TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: October 4, 2002

RE: C. of O. for 82 Kansas Avenue
(399-D-008) (2001-0163)

After visiting 82 Kansas, I have the following comments:

Site work complete.

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

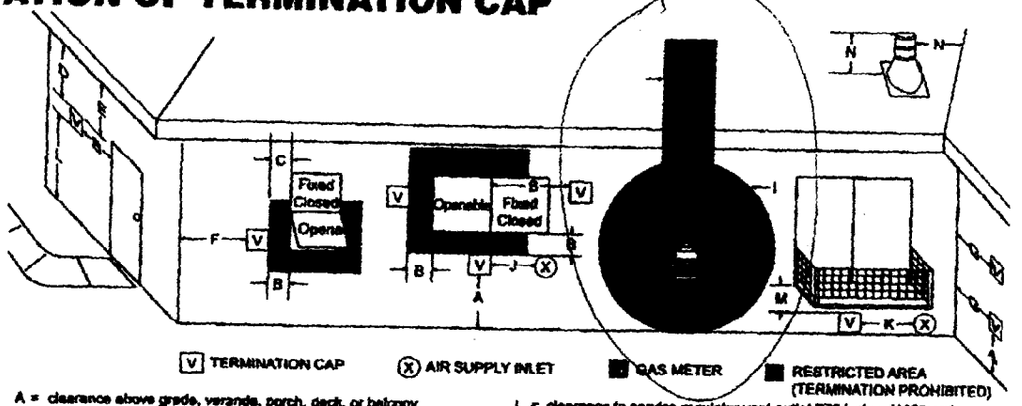
Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Michael Nugent, Inspection Services Manager

File: O:\drc\82kansas1.doc

Jodine, I said 12, put it in only 6' to a gas meter. Sorry. Bill

LOCATION OF TERMINATION CAP



A = clearance above grade, veranda, porch, deck, or balcony [*12 inches (305mm) minimum]
B = clearance to window or door that may be opened [12 inches (305mm) minimum]
C = clearance to permanently closed window [minimum 12 inches (305mm) recommended to prevent condensation on window]
D = vertical clearance to ventilated soffit located above the terminal within a horizontal distance of 24 inches (610mm) from the center-line of the terminal [18 inches (457mm) minimum]
E = clearance to unventilated soffit [12 inches (305mm) minimum]
F = clearance to outside corner (see below)
G = clearance to inside corner (see below)
H = *not to be installed above a meter/regulator assembly within 36 inches (914mm) horizontally from the center-line of the regulator vent shall not terminate directly above a side-walk or paved driveway which is located between two single family dwellings and serves both dwellings*
only permitted if veranda, porch, deck or balcony is fully open on a minimum of 2 sides beneath the floor*
* as specified in CAN/SGA B149 (.1 or .2) Installation Codes (1991) for Canada or for U.S.A. installation follow the current *National Fuel Gas Code, ANS Z223.1*
Note: Local codes or regulations may require different clearances

I = clearance to service regulator vent outlet [*72 inches (1829mm) minimum]
J = clearance to non-mechanical air supply inlet to building or the combustion air inlet to any other fireplace [*12 inches (305mm) minimum]
K = clearance to a mechanical air supply inlet [*72 inches (1829mm) minimum]
L = clearance above paved side-walk or a paved driveway located on public property [*84 inches (2133mm) minimum]
M = clearance under veranda, porch, deck [*12 inches (305mm) minimum]
N = clearance above a roof shall extend a minimum of 24 inches (610mm) above the highest point when it passes through the roof surface and any other obstruction within a horizontal distance of 18 inches (457mm)

Termination Clearances for Buildings with Combustible and Noncombustible Exteriors

