

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8710

Location of Construction: 46 Wyoming Ave.		Owner: Pines of Portland		Phone:		Permit No: <b>0159</b>
Owner Address: 426 Forest Ave. Portland, Me.		Lessee/Buyer's Name:		BusinessName:		
Contractor Name: see owner		Address: " "		Phone:		Permit Issued:  <b>MAR - 7 2001</b>
Past Use: Amend permit # 001397		Proposed Use: Amend permit # 001397		COST OF WORK: \$		
				PERMIT FEE: \$ 30.00		Zones: <b>R-3</b> CBL: 400-A-044 Zoning Approval: <i>[Signature]</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> <b>3/7/01</b>
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		
				INSPECTION: Use Group <b>A-3</b> Type <b>5B</b> <i>BOCA 99</i> Signature: <i>[Signature]</i>		
				Signature: _____ Date: _____		
Proposed Project Description: Change roof pitch (Gable end to face street. move location of gas fireplace, window modifications.				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		
Permit Taken By: <b>Chris</b>		Date Applied For: <b>3/02/2001</b>		Signature: _____ Date: _____		
				Signature: _____ Date: _____		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: **March 2, 2001** PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

**PERMIT ISSUED WITH REQUIREMENTS**

**CEO DISTRICT** 2

**AMENDED PERMIT APPLICATION**

TO PERMIT  
001397

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Dated 12/13/2000

**Minor/Minor Site Review for New Detached Single Family Dwelling,  
All Purpose Building Permit Application**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 46 Wyoming Ave (Lot 25 Pines)

Total Square Footage of Proposed Structure: 2200 sq' ±      Square Footage of Lot: 12000 sq'

Tax Assessor's Chart, Block & Lot Number: Chart# 400 Block# A Lot# 044  
 Owner: Pines of Portland, Inc. Telephone#: 7722127

Lessee/Buyer's Name (If Applicable): \_\_\_\_\_ Owner's/Purchaser/Lessee Address: 426 Forest Ave Portland  
 Cost Of Work: \$ No charges Fee: 30.00

Current use: vacant land Proposed use: Residential single family home with attached two car garage

Project description: Change Roof Pitch (Gable End to Street), switch location of gas fireplace; window modifications.

Contractor's Name, Address & Telephone: Pines of Portland, Inc. 426 Forest Ave. Portland Rec'd By: 32 CK

**A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:**

- 4 copies of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17"

**On all commercial permits the following must be submitted:**

- 1 copy of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site/plot and construction/building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**A PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow: Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <i>[Handwritten Signature]</i>	Date: <i>2/27/01</i>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

LAND USE - ZONING REPORT

ADDRESS: 46 Wyoming Ave DATE: 3/7/01

REASON FOR PERMIT: Amendment showing some changes

BUILDING OWNER: Pines of Portland C-B-L: 400-A-44

PERMIT APPLICANT: owner

APPROVED: with conditions: #1, #6, #9, #12

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. - All the original conditions are still in effect.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of \_\_\_\_\_ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.

12. Other requirements of condition: you have not been approved for any setback changes. However, it has been noted that you have changed the original grade levels to include a daylight basement. This was not on your original plans. We shall require an amendment for those changes. This shall be reviewed by you

Marge Schmuckal, Zoning Administrator

Development Review Co-ordinator ~~to~~ prior to our approval.

BUILDING PERMIT REPORT

DATE: 4 March 2001 ADDRESS: 46 Wyoming Ave CBL: 400-A-044

REASON FOR PERMIT: To amend permit #001097

BUILDING OWNER: Pines of Pectland

PERMIT APPLICANT: \_\_\_\_\_ /CONTRACTOR Same as owner

USE GROUP: R-3 CONSTRUCTION TYPE: 53 CONSTRUCTION COST: \_\_\_\_\_ PERMIT FEES: \$3000

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

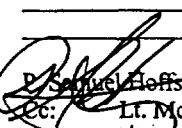
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: 437, 433, 434

PLEASE READ

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *See Attached*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- \*33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- \*35. All flashing shall comply with Section 1406.3.10.
36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- \*37. *Roof Covering shall comply with section 1506.0 with amendments. (NO WOOD ROOF SHINGLES)*

  
 Samuel Hoffses, Building Inspector  
 Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**


**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>46 Wyoming Ave. Clot 25 Pines @ Wyoming</i>		
Total Square Footage of Proposed Structure <i>2100 sq'</i>	Square Footage of Lot <i>12000 sq'</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>400</i> Block# <i>A</i> Lot# <i>44</i>	Owner: <i>Pines of Portland, Inc.</i>	Telephone#: <i>772-2127</i>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: <i>\$105,000</i> Fee: <i>\$654</i> <del>\$300</del>
Proposed Project Description:(Please be as specific as possible) <i>Construction of Single Family home with attached garage + deck</i> <span style="float:right">T 954</span>		
Contractor's Name, Address & Telephone <i>Pines of Portland, Inc. 426 Forest Ave Portland 04101</i>		Rec'd By: 

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: <i>12-1-00</i>
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Site Review Fee: ~~\$300.00~~ Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

