

<input checked="" type="checkbox"/> FHA 2. <input type="checkbox"/> FmHA 3. <input checked="" type="checkbox"/> Conv. Unins	6. File Number	7. Loan Number	8. Mortgage Insurance Case Number
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E. Name and Address of Seller: <b>Alice G. Jenkins</b>	9
F. Name and Address of Lender: <b>ABN AMRO Mortgage Group, Inc. 2600 W. Big Beaver Road, Troy, Michigan</b>	<b>48084 RECEIVED</b>

H. Settlement Agent: **Douglas Title Company** | Settlement Date **07/25/2002**  
 Agent's Address: **P.O. