portland, Maine
Code of Ordinances
Sec 14-436

Land Use
Chapter 14
Rev. 2-21-01

The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible.

(b) *For residential principal structures conforming as to land area per dwelling unit as of July 19, 1988, but lawfully nonconforming as to any yard setback or nonresidential principal structures that are lawfully nonconforming as to any yard setback:* The floor area of the expansion shall be limited to no more than eighty (80) percent of the first floor footprint. The additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures.

Building expansions under this section may occur only once during the lifetime of an existing structure.

(Ord. No. 61-97, 8-18-97; Ord. No. 284-99, §3, 5-17-99, enacted as an emergency to take effect immediately pursuant to Article II, Sec. 8 of the Portland City Charter)

*Editor's note--Ord. No. 61-97, adopted Aug. 18, 1997, repealed former § 14-436 and enacted similar new provisions as herein set out. Formerly, such section derived from § 602.19.0 of the 1968 Code as amended by Ord. No. 92-88, adopted July 19, 1988.

Sec. 14-437. Setback reductions.

(a) *Authority.* The zoning administrator may grant setback reductions to the extent provided by this section.

(b) *Procedure.* Application for a setback reduction shall be submitted to the zoning administrator.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

SERVICES

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

Browse city services a-z

Browse facts and links a-z



CBL 400 A049001
Land Use Type SINGLE FAMILY
Property Location 232 VIRGINIA ST
Owner Information DIPIETRO DAVID D & FERN M DIPIETRO JTS
 232 VIRGINIA ST
 PORTLAND ME 04103
Book and Page 27332/010
Legal Description 400-A-49-50
 VIRGINIA ST 230-234
 WYOMING AVE
 7000 SF
Acres 0.161

Current Assessed Valuation:

TAX ACCT NO. 41082 **OWNER OF RECORD AS OF APRIL 2009**
 LANDRY VERA M LIFE ESTATE
LAND VALUE \$66,300.00 232 VIRGINIA ST
BUILDING VALUE \$90,300.00 PORTLAND ME 04103
HOMESTEAD EXEMPTION (\$12,350.00)
NET TAXABLE - REAL ESTATE \$144,250.00
TAX AMOUNT \$2,559.00

