



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 88 Kansas Ave CBL# 399-D-011

Issued to Pines of Portland

Date of Issue August 9, 2000

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 000250, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Dwelling  
Use Group R3, Type 5B  
BOCA 99

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

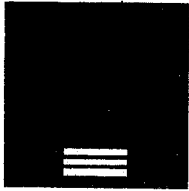
8/9/00

(Date)

*[Handwritten Signature]*  
Inspector

*[Handwritten Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

April 20, 2000

~~404 B 008~~  
399 D 11

Mr. Greg McCormack  
Mulkerin Associates Real Estate  
426 Forest Avenue  
Portland, Maine 04101

**Re: #88 Kansas Avenue (Lot 22) – Revised Grading Plan**

Dear Greg:

This letter is in response to the revised grading plan that you had sent to Steve Bushey of our office. A copy of that revised grading plan is attached. The minor fill changes appear to make sense, and the culvert being added at the driveway will keep the water from being forced onto the roadway. Our office would like to see a minimum of one foot of cover over the culvert. The 15-foot drainage easement in front of lot 22 and lot 21 must be recorded at the registry. The drainage easement shall be granted to lots 23, 22 and 21 prior to a certificate of occupancy being issued for lot 22 or lot 21.

If you have any questions, please do not hesitate to call.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

Gordon Smith  
Director of Construction Services

GLS/sq/JN1350.10/McCormack4-20

Attachment

c: Marge Schmuckal  
Kandi Talbot  
Code Enforcement



# PLUMBING APPLICATION

Department of Human Sciences  
Division of Health Engineering

399011

Town or Plantation: Westland  
 Street Subdivision Lot #: 1-122 Kears Ave  
 Last: Mullin First: Jim  
 Applicant Name: James Bedora  
 Mailing Address of Owner/Applicant (If Different): 28 Temple Hill South

PORTLAND Date Permit issued: 6/16/00 7316 TOWN COPY \$ 84  Double Fee Charged  
 L.P.I. # 0124  
*B. Samuel Huffer* \*  
 Local Plumbing Inspector Signature

### Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit

Signature of Owner/Applicant \_\_\_\_\_ Date \_\_\_\_\_

### Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

*Donald Beckett* Local Plumbing Inspector Signature Date Approved 8/19/00

<b>This Application is for</b> 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	<b>Type of Structure To Be Served:</b> 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	<b>Plumbing To Be Installed By:</b> 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>L26371</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	1	Sink
		Drinking Fountain	3	Wash Basin
<b>OR</b> TRANSFER FEE (\$6.00)		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2	12	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
			12	Fixtures (Subtotal) Column 2
			14	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
			4.60	Permit Fee (Total)

# PLUMBING APPLICATION

Department of Human Sciences  
Division of Health Engineering

*399-D-011*

**PROPERTY ADDRESS**

Town or Plantation: *Portland*

Street Subdivision Lot #: *100 Main St Lot 10*

Last: *Miller* First: *Ann*

Applicant Name: *Ann Miller*

Mailing Address of Owner/Applicant (if different): *20 Taylor Ln South*

PORTLAND Permit Issued: *411100*

7238 \$ *90* TOWN COPY  If Double Fee Charged

Local Plumbing Inspector Signature: *[Signature]*

L.P.I. # *0124*

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: *[Signature]* Date: *4/11/00*

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: *[Signature]* Date Approved: *8/9/00*

**PERMITS TO BE OBTAINED**

<b>This Application is for</b> 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	<b>Type of Structure To Be Served:</b> 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	<b>Plumbing To Be Installed By:</b> 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <i>L2637</i>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.	<i>2</i>	Hosebibb / Sillcock	<i>1</i>	Bathtub (and Shower)
		Floor Drain	<i>2</i>	Shower (Separate)
<b>OR</b>  PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	<i>1</i>	Sink
		Drinking Fountain	<i>3</i>	Wash Basin
<b>OR</b>  TRANSFER FEE [\$6.00]		Indirect Waste	<i>3</i>	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	<i>1</i>	Clothes Washer
<b>SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE</b>		Grease / Oil Separator	<i>1</i>	Dish Washer
		Dental Cuspidor	<i>1</i>	Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2	<i>13</i>	
			<i>2</i>	
			<i>15</i>	<b>Total Fixtures</b>
			<i>90</i>	<b>Fixture Fee</b>
				<b>Transfer Fee</b>
				<b>Hook-Up &amp; Relocation Fee</b>
			<i>90.00</i>	<b>Permit Fee (Total)</b>