*Pines of Portland, Inc.*

**BUILDING PERMIT REPORT**

DATE: 5 December 2K ADDRESS: 40 Wyoming Ave, Lot 25 CBL: 400-A-044

REASON FOR PERMIT: Single Family Dwelling/garage

BUILDING OWNER: Pines of Portland

PERMIT APPLICANT: CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$105,000 PERMIT FEES: \$654.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

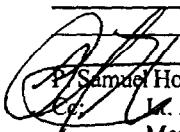
**CONDITION(S) OF APPROVAL**

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*3, \*4, \*5, \*6, \*7, \*8, \*9, \*11, \*13, \*14, \*15, \*19, \*26, \*27, \*28, \*29, \*30, \*31, \*32, \*33, \*34, \*35

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- \*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- \*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- \*6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- \*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- \*8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- \*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- \*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B,H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- \*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- \*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- \*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- \*17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)



- \*19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations)
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- \*26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- \*27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- \*28. All requirements must be met before a final Certificate of Occupancy is issued.
- \*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- \*30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *All the conditions and requirements on the attached site development review sheet shall be met*
- \*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- \*33. Bridging shall comply with Section 2305.16.
- \*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- \*35. All flashing shall comply with Section 1406.3.10.
- 36. All signage shall be done in accordance with Section 2102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

  
 P. Samuel Hoffses, Building Inspector  
 M. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

PSH 10/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**





CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

20000217

I. D. Number

Pines of Portland

Applicant

426 Forest Ave, Portland, ME

Applicant's Mailing Address

Amy Mulkern

Consultant/Agent

772-2127

Applicant or Agent Daytime Telephone, Fax

12/4/00

Application Date

Wyoming Avenue #46- lot #25

Project Name/Description

46 - 46 Wyoming Ave, Portland Maine 04103

Address of Proposed Site

400-A-044

Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 46 Wyoming Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall refer to notes on approved subdivision plan: The grading of lot 25 shall not create any pending between lot 25 and the abutting lot at the corner of Wyoming Ave and Virginia St. Also stormwater currently flows from existing lot on Virginia Street accross lot 2. Construction shall accommodate this flow and not impede it.

Applicant shall be responsible to install and maintain all necessary erosion control devices.

Applicant is responsible to clean up any mud or other debris tracked onto city streets as result of this project.

**Planning Conditions of Approval**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000217

I. D. Number

**Pines of Portland**

Applicant

426 Forest Ave, Portland, ME

Applicant's Mailing Address

Amy Mulkern

Consultant/Agent

772-2127

Applicant or Agent Daytime Telephone, Fax

12/04/2000

Application Date

Wyoming Avenue #46- lot #25

Project Name/Description

46 - 46 Wyoming Ave, Portland Maine 04103

Address of Proposed Site

400-A-044

Assessor's Reference: Chart-Block-Lot

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**Planning Conditions of Approval**

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**Inspections Conditions of Approval**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. The minimum basement elevation shall be 93.5' per the recorded site plan.
3. Note #10 on the recorded site plan, states: "House loctions to be within building envelopes shown on section plans.
4. Subdivision approval is being appealed to Superior court. Any construction work that is commenced is done at the owner/contractor's own risk pending the outcome of the Court action. Any potential buyer shall be notified of such appeal.
5. Street name signs & stop signs are to be erected per the City's requirements by the developer PRIOR to the issuance of the first certificate of occupancy.
6. Separate permits shall be required for future decks, sheds, pool, and/or garage.
7. It will be necessary to show the field inspector exactly where the building envelope is located, so the inspector is satisfied that the rear deck does not extend outside of the approved envelope window.

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**Fire Conditions of Approval**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Inspections Office Copy**

20000217  
I. D. Number

Pines of Portland  
Applicant  
426 Forest Ave, Portland, ME  
Applicant's Mailing Address  
Amy Mulhern  
Consultant/Agent  
772-2127  
Applicant or Agent Daytime Telephone, Fax

12/4/00  
Application Date  
new single family w/garage  
Project Name/Description  
46 - 46 Wyoming Ave, Portland Maine 04103  
Address of Proposed Site  
400-A-044  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) lot 25 w/garage  
2,100 Proposed Building square Feet or # of Units 12,000 Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$200.00 Subdivision \_\_\_\_\_ Engineer Review \$100.00 Date: 12/4/00

**Inspections Approval Status:**

Reviewer \_\_\_\_\_

Approved  Approved w/Conditions see attached  Denied  
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance  
signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required\*

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	

✓



**MULKERIN ASSOCIATES  
REAL ESTATE**

RECEIVED DEC 11 2000

## FAX COVER SHEET

Date: 12-11-00

Total Pages: 2

To: MARGE Schmuckel

Company Fax #: 874-8716

From: Greg McCormack

Subject: Revised Plot Plan Lot 25 Pines @ Wyoming  
(46 Wyoming Ave.)