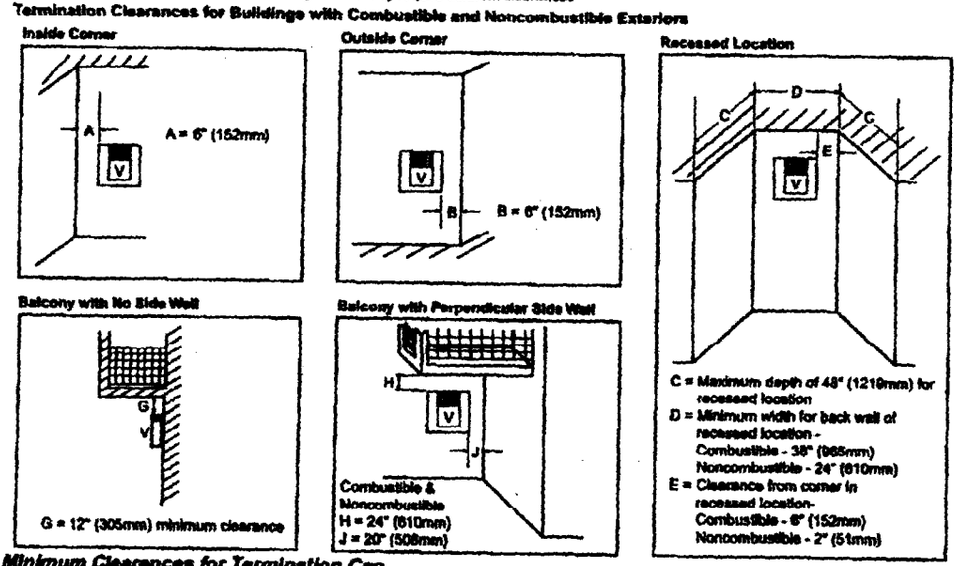


Figure 7 - Minimum Clearances for Termination Cap

Builders Insulation

Fax Transmission

☐ Please call to confirm receipt

☐ Please respond by return fax

☒ Call only if transmission is incomplete

Date: 10/16/02

To:
ATTN: Jodine

Fax number: 874-8716

From: Builders Insulation of Maine, Inc.

Our phone: (207) 878-6600
Our fax: (207) 878-6611

# of pages including cover page: 2

MESSAGE:

Jodine,

Here are the vent specs for our fireplace.

Bill

01-0770

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: Lot 23 Pines @ Kansas (82 Kansas Ave)		
Total Square Footage of Proposed Structure: 2200 ft²	Square Footage of Lot: 15000 ft²	
Tax Assessor's Chart, Block & Lot Number Chart# 399 Block# D Lot# 8	Owner: Pines of Portland, Inc.	Telephone#: 772-2127
Lessee/Buyer's Name (If Applicable): N/A	Owner's/Purchaser/Lessee Address: same	Cost Of Work: $ 130,000 Fee: $ 804 300

Current use: vacant lot. Proposed use: single family residence

Total 1,104.

Project description: Construction of single family residence with attached two car garage

Contractor's Name, Address & Telephone: same. 426 Forest Ave Portland 04101

Rec'd By: 6/26/01

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:

4 copies of the site/plot plan
1 copy of the building/construction plan on 32" x 48"
1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17"

On all commercial permits the following must be submitted:

1 copy of the site/plot plan
1 copy of the building/construction plan on 32" x 48"
1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the

MULKERIN ASSOCIATES
REAL ESTATE

FAX COVER SHEET

Date: 4/24/02

Total Pages: 3

To: Tom Markley / Arthur Rowe

Company Fax #:

From: Greg McCormack

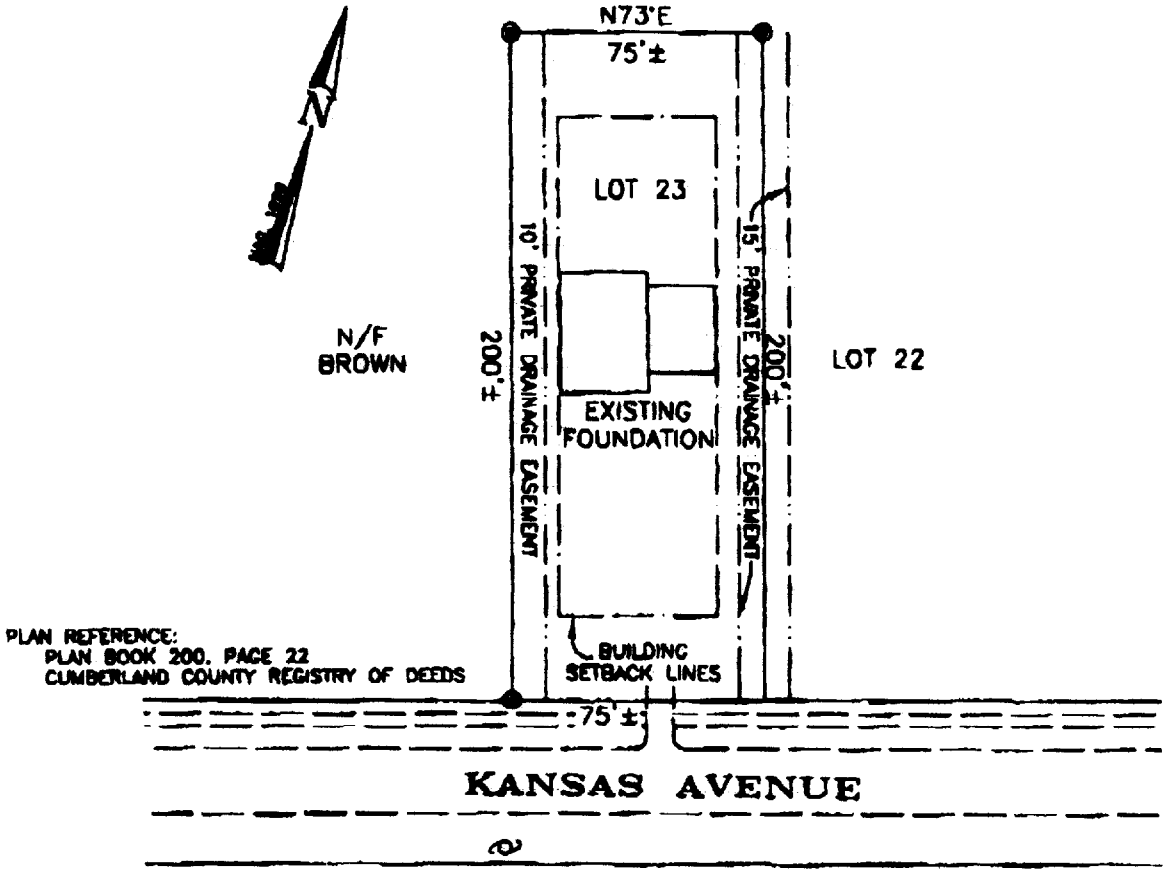
Subject: Certified site plan location Lot 23 Kansas Ave (82 Kansas Ave) per Survey Inc.

As Requested.

CALL US AT 772-2127 IF THERE ARE ANY PROBLEMS.

426 Forest Avenue, Portland, ME 04101
207-772-2127 Fax: 207-871-8695

MORTGAGE LOAN INSPECTION



PLAN REFERENCE:
PLAN BOOK 200, PAGE 22
CUMBERLAND COUNTY REGISTRY OF DEEDS

CERTIFICATION TO:

1) THIS PLAN WAS NOT MADE FROM AN INSTRUMENT SURVEY AND IS NOT FOR RECORDING PURPOSES. THE PLAN SHOWS CONDITIONS EXISTING AS OF THE DATE INSPECTED. CERTIFICATION IS FOR MORTGAGE PURPOSES ONLY. PROPERTY LINES AS SHOWN ARE APPARENT ONLY.
THIS IS NOT A BOUNDARY SURVEY.

2) I HAVE CONSULTED THE HUD-FIA FLOOD HAZARD BOUNDARY MAP AND THE ABOVE DESCRIBED PROPERTY IS NOT X IS _____ IN A DESIGNATED FLOOD HAZARD AREA.

3) I HEREBY CERTIFY THAT THE BUILDING SHOWN ON THIS PLAN IS LOCATED ON THE GROUND AS SHOWN, AND CONFORMS TO THE ZONING LAWS OF THE CITY OF PORTLAND AT THE TIME OF CONSTRUCTION.

4) I HEREBY CERTIFY TO _____ THAT THIS PLAN DEPICTS THE RESULTS OF A CURRENT EXAMINATION OF THE PREMISES DESCRIBED IN BOOK _____, PAGE _____ RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS AND THAT ALL EASEMENTS, ENCROACHMENTS AND BUILDINGS ARE LOCATED ON THE GROUND AS SHOWN THEREON.

STATE OF MAINE
ROBERT W. FARTHING
886
PROFESSIONAL LAND SURVEYOR

PREPARED FOR:

LOT 23
KANSAS AVENUE
PORTLAND, MAINE

SURVEY, INC.
P.O. BOX 210
WINDHAM, MAINE
JOB NO. 2002-23
SCALE: 1"=50'
DATE: 04/23/02

MULKERIN ASSOCIATES
REAL ESTATE

FAX COVER SHEET

Received
7/11/01

Date: 7/11/01

Total Pages: 3

To: MARGE SCHMUCKAL

Company Fax #:

From: GREG Mc Cormack

Subject: Lot 23 Kansas (Pines)
82 Kansas Ave. Revised Plans.