COMMENTS

4/19/00 went to site for backfill (w/ D. CADDELL) THERE WERE NO LINES TO CHECK SETBACKS ACCURATELY. FOUNDATION WAS PROPERLY COATED, TILED, FABRIC IN PLACE, AND READY TO BACKFILL. I SPOKE W/ AMY AND GREG ON SITE, AND STATED THAT WE MUST HAVE A LETTER FROM SURVEYOR BEFORE PROCEEDING. LETTER WAS REC'D ON 4/20/00 (J. REED)

- 6/2/00, M. NUGENT, J. BOURKE, S. WENTWORTH, FRAMING ISSUES:
- 1) 1ST FLOOR / FRAMING VARIED FROM APPROVED PLAN. OMITTED CARRIER + POSTS - AMENDMENT W/ CORRECTIONS REQUIRED.
  - 2) FLOOR / CEILING ASSEMBLY - VARIED FROM APPROVED PLAN. OMITTED JOISTS / GIRDER FOR I-JOISTS - AMENDMENT SPECS REQUIRED. (ALL SECS)
  - 3) STAIR TREADS, RISERS + UNIFORMING ISSUES MUST BE CORRECTED
  - 4) CHIMNEY - FLASHING OMITTED IN ATTIC, POOR ON 1ST FLOOR BASEMENT SEPARATION - STRAPPING 2ND FLOOR / ATTIC - 1 1/2" IN. FROM CHIMNEY. NEEDS DOCUMENTATION FROM MASON ON MATERIAL USED.

5) EGRESS WINDOWS 5.8.50 FT. 24" x 35" - SLIGHT WEATHER STRIP

6) JOIST HANGERS MISSING.

PLUMBING / ELECTRICAL NOT READY  
 1 & 2 corrected 6/12  
 3, 4 & 6 corrected 6/20

Type	Inspection Record	PROTRUSION OK THOUGH! Date
Foundation:		
Framing:	NOT OK 6/	6/2/00
Plumbing:		
Final:	8/19/00 VC OK for 6/10/00	
Other:		

ROBERT N. FARTHING  
PROFESSIONAL LAND SURVEYOR

TELEPHONE  
892-2558

# Survey, Inc.

P.O. BOX 210  
NORTH WINDHAM, MAINE 04062

4/20/00

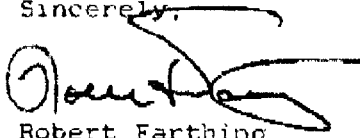
To: A S G Associates  
426 Forest Ave.  
Portland, Maine 04101

Ref: Lot 22 Kansas Ave. Portland

Please be advised that a field check of the foundation on 4/19/00 finds that the foundation meets the setback requirements of the City of Portland.

If you should have further questions as to this project, please call.

Sincerely,



Robert Farthing  
Survey, Inc.

5-31-00

Post-it® Fax Note	7671	Date	4/20/00	# of pages	1
To	John Reed	From	Andy		
Co./Dept		Co.			
Phone #		Phone #	772-2127		
Fax #	874-8716	Fax #			