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**CALL US AT 772-2127 IF THERE ARE ANY PROBLEMS.**

426 Forest Avenue, Portland, ME 04101  
207-772-2127 Fax 207-871-8696

Applicant: Pres of Portland Date: 12/7/00

Address: Ab Wyoming Ave, lot #25 C-B-L: 400-A-44

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New -

Zone Location - R-3 Zone

\* Inspector should have owner/contractor stake out building envelope to be sure the proposed deck is not located outside lot. 26' x 30'

Interior or corner lot -

Proposed Use/Work - Can struct new single family home with attached garage

Sevage Disposal - City

22x24

Lot Street Frontage - 50' req - 120' shown

Front Yard - 25' req - 30' shown

Rear Yard - 25' req - 35' shown

Side Yard - 14' req - may reduce one side to no less than 8' if for every 1' taken off, 1' shall be added to other side - 10' is 50' shown

revised to meet slope deck is outside envelope - need revised plans received 12/11/00

Projections - ~~left~~ left side chimney - Deck on bb side is rear OK

Width of Lot - 75' req - 120' shown

Height - 2 stories - 35' max - 29' to ridge sealed - d

Lot Area - 6,500 sq ft 12,000 sq ft shown

Lot Coverage/ Impervious Surface - 25% = 3,000 sq ft max

Area per Family - 6,500 sq ft

Off-street Parking - 2 req - 2 shown

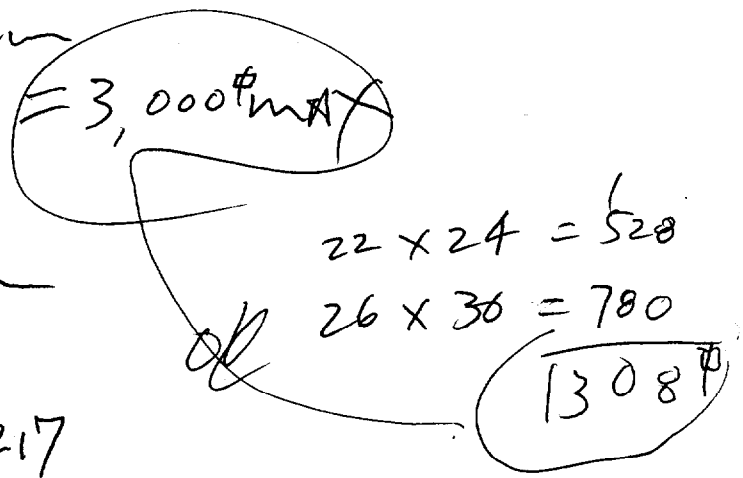
Loading Bays - N/A

Site Plan - minor/minor # 20000217

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel Z zone X

min. Basement elevation per recorded site plan = 93.5' #10 House locations to be within building envelopes shown on section plans





LOT 25 Pines @ Wyoming  
 Plot Plan Prepared by Greg McCormack

Reference: Conceptual Lot Grading Plan  
 Dated Sept. 10, 1999 By  
 Pinkham + Greer

SCALE: 1" = 30'

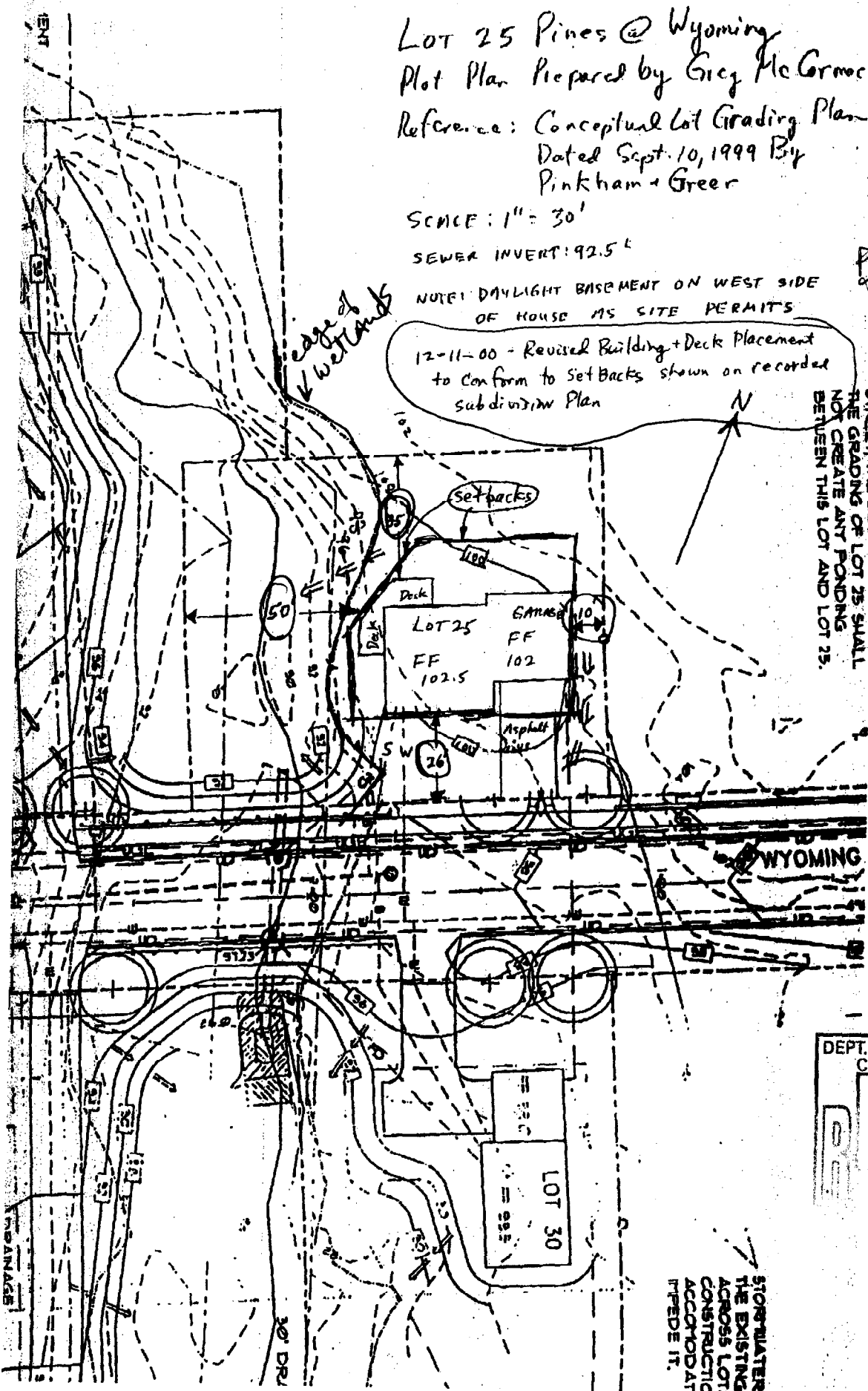
SEWER INVERT: 92.5'

