

02-0403

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot 23 Pines @ Kansas (82 Kansas Ave)

Total Square Footage of Proposed Structure <u>2200 sq'</u>	Square Footage of Lot <u>15000 sq'</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>399</u> Block# <u>D</u> Lot# <u>8</u>	Owner: <u>Pines of Portland, Inc.</u>	Telephone: <u>7722121</u>
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Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>same</u>	Cost Of Work: \$ <u>4500</u> Fee: \$ <u>58.00</u>
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Current use: vacant lot

If the location is currently vacant, what was prior use: open land.

Approximately how long has it been vacant: unknown

Proposed use: Enlarge 6'x6' porch on front to 7'x26' in size.

Project description: Enlarge front porch to 7'x26' in size.

Contractor's name, address & telephone:

Who should we contact when the permit is ready: Greg McCormack xx

Mailing address: Pine of Portland, Inc. Call xx
426 Forest Ave. Portland

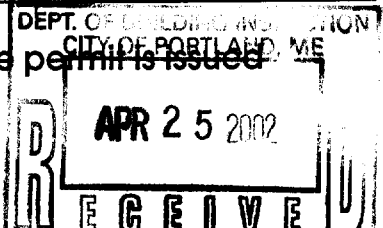
Phone: 7722127

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4/25/02</u>
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This is not a permit, you may not commence ANY work until the permit is issued



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Lot 23

BUILDING INSPECTION

PERMIT

Permit Number: 010770

Please Read Application And Notes, If Any, Attached

This is to certify that Pines Of Portland Inc /Pines of Portland has permission to Build a 2200 SqFt New Single Family Home w/ an Attached Two Car Garage. AT 82 Kansas Ave

PERMIT ISSUED JUL 12 2001 CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is latched or otherwise closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other Department Name

Signature of Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

- Re-Bar Schedule Inspection: Prior to pouring concrete
Foundation Inspection: Prior to placing ANY backfill
Framing/Rough Plumbing: Prior to any insulating or drywalling
Electrical Inspection: 72 hours notice is the minimum required prior to any insulating and drywalling.
Final/Certificate of Occupancy**: Prior to any occupancy of the structure or use. NOTE: There is a \$50 fee per inspection at this point.

**Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

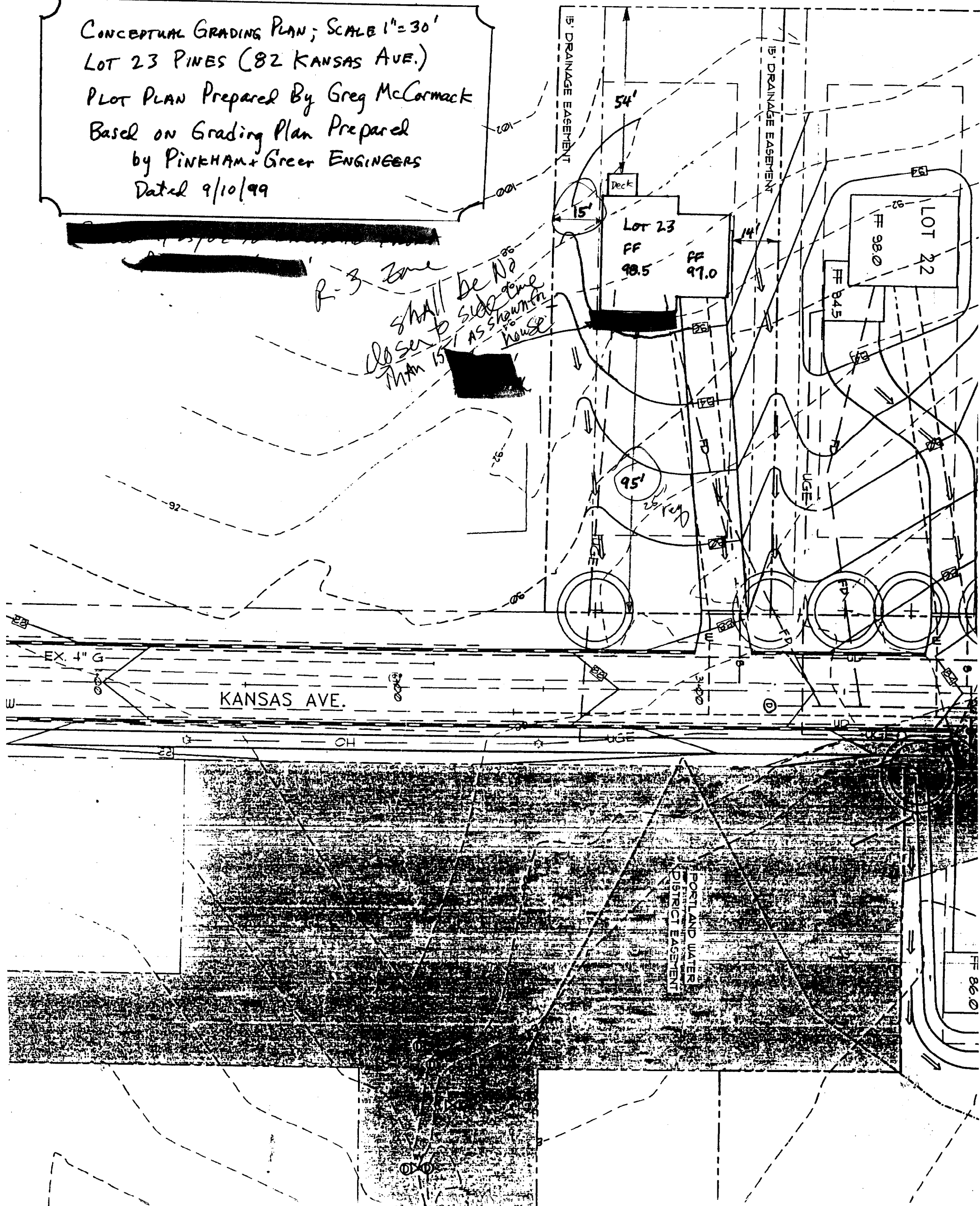
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