Dear Marge: We have changed plans to reflect the fact that the attic will be unfinished; we eliminated stairs to attic and eliminated the window originally shown on the submitted application.

CALL US AT 772-2127 IF THERE ARE ANY PROBLEMS.

Hopefully this will be considered as a 2 story home with 14' side line setbacks, + permit issued.

Thanks, Greg

426 Forest Avenue, Portland, ME 04101
207-772-2127 Fax: 207-871-8685

CITY OF PORTLAND, MAINE

Department of Building Inspection

June 26 2001

Received from _____ a fee

of three thousand three hundred twenty two /100 Dollars $ 3,372.

for permit to install / erect / alter / move / demolish 3 new Sing Fam - / 2 attached

at LOT 23 Pines @ Kansas Est. Cost $ 130,000 per S/F.

Site Plan 300.
Bld Fee 204.

LOT 28 Pines @ Wyoming
Site Plan 300.
Bld Fee 204

Inspector of buildings

Per CH

CK# 1218 for $3,372.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less $5.00 or 10% whichever is greater.

LOT 27 Pines @ Wyoming
Site Plan 300.
Bld Fee 204.

7 Liberty Way Lot 17
Amendment $30.00

1 Liberty Way Lot 18
Amendment $30.00

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy

2001-0163
Application I. D. Number

6/26/01
Application Date

Pines of Portland
Applicant

426 Forest Ave, Portland, ME 04102
Applicant's Mailing Address

Kansas Ave. Lot# 23
Project Name/Description

Consultant/Agent

82 - 82 Kansas Ave, Portland, Maine
Address of Proposed Site

Applicant Ph: (207) 772-2127 **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

399 D008001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☐ New Building ☐ Building Addition ☐ Change Of Use ☑ Residential ☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) **w/ a/ Two Car Garage**

2200 SqFt
Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

☑ Site Plan (major/minor)
☐ Subdivision # of lots ____
☐ PAD Review
☐ 14-403 Streets Review
☐ Flood Hazard
☐ Shoreland
☐ HistoricPreservation
☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB)
☐ Zoning Variance
☐ Other ____

Fees Paid: Site Plan ____ Subdivision ____ Engineer Review ____ Date ____

Insp Approval Status:

Reviewer ____

☐ **Approved**
☐ **Approved w/Conditions** See Attached
☐ **Denied**

Approval Date ____ Approval Expiration ____ Extension to ____ ☐ Additional Sheets Attached

☐ Condition Compliance ____ signature ____ date ____

Performance Guarantee ☐ **Required*** ☐ **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted ____ date ____ amount ____ expiration date

☐ Inspection Fee Paid ____ date ____ amount

☐ Building Permit Issue ____ date

☐ Performance Guarantee Reduced ____ date ____ remaining balance ____ signature

☐ Temporary Certificate of Occupancy ____ date ☐ Conditions (See Attached) ____ expiration date

☐ Final Inspection ____ date ____ signature

☐ Certificate Of Occupancy ____ date

☐ Performance Guarantee Released ____ date ____ signature

☐ Defect Guarantee Submitted ____ submitted date ____ amount ____ expiration date

☐ Defect Guarantee Released ____ date ____ signature

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

A PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow: Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing

Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Director of Portland Inc.	**Date:** 6/25/01

Minor/Minor Site Review Fee: $300.00/Building Permit Fee: $30.00 for the 1st $1000.cost plus $6.00 per $1.000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

CITY OF PORTLAND, MAINE

Department of Building Inspection

June 26 2001

Received from _____ a fee

of three hundred three thousand /100 Dollars $ 3,372.

for permit to install / erect / alter / move / demolish 3 new Sing Fam - / 2 Garage

at LOT 23 Pines @ Kansas Est. Cost $ 130,000 per S/F.

Site Plan 300.
Bld Fee 204.

LOT 28 Pines @ Wyoming
Site Plan 300.
Bld Fee 204

Inspector of buildings

Per CH

CK# 1218 for $3,372.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less $5.00 or 10% whichever is greater.