NOTE: DAYLIGHT BASEMENT ON WEST SIDE  
 OF HOUSE AS SITE PERMITS

12-11-00 - Revised Building + Deck Placement  
 to conform to Setbacks shown on recorded  
 subdivision Plan

*purple outline denotes  
 the allowed window  
 envelope + shall  
 not ~~be~~ <sup>be</sup> outside  
 the allowed window*

DIRECTLY ADJACENT TO THE GRADING OF LOT 25 SHALL  
 NOT CREATE ANY PONDING  
 BETWEEN THIS LOT AND LOT 25.



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME

DEC 1 2000

STORAGE WATER  
 THE EXISTING  
 ACROSS LOT  
 CONSTRUCT  
 ACCORDING  
 IT.

**Foundations (Chapter 18)**

**Wood Foundation (1808)**

- Design
- Installation

**Footings (1807.0)**

- Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- Insulated footing provided
- Soil bearing value (table 1804.3)
- Footing width
- Concrete footing (1810.0) .3.1, 3.2
- 
- 
- 
- 
- 

**Foundation Walls**

- Design (1812.1)
- Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- Water proofing and damp proofing Section 1813
- Sill plate (2305.17)
- Anchorage bolting in concrete (2305.17)
- Columns (1912)
- Crawl space (1210.2) Ventilation
- Crawl opening size (1210.2.1)
- Access to crawl and attic space ( 1211.0 )
- 

**Floors (Chapter 16-23)**

- Joists - Non sleeping area LL40PSF (Table - 1606)
- Joists - Sleeping area LL30PSF (Table - 1606)
- Grade
- Spacing
- Span
- Girder 4" bearing 2305.6.1

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~SA~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NA~~ Roof trusses (2313.3.1)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~X~~ Approved materials (1404.1)
- ~~X~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~X~~ Material and installation requirements (1507)
- ~~NA~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces  
 BOCA Mechanical/1993**

- ~~X~~ Masonry (1206.0)
- ~~NA~~ Factory - built (1205.0)
- ~~NA~~ Masonry fireplaces (1404)
- ~~X~~ Factory - built fireplace (1403)
- ~~SP~~ NFPA 211

**Mechanical  
 1993 BOCA Mechanical Code**

\_\_\_\_\_  
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 \_\_\_\_\_

**Load Design Criteria**

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u><del>40</del> PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>L</u>

**Glazing (Chapter 24)**

- SA Labeling (2402.1)
- L Louvered window or jalousies (2402.5)
- SA Human impact loads (2405.0)
- I Specific hazardous locations (2405.2)
- I Sloped glazing and skylights (2404)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Private Garages (Chapter 4)**

- SA General (407)
- I Beneath rooms (407.3)
- I Attached to rooms (407.4)
- I Door sills (407.5)
- I Means of egress (407.8)
- I Floor surface (407.9)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Egress (Chapter 10)**

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~NA~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Smoke Detectors (920.3.2)**