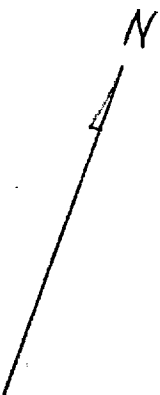
WYOMING AVE.

6/19/01

CONCEPTUAL GRADING PLAN; SCALE 1"=30'
 LOT 23 PINES (82 KANSAS AVE.)
 PLOT PLAN Prepared By Greg McCormack
 Based on Grading Plan Prepared
 by PINKHAM+Greer ENGINEERS
 Dated 9/10/99

R-3 Zone shall be No closer to side of house than 15'



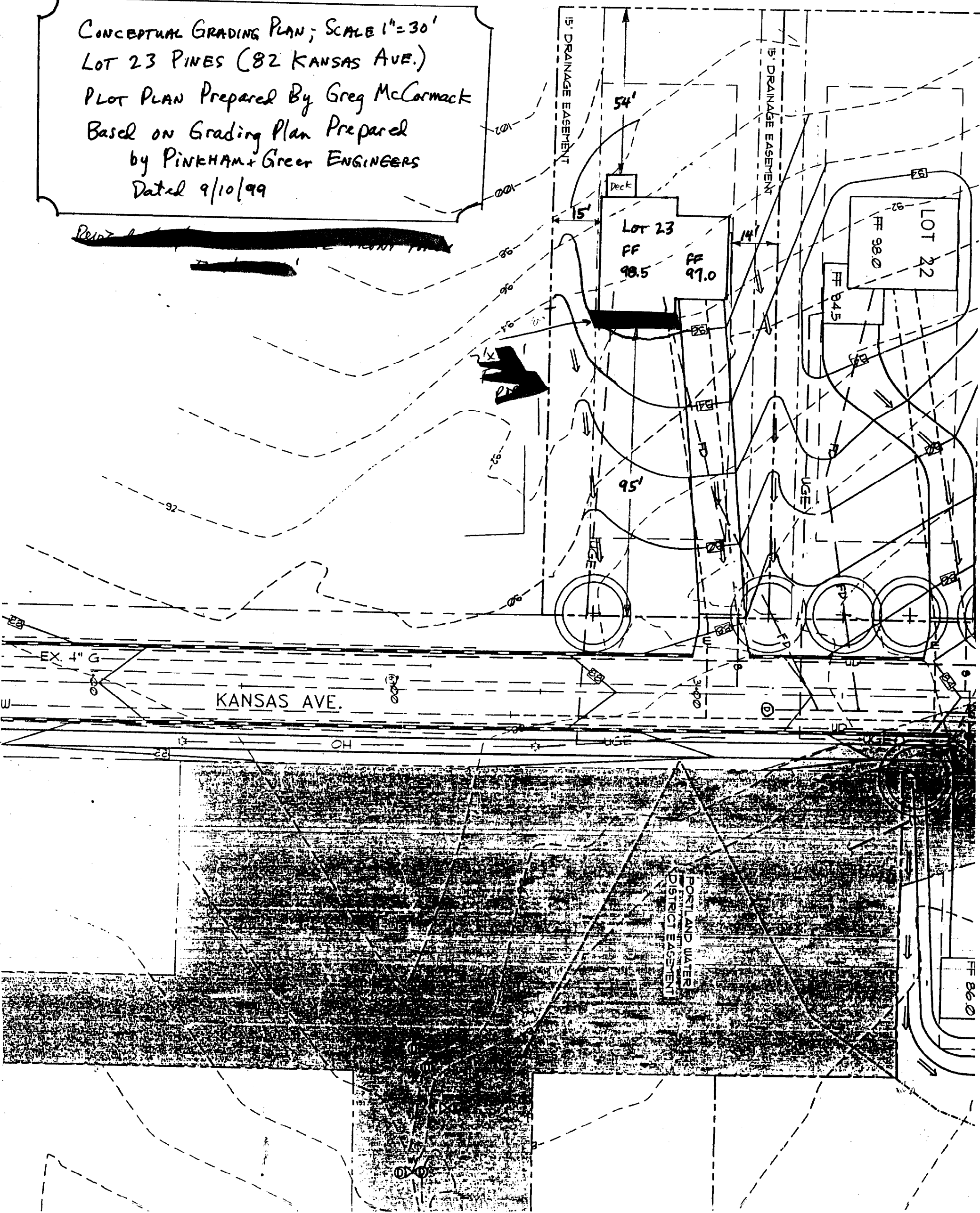


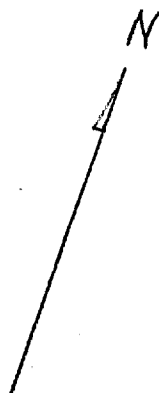
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~~Revised~~

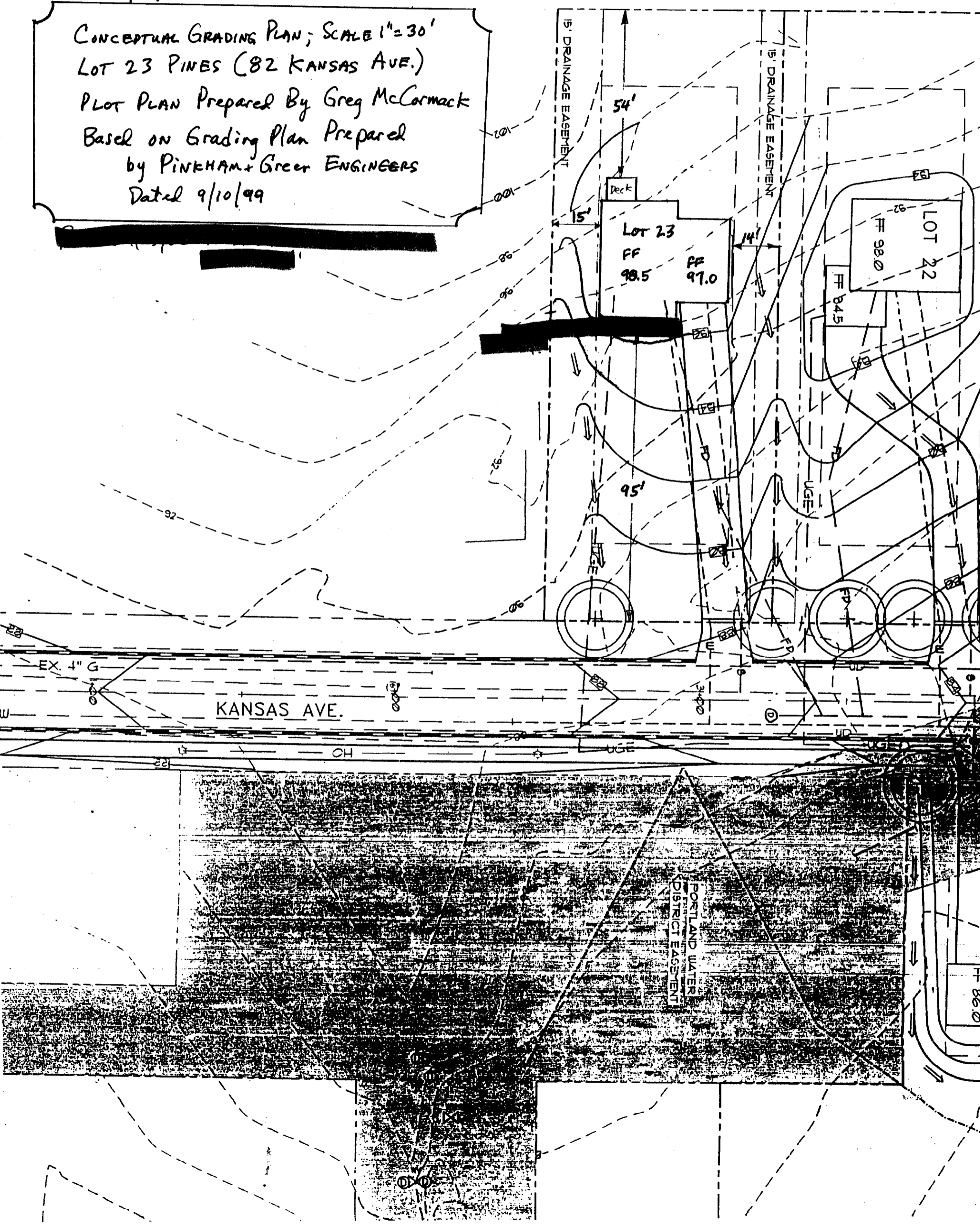


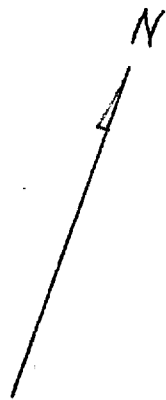


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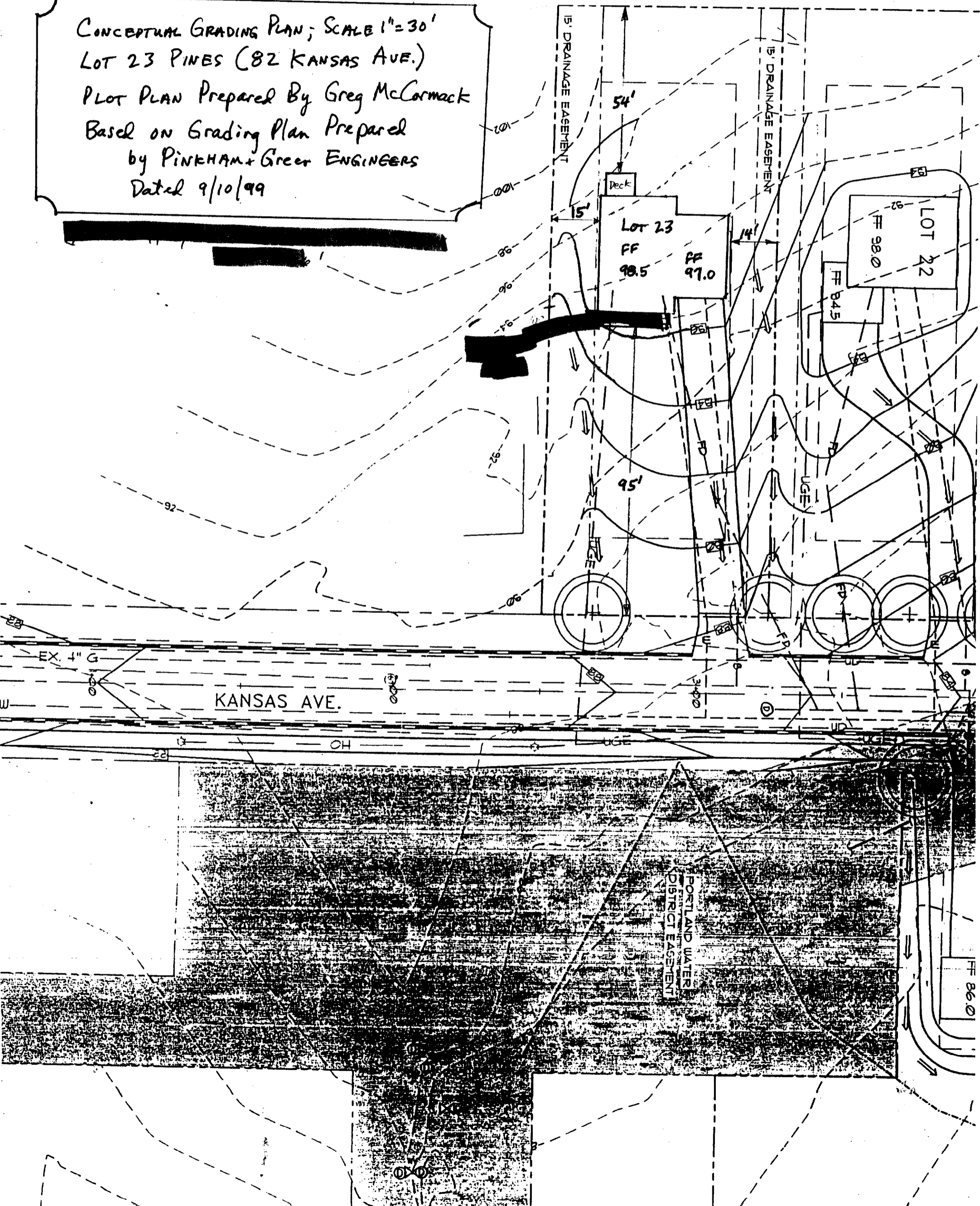




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PORTLAND WATER
 DISTRICT EASEMENT

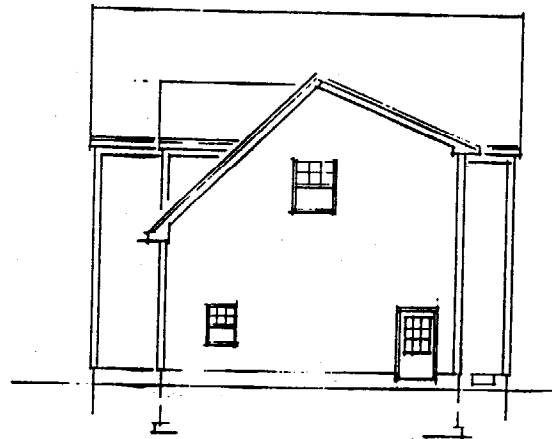
FF 86.0

FRAME SPECIFICATIONS

FLOOR SYSTEM
 JOINTS AS INDICATED
 BRIDGING AT CENTER
 2x6 FT SILL W/ SEALER
 SUBFLOOR AS INDICATED
EXTERIOR WALLS
 2x6 STUDS AS INDICATED
 SHEATHING AS INDICATED
 AIR INFILTRATION WRAP
 VAPOR BARRIER
 SIDING/FINISH AS INDICATED
INTERIOR WALLS
 2x4 STUDS AT 16" OC
 GYPBOARD AS INDICATED
ROOF SYSTEM
 RAFTERS/TRUSSES AS INDICATED
 SHEATHING AS INDICATED
 1/2" UNDERLAYMENT
 ICE SHIELD AT EAVES/VALLEYS
 23x34 SHINGLES AS INDICATED
INSULATION
 EXTERIOR WALLS-R19
 ATTIC CAP-R13
 SILLS-R19
 FROST WALL-3" RIGID
VENTILATION
 SOFFIT-1" CONT. STRIP
 RIDGES-CONT. SHINGLE
 CIRCULATION VENTS BETWEEN
 RAFTERS/TRUSSES
BEAMS/HEADERS
 2-2x6 MAX. 40' SPAN
 2-2x8 MAX. 80' SPAN
 BEAMS AS INDICATED
 MIN 4" BEARING ALL BEAMS
INTERIOR FINISHES
 1/2" GYPBOARD OR AS
 INDICATED-WALLS/CEILING
 FLOORING AS INDICATED
 PAINT/STAIN AS INDICATED

