

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Insp Copy

2001-0163

Application I. D. Number

06/28/2001

Application Date

Kansas Ave. Lot# 23

Project Name/Description

Pines of Portland

Applicant

426 Forest Ave, Portland, ME 04102

Applicant's Mailing Address

82 - 82 Kansas Ave, Portland, Maine

Address of Proposed Site

399 D008001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 772-2127 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) w/ a/ Two Car Garage

2200 SqFt

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other | |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date: _____

Insp Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions See Attached Denied

Approval Date 07/11/2001 Approval Expiration 07/11/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Marge Schmuckal signature 07/11/2001 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

BUILDING PERMIT REPORT

DATE: July 2001 ADDRESS: 82 Kansas Ave. (G#2) CBL: 399-D-008

REASON FOR PERMIT: To Construct a Single Family dwelling / attached private garage.

BUILDING OWNER: Prins of Portland Inc

PERMIT APPLICANT: _____ / CONTRACTOR Prins of Portland

USE GROUP R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 130,000 PERMIT FEES: 804.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

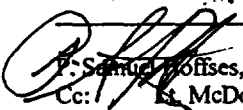
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5, *8, *11, *13, *16, *20, *22, *28, *29, *30, *31, *33, *35, *36, *38, *32

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
- *13. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- *16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

G/24

- *20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *29. All requirements must be met before a final Certificate of Occupancy is issued.
- *30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review shall be met*
- *33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *Sheet*
- *34. Bridging shall comply with Section 2305.16.
- *35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- *38. *Roofing shall comply with section 1505.0*



P. Samuel Proffices, Building Inspector
 Cc: K. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0163

Application I. D. Number

06/26/2001

Application Date

Kansas Ave. Lot# 23

Project Name/Description

Pines of Portland

Applicant

426 Forest Ave, Portland, ME 04102

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-2127

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

82 - 82 Kansas Ave, Portland, Maine

Address of Proposed Site

399 D008001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 Per the fax received from Greg McCormack, the stairway to the third floor is being removed and replaced with a scuttle with pull-down stairs. The attic area is NOT to be habitated.
- 4 NO DAYLIGHT BASEMENT is shown on any plans and none is being approved.

Approval Conditions of DRC

- 1 A CLEANOUT MUST BE INSTALLED ON THE SANITARY SEWER LEAD. PER CITY STANDARDS, A CLEANOUT IS REQUIRED WITHIN 80 FEET OF THE CONNECTION AT THE MAIN.
- 2 SILT FENCE SHALL BE INSTALLED ALONG THE ENTIRE FRONTAGE OF THE PROPERTY (EXCEPT WHERE THE ENTRANCE TO SITE IS ESTABLISHED).
- 3 ANY CHANGES IN ELEVATIONS ALWAYS REQUIRES RESUBMITTAL/REVIEW/APPROVAL. DRIVEWAY CONSTRUCTION WILL CONFORM TO THE CITY OF PORTLAND TECHNICAL STANDARDS (CONCERNING GRADE %).
- 4 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 5 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 6 Your new street address is now 82 Kansas Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
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- 10 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 11 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
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- 14 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

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DRC Copy**

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2200 SqFt
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
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Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status: Reviewer Jay Reynolds

Approved **Approved w/Conditions** See Attached Denied

Approval Date 07/11/2001 Approval Expiration 07/11/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 07/11/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
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**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$130,000.00 Plan Review # _____

Fee: \$804.00 Date: 1 July 2001

Building Location: 82 Kansas Ave. CBL: 399-D-008

Building Description: Single family dwelling/attached private garage

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

Numerals indicated in parenthesis are applicable code sections of the 1999 Edition of the BOCA National Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections with due regard for the amount and type of detailed information which is typically found on construction documents for one and two family dwellings. It does not reference all code provisions, which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgment in evaluating construction documents for code compliance.

***NR: Not Required NA: Not Applicable SR: See Report X: OK per plan**

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	Before placing concrete for foundation, you shall call this office for a setback inspection.	111.0
3.	Foundation drains shall comply with section 1813.5.2	1813.5.2
4.	Foundation anchor shall comply with section 2305.12	2305.12
5.	Waterproofing & dampproofing shall comply with section 1813.4	1813.4
6.	Private garages shall comply with section 407.0	407.0
7.	Chimneys & vents shall comply with NFPA 211	NFPA 211
8.	Guardrails & handrails shall comply with sec. 1021.0 & 1022.0	1021.0 1022.0
9.	Stair Const. shall comply with section 1014.0	1014.0
10.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
11.	Smoke detectors shall comply with section 920.3.2	920.3.2
12.	Ventilation and access to crawl spaces & attic spaces shall comply with sections 1210 & 1211.0	1210.0 1211.0
13.	Bldg. Element Fastener schedule shall comply with Table 2305.2	Table 2305.2