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation  
Table 602**

~~NA~~

Electrical  
NFPA #

70

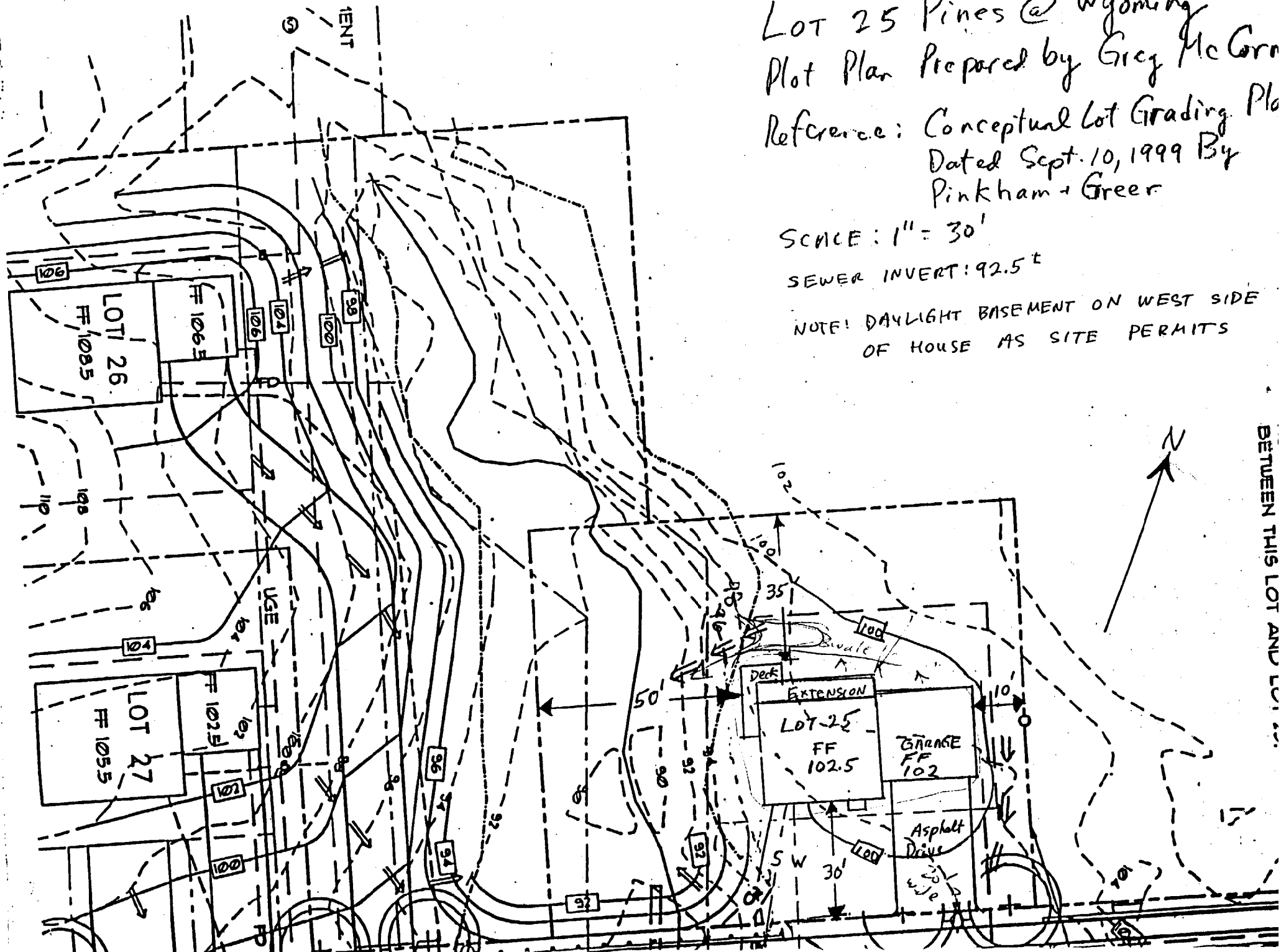
LOT 25 Pines @ Wyoming  
Plot Plan Prepared by Greg McGinn

Reference: Conceptual Lot Grading Plan  
Dated Sept. 10, 1999 By  
Pinkham + Greer

SCALE: 1" = 30'

SEWER INVERT: 92.5'

NOTE: DAYLIGHT BASEMENT ON WEST SIDE  
OF HOUSE AS SITE PERMITS



BETWEEN THIS LOT AND LOT 28

**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$105,000.00 Plan Review # 1834

Fee: \$654.00 Date: 5 Dec. 2K.

Building Location: 10725 Wyoming Ave. CBL: 400-A-044

Building Description: Pines of Portl

Reviewed By: Sam Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

\*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	All lot lines shall be clearly marked before calling for a foundation 1 asp.	111.0
3.	Foundation/drains shall comply with section 1813.512	1813.512
4.	Foundation anchors shall comply with section 2305.12	2305.12
5.	Waterproofing & damp proofing shall comply with section 1813.0	1813.0
6.	Concrete protection of concrete and masonry shall comply with sections 1908.9-1908.10	1908.9 1908.10 2111.3 2111.4
7.	Private garages shall comply with section 407.0	407.0
8.	All chimneys and vents shall comply with <del>1908.11</del> 2111	NFPA 2111
9.	Guardrails and handrails shall comply with sections 1022.0 & 1021.0	1022.0 1021.0
10.	STAIR construction shall comply with section 1014.0	1014.0
11.	Sleeping room egress or rescue windows	1010.4