FOUNDATION SPECIFICATIONS

CONCRETE WALLS AS INDICATED ON CONT.
 KEVED FOOTING
 ANCHORS AT CORNERS AND 4' OC
 CONCRETE-2500 PSI AT FOOTINGS
 3000 PSI AT WALLS
 SOIL BEARING-2500 PSF
 ALL FOOTINGS TO FROST DEPTH
 3 1/2" STEEL LALLY COLLARS
 ON 24"x24"x12" FOOTINGS
 4" CONCRETE SLAB ON 6 MIL VAPOR
 BARRIER ON 8" MIN. GRAN. FILL
 4" DIA. PERFORATED UNDERDRAIN PIPES
 BOTH SIDES OF WALL TO SUMP OR
 DAYLIGHT GRAVITY
 4" DIA. PERFORATED RADON PIPES UNDER
 SLAB AT 20" MAX. OC. CONNECT TO
 UNDERDRAINS. PROVIDE STUBS AT 40"
 MAX. OC
 CONTROL JOINTS AT MAX. 30' OC WALLS
 AND SLABS
 ASPHALT PAINT EXTERIOR WALLS TO
 GRADE

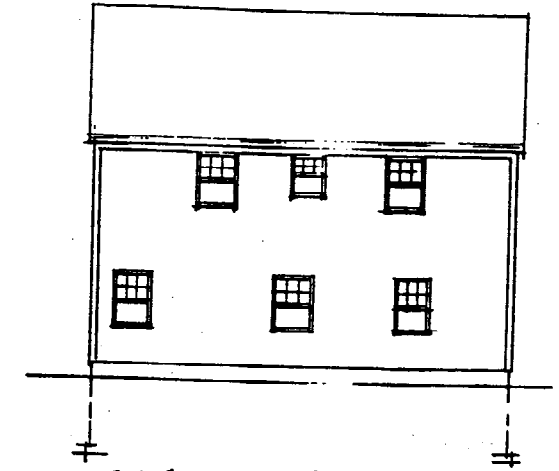


RIGHT ELEVATION

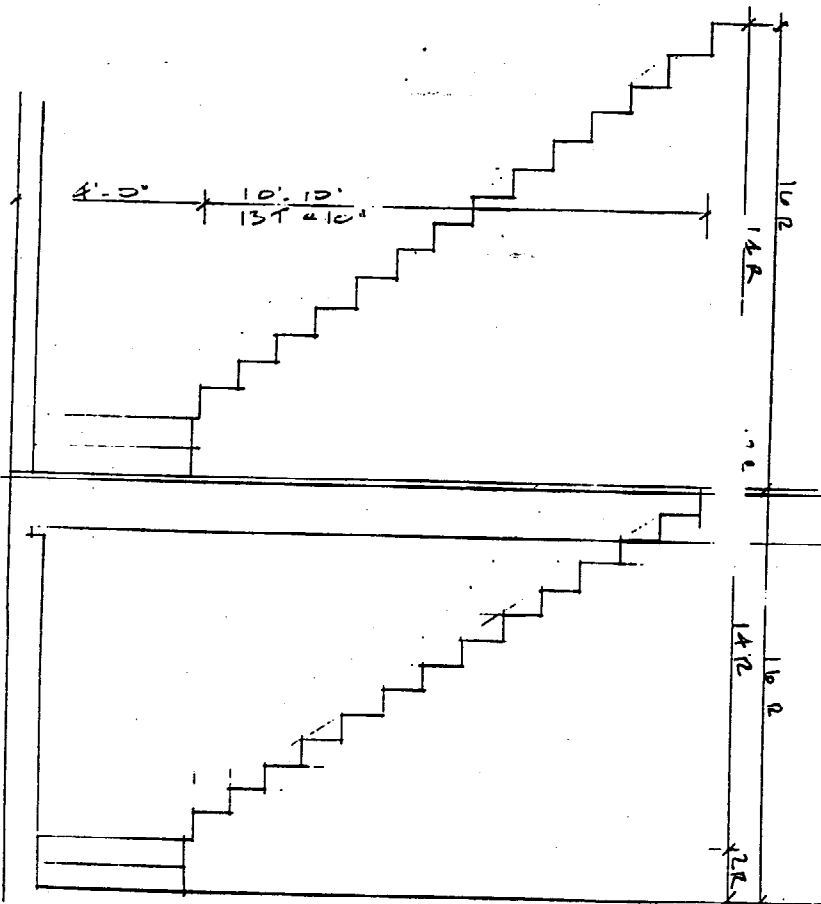