22 PINES @ KANSAS

Plot Plan Prepared by Greg McCormick

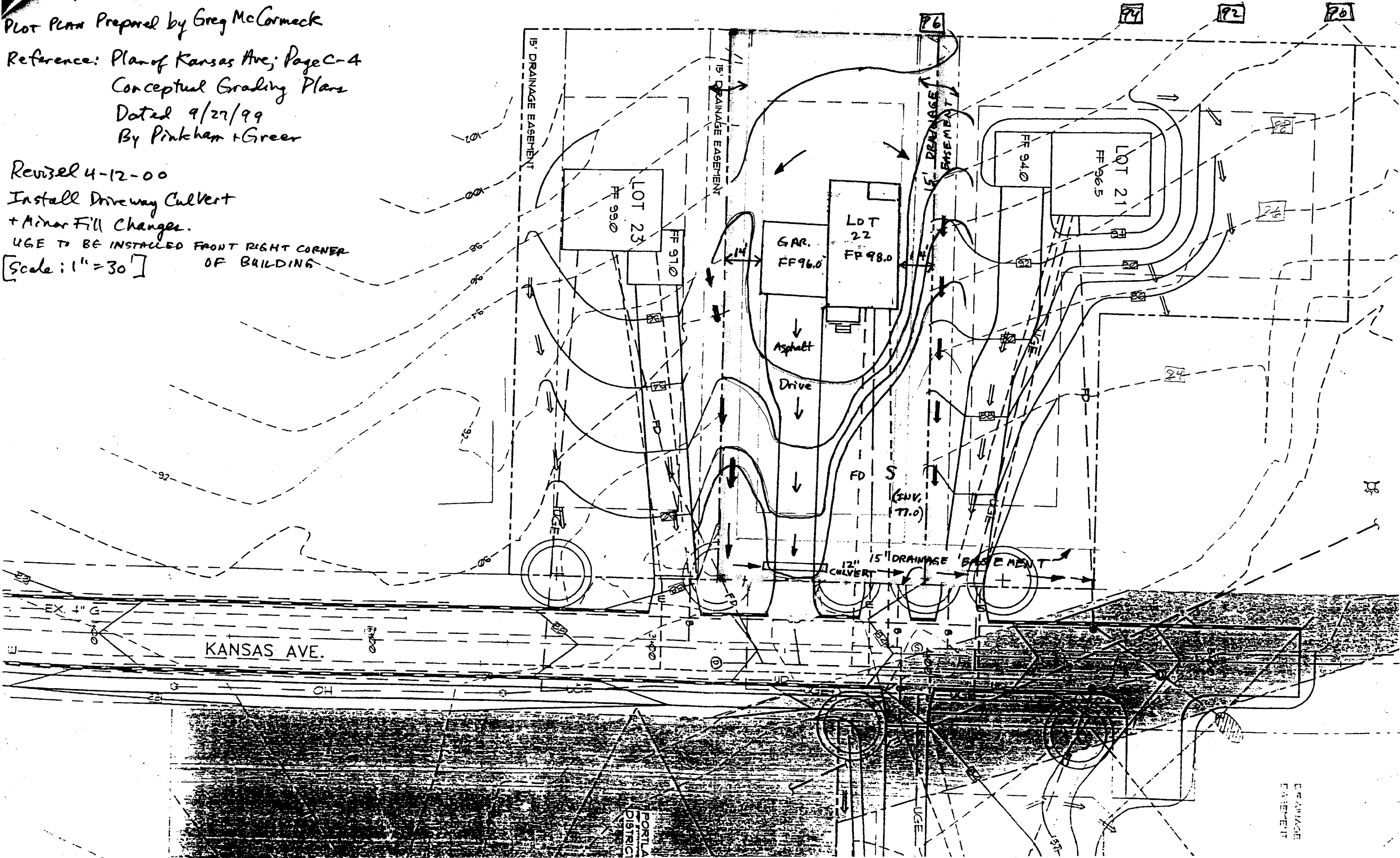
Reference: Plan of Kansas Ave; Page C-4  
Conceptual Grading Plans  
Dated 9/27/99  
By Pinkham + Greer

Revised 4-12-00

Install Driveway Culvert  
+ Minor Fill Changes.

UGE TO BE INSTALLED FRONT RIGHT CORNER  
OF BUILDING

[Scale: 1" = 30']



KANSAS AVE.

PORTIA  
DISTRICT

DRAINAGE  
EASEMENT