REV: PSH 4-7-00





SHINGLES

BRICK

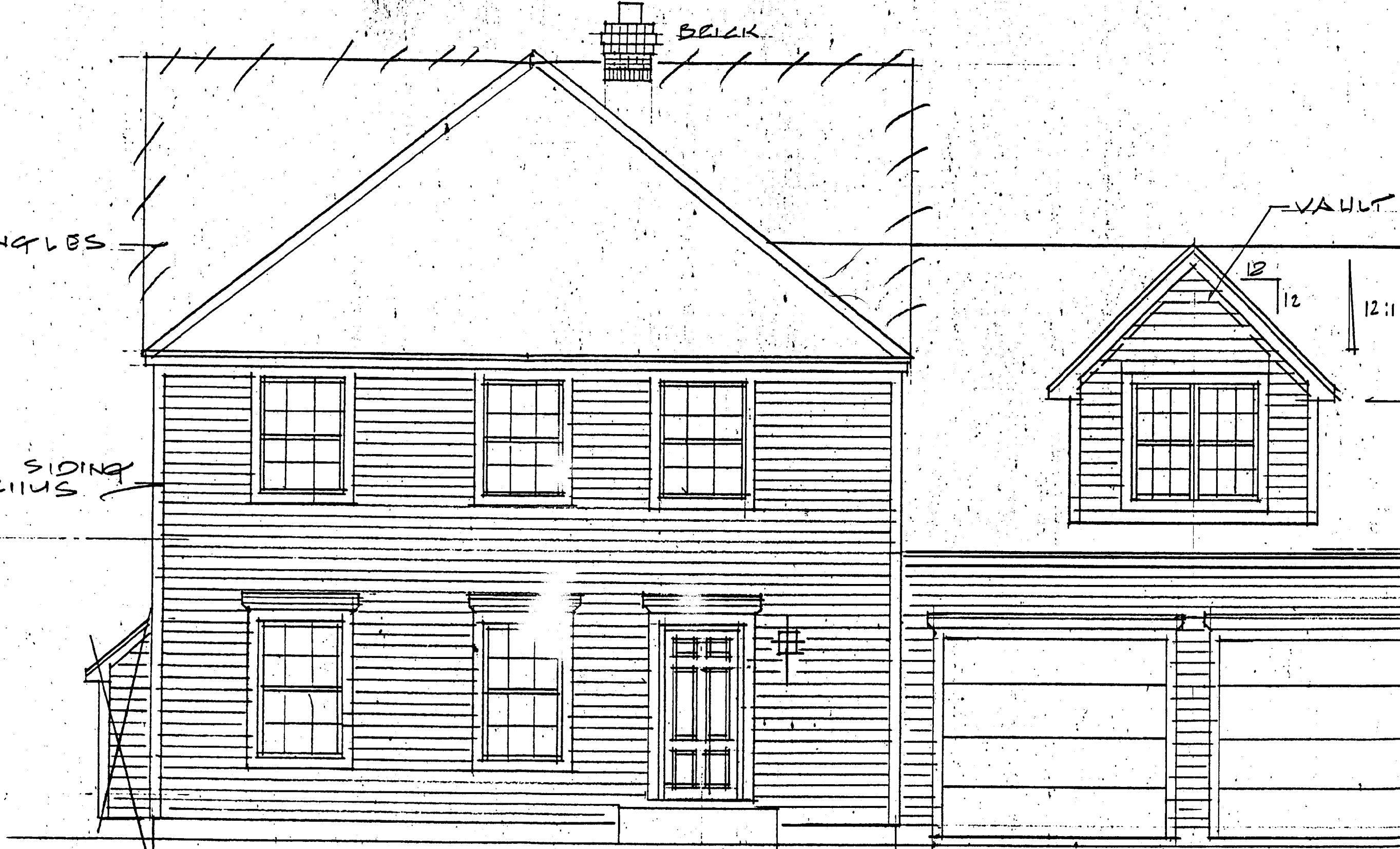
VINYL SIDING  
& TRIMS

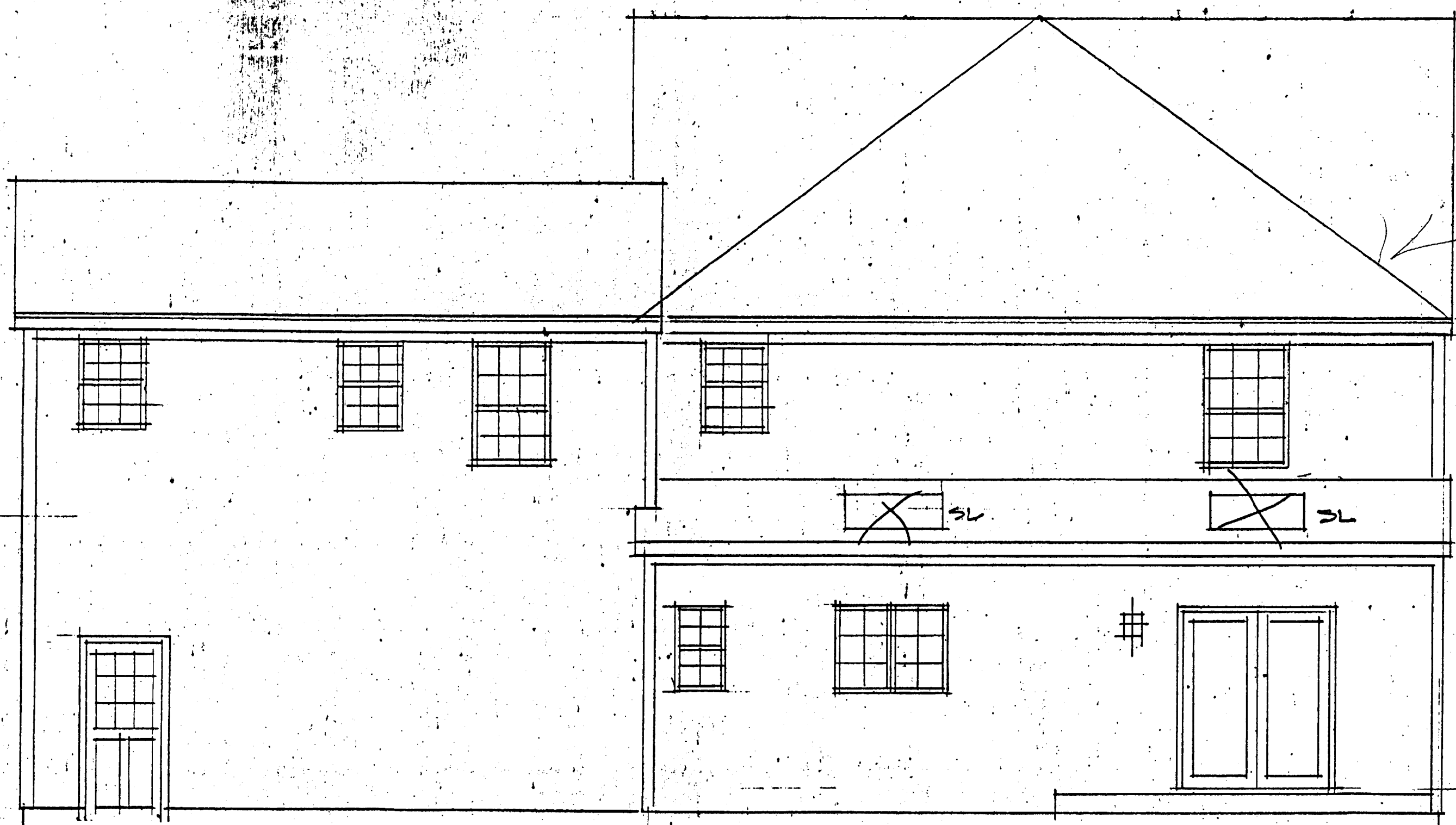
VAULT

12  
12

12:1

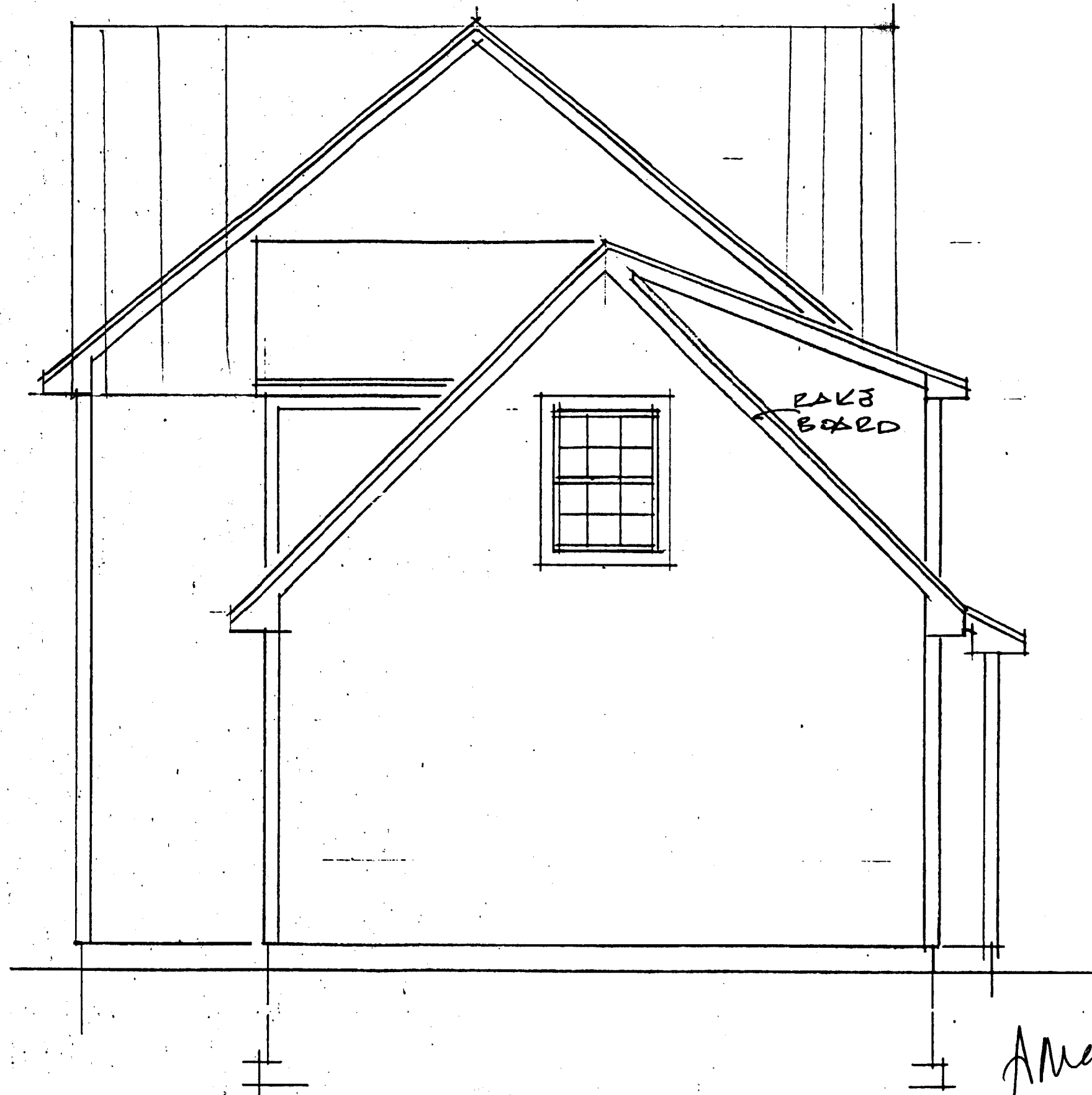
FRONT ELEVATION