REAR ELEVATION

8'x12'
Pit. Deck



LEFT ELEVATION



STAIR LAYOUT



FRONT ELEVATION

removed see
fax 7/11/01

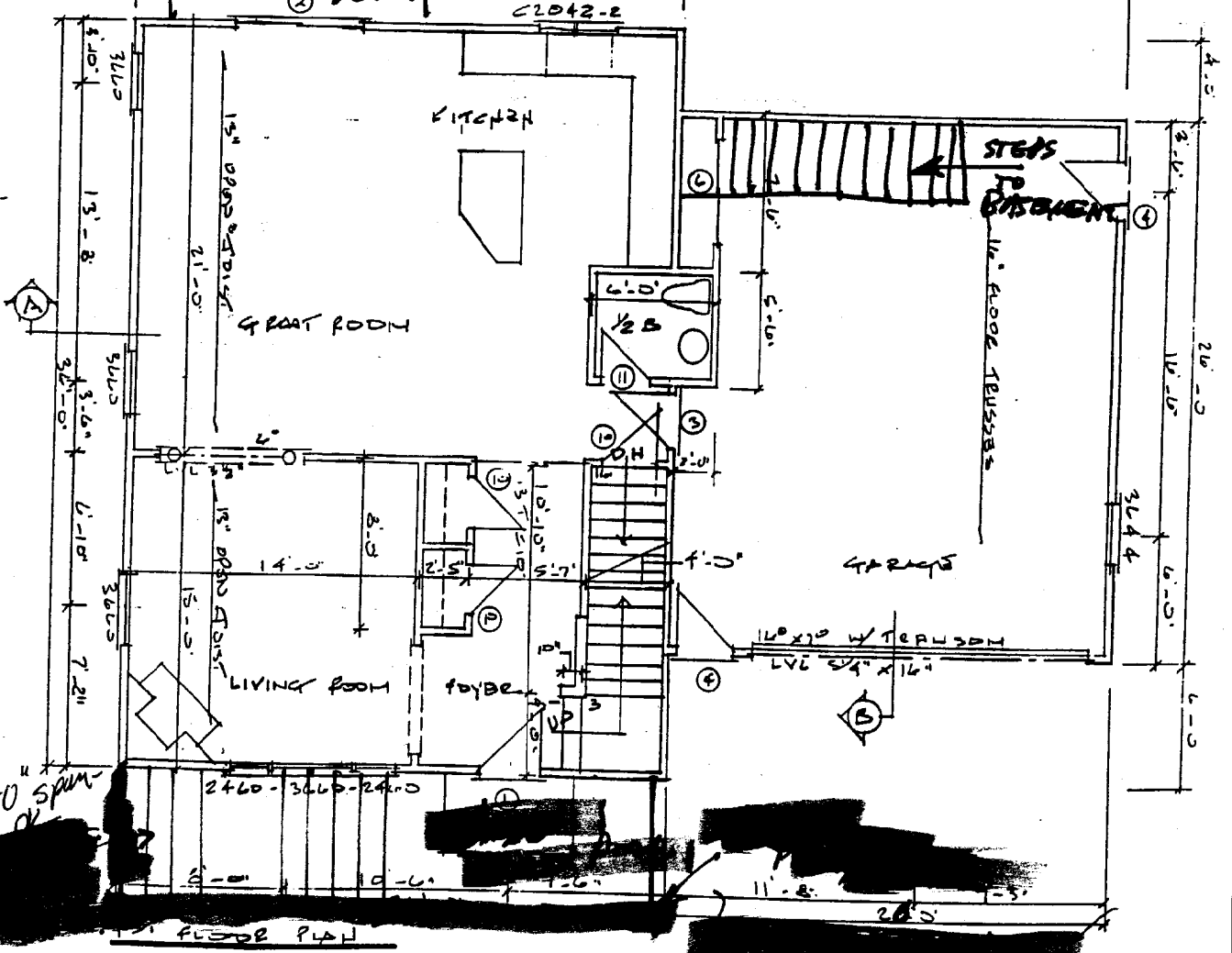
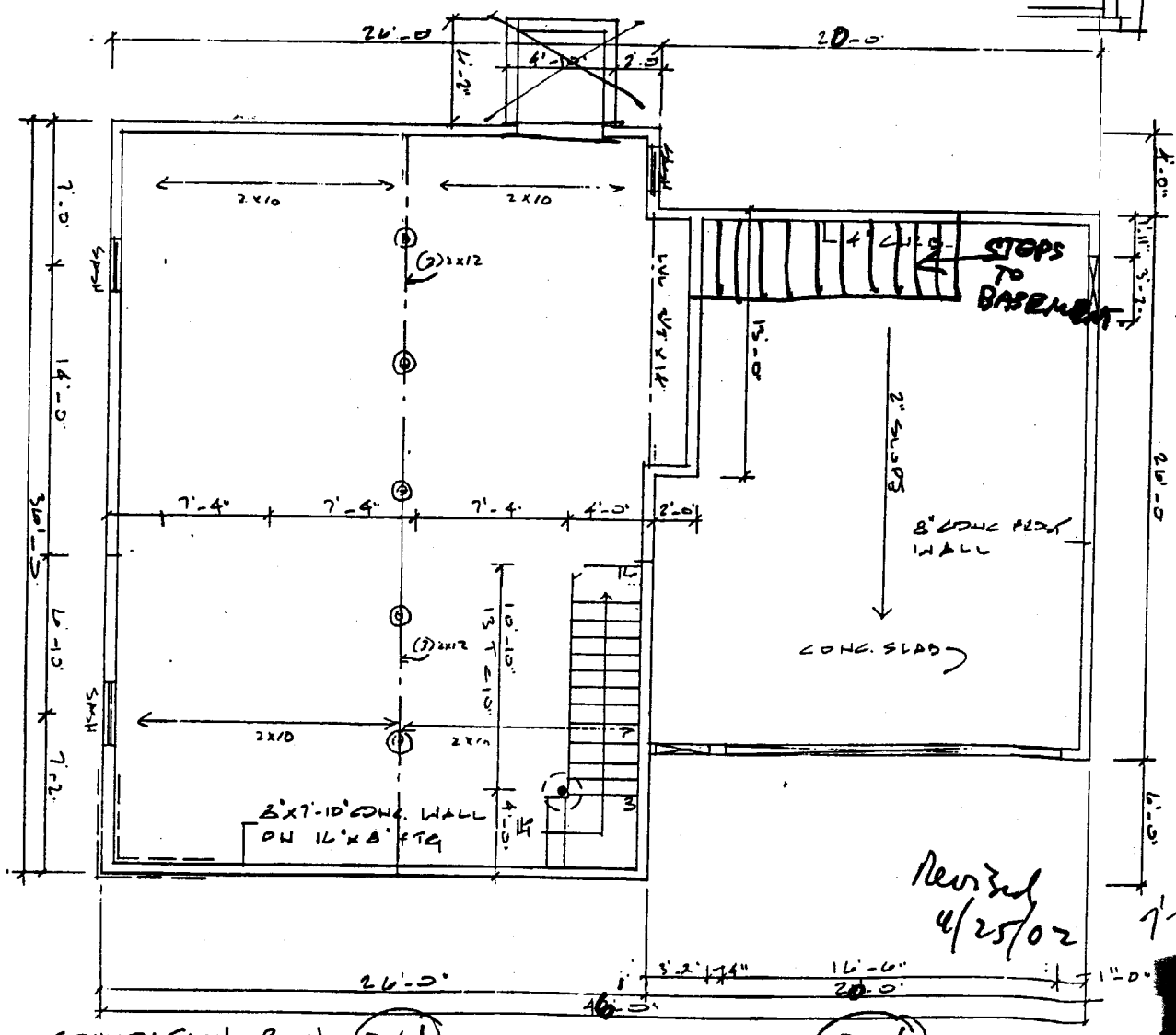
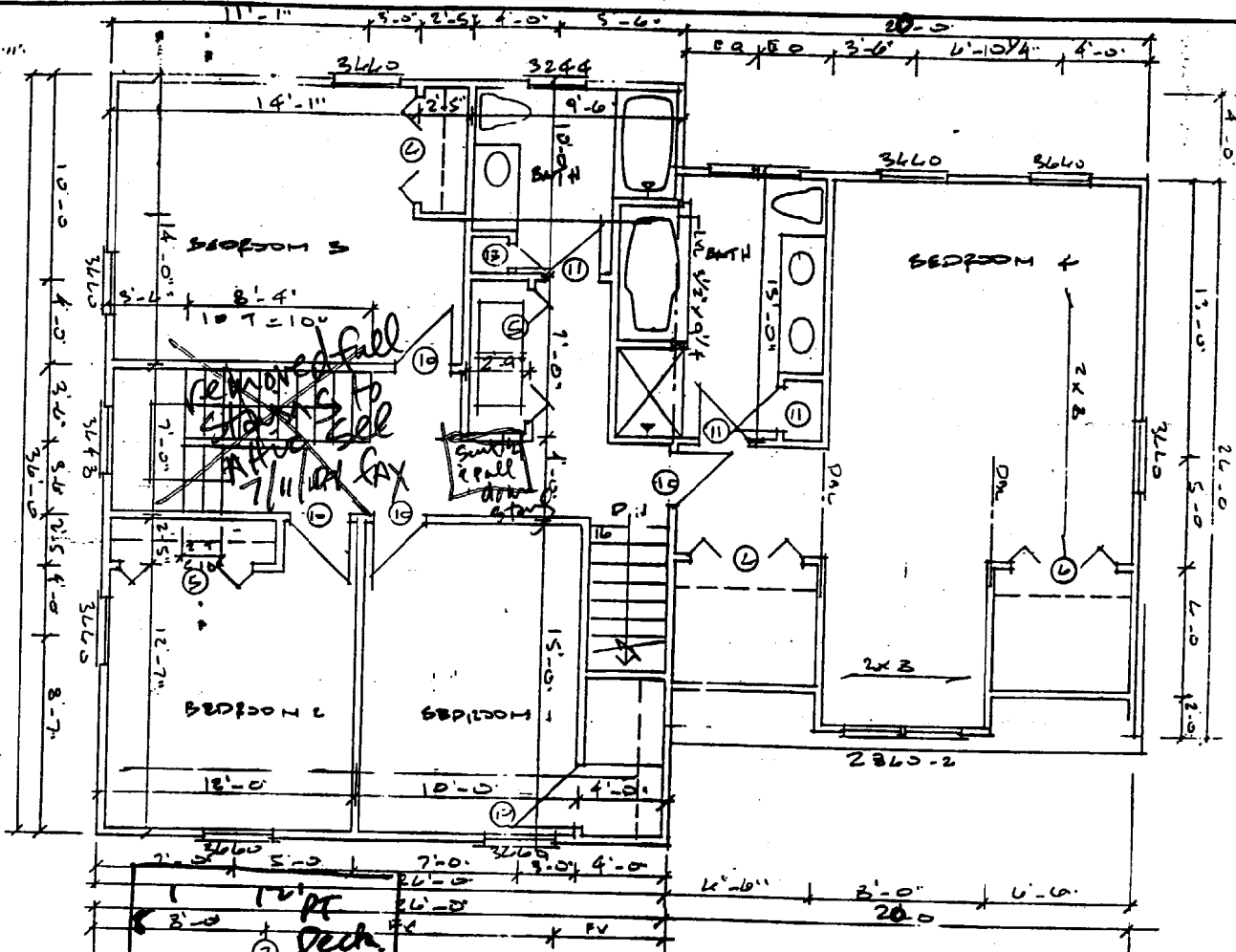
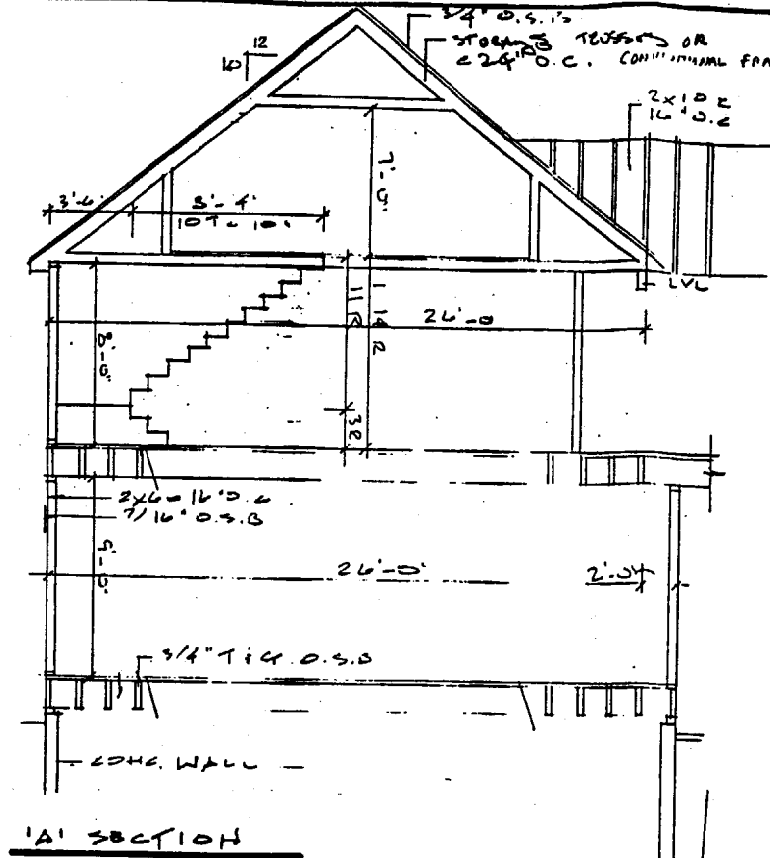
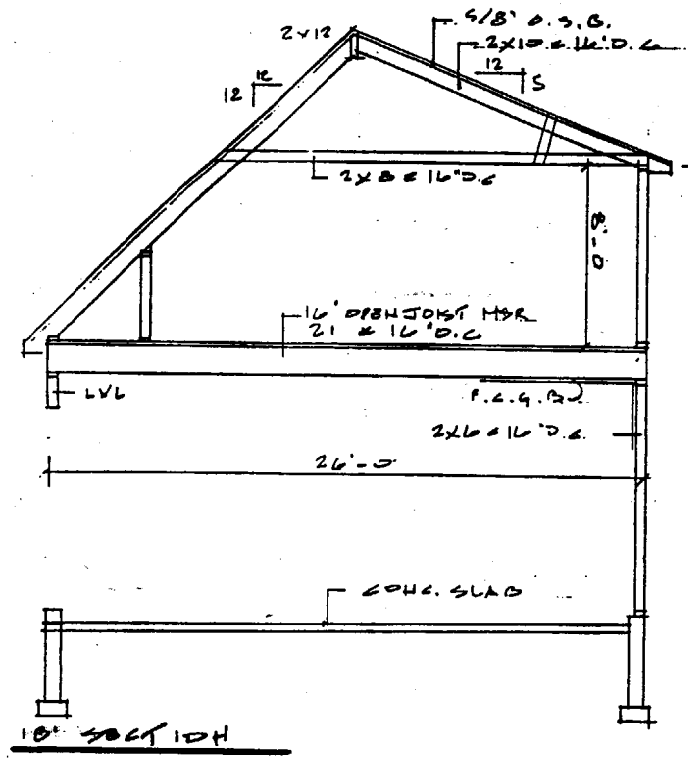
NOT A habitable
area