LOT 27 Pines @ Wyoming
Site Plan 300.
Bld Fee 204.

7 Liberty Way Lot 17
Amendment $30.00

1 Liberty Way Lot 12
Amendment $30.00

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy

CITY OF PORTLAND, MAINE
PLANNING BOARD

March 15, 2001

Ms. Fern DiPietro
222 Virginia Street
Portland, ME 04103

Re: Wyoming Avenue Street Vacation
CBL#399-D-1, 2, 4 to 7, 399-C-20 to 22

Dear Ms. DiPietro:

On March 13, 2001, the Portland Planning Board voted unanimously 4-0 (Cole, Delogue, Hagge absent) to recommend to the City Council, vacation of portion of Wyoming Avenue, from Virginia Street easterly to its terminus with the following condition:

i. that the applicant abandon and disconnect the 2" water main at Virginia Street in coordination with the Portland Water District, unless an agreement, in writing, from Portland Water District is submitted prior to placing this matter on the City Council agenda.

If there are any questions, please contact the Planning Staff.

Sincerely,

Jaimey Caron, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
P. Samuel Hoffses, Building Inspector
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Deputy Director of Public Works
Jeff Tarling, City Arborist
Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
√Building Permit Secretary
Lee Urban, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File

O:\PLAN\DEVREVW\Wyoming\STVACLTR.doc

Inspection Services
Michael J. Nugent
Manager

Housing & Neighborhood Services
Mark Adelson
Director

CITY OF PORTLAND
STOP WORK NOTICE

April 23, 2002

Pines of Portland Inc.
426 Forest Avenue
Portland, Maine 04103

RE: 82 Kansas Avenue
CBL: 399-D-008001

HAND DELIVER

Dear Mr: Greg McCormack

An evaluation of the property at 82 Kansas Avenue revealed that the property fails to comply with Section 107.1 and Section 108.2 of the 1999 BOCA Building Code of the City of Portland. Section 107.1 states that "All work shall not commence without a permit being issued in accordance with Section 108". Section 108.2 states that " any permit issued shall become invalid if the authorized work is not commenced within six months after issuance of permit. Permit number 01-0770 for 82 Kansas Avenue was issued on July 12, 2001 and work did not start within the six month time frame.

This is a **STOP WORK ORDER** pursuant to Section 107.1 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Construction may begin after reactivation of your expired building permit and this order has been lifted.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 1-16. (2) Of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8693, if you wish to discuss the matter or have any questions.

Sincerely,

Thomas M. Markley
Code Enforcement Officer

389 Congress St Portland, Maine 04101 (207) 874-8700 FAX 874-8716 TTY 874-8936

[redacted]

City Of Portland
Inspection Services
RETURN OF SERVICE

On the 23rd day of April, 2002, I made service of the STOP WORK ORDER upon, Mulkerin Associates, at 426 Forest Avenue

X By delivering a copy in hand. Amy Mulkerin

_____ By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is_____.

_____ By delivering a copy to an agent authorized to receive service of process, and whose name is_____.

_____ By (describe other manner of service)_____.

DATED: 4/23/02

Signature of Person Making Service

Thomas M. Markley, CEO
Title

I have received the above referenced documents

Person Receiving Service

_____ Refused to sign
_____ Unable to sign

Applicant: Greg McCormack Date: 7/9/01

Address: 82 Kansas Ave (lot # 23) C-B-L: 399-D-008

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - Construct New Single Family Dwelling (26 x 36) with Attached (20 x 26) 2 Car Garage

Sewage Disposal - City

Lot Street Frontage - 50' req - 75' shown

Front Yard - 25' req 95' shown

Rear Yard - 25' req - 54' shown

Side Yard - 2 story 14' req - 14' & 15' shown

Projections - 8 x 12 rear Deck

Width of Lot - 75' min - 75' shown

Height - 35' max - 27' scaled

Lot Area - 6,500 # req'd min 15,000 # shown

Lot Coverage/ Impervious Surface - 25% = 3750 # max

Area per Family - 6,500 #

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor #2001-0163

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 Zone X

20 x 26 = 520 #
26 x 36 = 936
8 x 12 = 96
1532 #

ok

See fax deleting 3rd floor stair to "Attic" → makes a difference on required setbacks – Attic is not to be a habitable area