REAR ELEVATION





RAV3  
BOARD

RIGHT ELEVATION

*Amendment  
Plans*

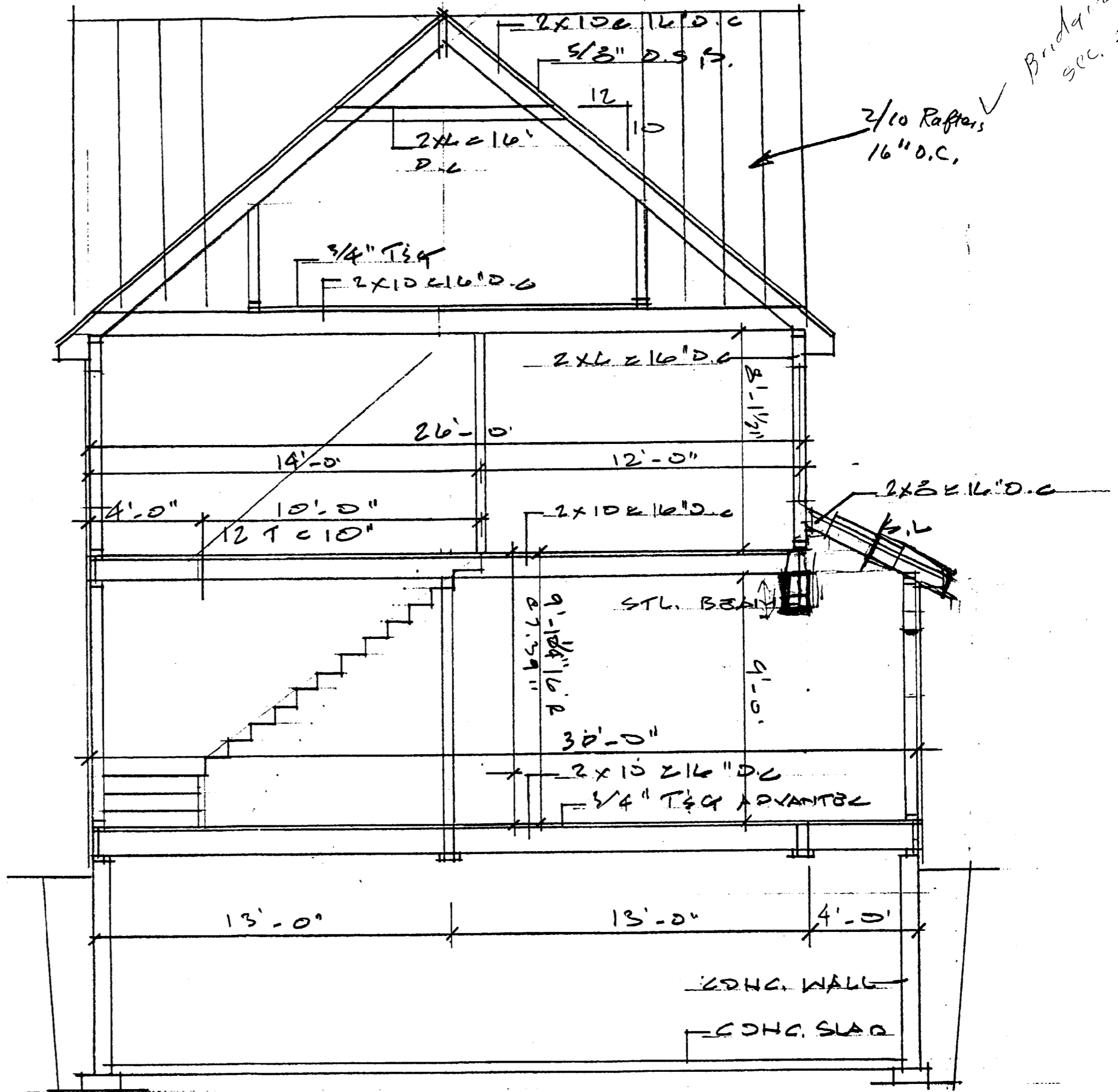
LOT 25 PINES, WYOMING STREET RESIDENCE  
PORTLAND, ME

DESIGNER:  
PLANNING / DESIGN ASSOCIATES  
35 PARTRIDGE ROAD, WINDHAM, ME 892-2640

Date	11.22.01
Scale	1/4"
Drawn	
Job	
Sheet	1
ELEVATIONS	



B' SECTION



Bridging  
sec. 23 @ 5.16

2/10 Rafters  
16" D.C.

2x8 @ 16" D.C.

STL. BEAM

CONG. WALL

CONG. SLAB