Revised 4/25/02

Plans reviewed
on large plans

LOT 23 PINES RESIDENCE, PORTLAND, ME
 CONTRACTOR: GREG MCCORMACK
 DESIGNER: PLANNING/DESIGN ASSOCIATES
 25 PARTRIDGE ROAD, PO BOX 351, WINDHAM, ME 04092 (973) 344-

Date 5.20.02
 Scale 1/4" = 1'-0"
 Drawn
 Job
 Sheet 1
 ELEVATIONS



DOOR SCHEDULE

- 1 30" X 68" EXTERIOR
- 2 60" X 68" EXTERIOR
- 3 28" X 68" FIRE RATED
- 4 28" X 68" EXTERIOR
- 5 60" X 68" INTERIOR
- 6 50" X 68" INTERIOR
- 7 40" X 68" INTERIOR
- 8 30" X 68" INTERIOR
- 9 28" X 68" INTERIOR
- 10 26" X 68" INTERIOR
- 11 24" X 68" INTERIOR
- 12 20" X 68" INTERIOR
- 13 16" X 68" INTERIOR
- 14 13" X 68" INTERIOR
- 15 10" X 68" INTERIOR

36'

26'

20'

Revised
4/25/02

LOT 23 PINES RESIDENCE, PORTLAND, ME
 CONTRACTOR: GREG MCCORMACK
 DESIGNER: PLANNING / DESIGN ASSOCIATES
 27 FATHURLE ROAD, PO BOX 251, WINDHAM, ME 04093

Date 5-25-01
 Scale 1/4"
 Draw
 Job
 Sheet 2
 P1113