REV: FSB 6/16/01

Foundations (Chapter 18)

Wood Foundation (1808)

NO Design
NO Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NO Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
NO Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
NO Anchorage bolting in concrete (2305.17)
X Columns (1912)
NO Crawl space (1210.2) Ventilation
NO Crawl opening size (1210.2.1)
NO Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~X~~ Bridging (2305.16)
- ~~SN~~ Boring and notching (2305.5.1)
- ~~SN~~ Cutting and notching (2305.3)
- ~~SN~~ Fastening table (2305.2)
- ~~X~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~U~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SN~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SN~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SN~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NR~~ Metal construction
- ~~NR~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NR~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- Roof rafters - Design (2305.15) spans
- Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- Roof trusses (2313.3.1)

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Roof Coverings (Chapter 15)

- Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- Roof structures (1510.0)
- Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- Masonry (1206.0)
- Factory - built (1205.0)
- Masonry fireplaces (1404)
- Factory - built fireplace (1403)
- NFPA 211

**Mechanical
1993 BOCA Mechanical Code**

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MULKERIN ASSOCIATES
REAL ESTATE

FAX COVER SHEET

Date: ~~2/1/02~~ 10/17/02

Total Pages: 2

To: ~~John Reed~~ JODINE /ARTHUR ROWE.

Company Fax #:

From: Greg Mc Cormack

Subject: 82 Kansas Ave Beam Spec
Enclosed for Your File

G.M.C.

CALL US AT 772-2127 IF THERE ARE ANY PROBLEMS.

10-2000 10:05

WOOD STRUCTURES INC.

207 282 2423 P.03/03

BOISE CASCADE - BC CALC™ 99 DESIGN REPORT

Tuesday, January 18, 2000 09:42

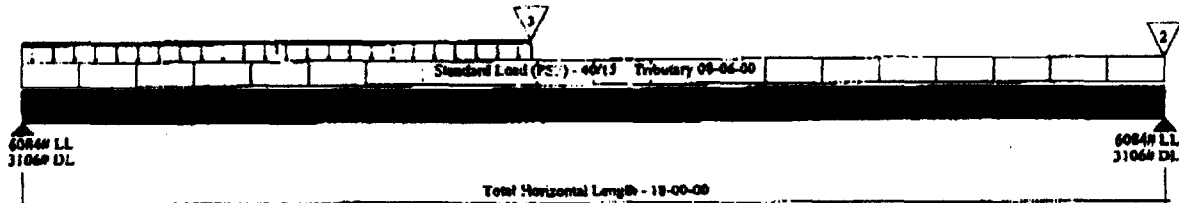


SINGLE - 5 1/4" x 16" V-L DF 2800

Job Name - A & G ASSOCIATES
 Address -
 City, State, Zip -
 Code Reports - NER 442

File Name: Untitled
 Customer - CHICK LUMBER
 Specifier - JIM PURCELL
 Designer - TIM PUSHARD
 Company - Wood Structures Inc.
 Misc. - BEAM IN 2ND FLOOR ABOVE KITCHEN/GREA

Member Diagram



General Data		Load Summary									
Base Unit	Feet/Inches	ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
Member Type:	- Floor Beam	S	Standard	Unf.Area Load	Left	00-00-00	18-00-00	40	15	08-06-00	100
Number of Spans	- 1	1	INT BEARING WALL/R	Unf.Lin. Load	Left	00-00-00	08-00-00	336	198	n/a	100
Left Cantilever	- No	2	3-2X12 HEADER REAC	Conc.Pt. Load	Left	18-00-00	18-00-00	1880	980	n/a	115
Right Cantilever	- No	3	3-2X12 HEADER REAC	Conc.Pt. Load	Left	08-00-00	08-00-00	1880	980	n/a	115
Slope (in/ft)	- 0.00	Controls Summary									
Tributary (ft)	- 08-06-00	Control Type	Value	% Allowable	Duration	Loadcase	Span Location				
Repetitive	- n/a	Moment	40842 R-lbs	70.2%	@ 115%	3	1 - Internal				
Construction Type	- n/a	End Shear	8895 lbs	43.2%	@ 100%	2	1 - Left				
Live Load (psf)	- 40	Total Def.	L/348 (0.82")	88.9%		3	1				
Dead Load (psf)	- 15	Live Def.	L/523 (0.412in)	88.7%		3	1				
Partition Load (psf)	- 0	NOTES:									
Duration (%)	- 100	Design meets Code minimum (L/240) Total load deflection criteria.									
Disclosure		Design meets Code minimum (L/360) Live load deflection criteria.									
The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation. BCB® and Versa-Lam® are registered trademarks of Boise Cascade Corp.		Minimum End bearing length is 1.75 in.									

5 1/4" x 16" - 18'

Nothing: SLW MATT

10/21/02