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Card 1 of 1

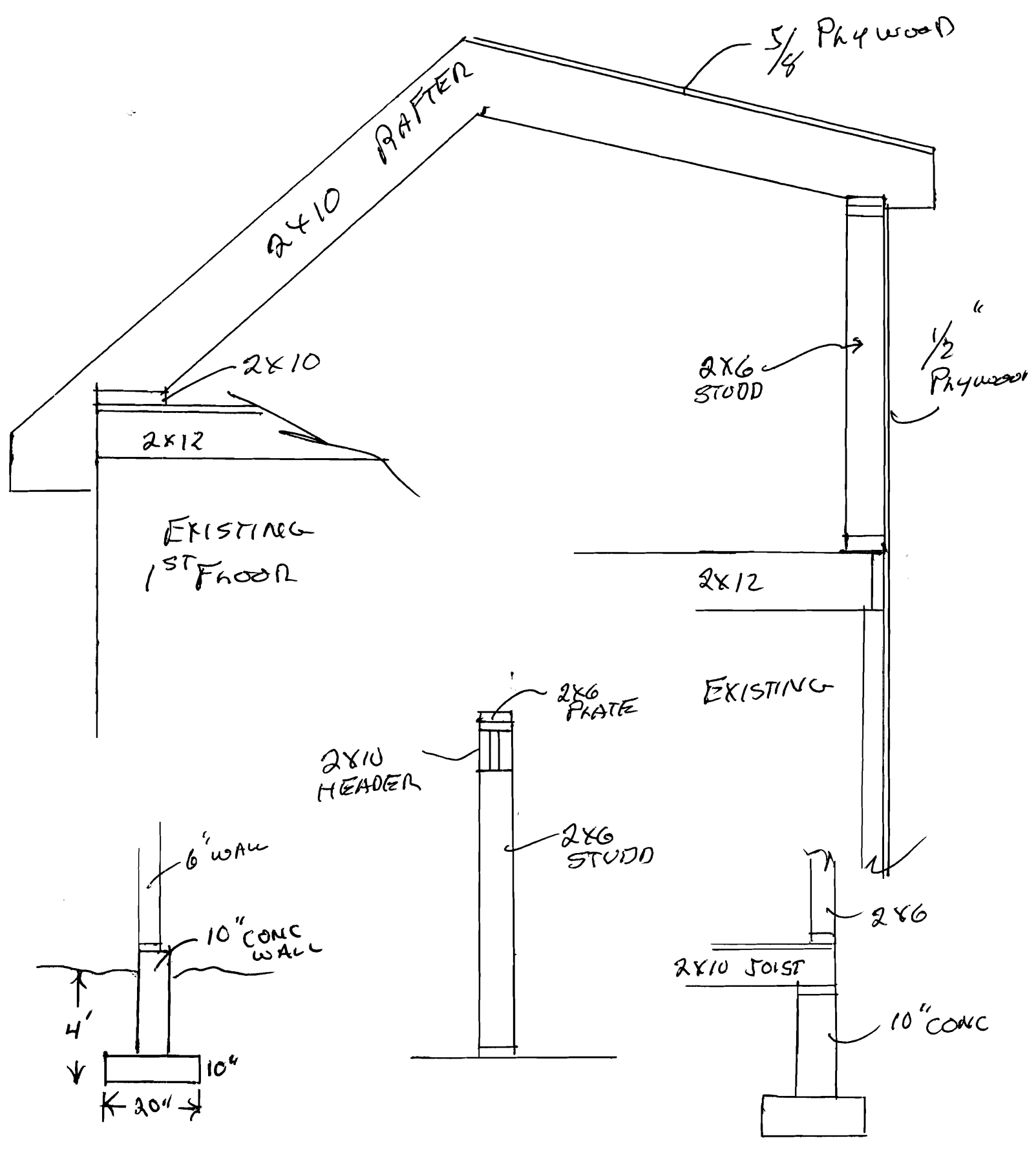
Year Built 1942
Style/Structure Type RANCH
Stories 1
Bedrooms 3
Full Baths 1
Total Rooms 5
Attic NONE
Basement FULL
Square Feet 870
[View Sketch](#) [View Map](#)

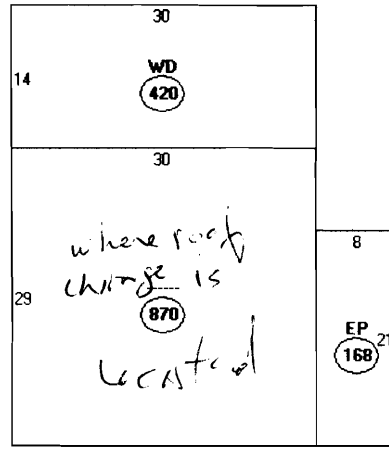


Sales Information:

Sale Date	Type	Price	Book/Page
10/19/2009	LAND + BUILDING	\$0.00	27332/010
8/24/2009	LAND + BUILDING	\$0.00	27198/265
8/27/2001	LAND + BUILDING	\$0.00	16673/34
1/23/1997	LAND + BUILDING	\$0.00	/

[New Search!](#)





Descriptor/Area
 A:
 870 sqft
 B: WD
 420 sqft
 C: EP
 168 sqft

870
 420
 168

 1458 #
 Existing footprint

using "B" of A-436

Z-3 has
 Land Area

$1458 \# \times 80\% = 1166.4 \#$ max increase for
 2nd floor

$11.5' \times 30' = 345 \#$ Existing - 2nd floor
 $25' \times 30' = 750 \#$ New Area

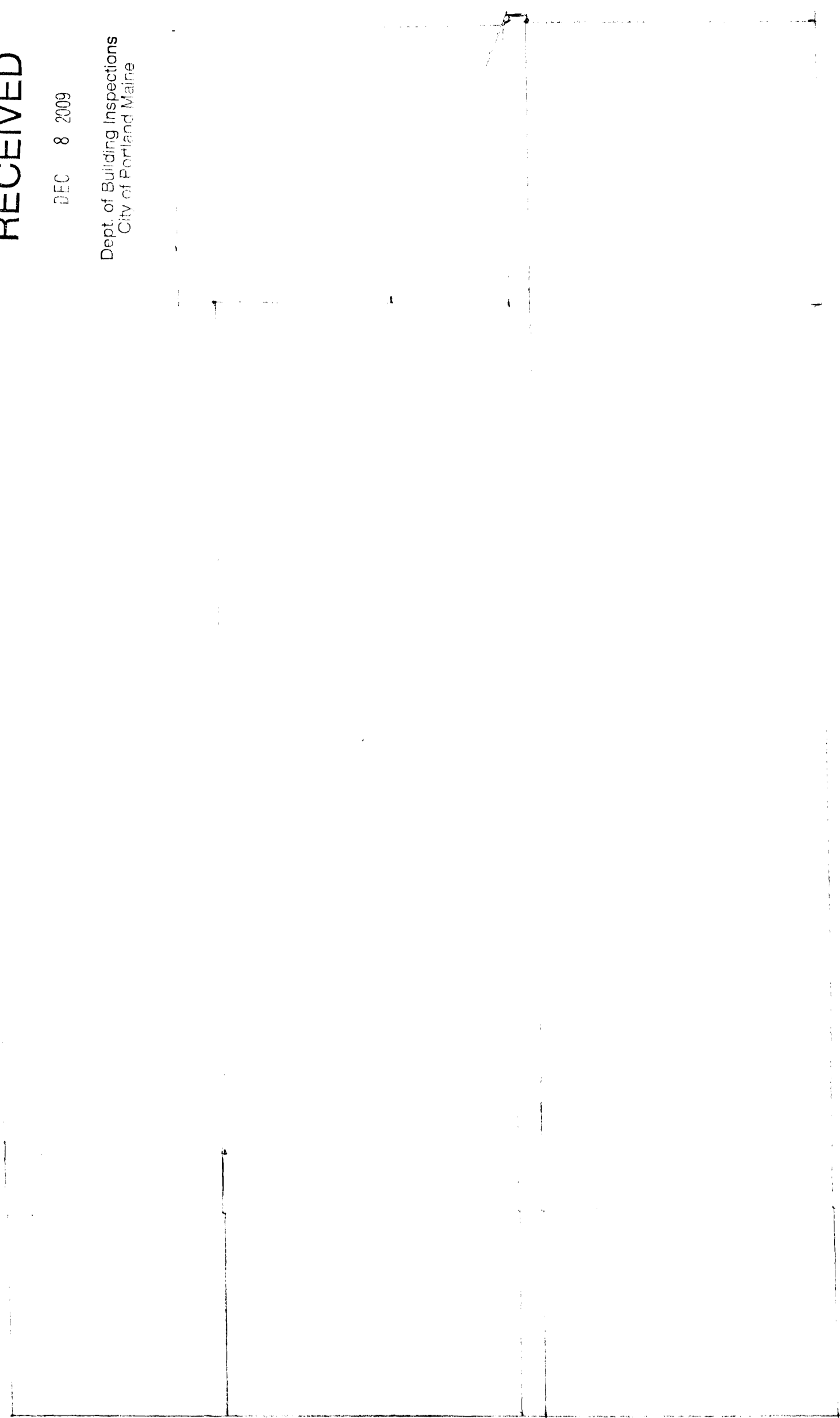
750
 - 345

 405 # Added to Above -
 $405 \div 1458 = 28\%$ increase

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DEC 8 2009

Dept. of Building Inspections
City of Portland, Maine



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DEC 8 2009

Dept. of Building Inspections
City of Portland Maine

11.5' x 30' = 345 sq ft existing 2nd floor

1" = 3'

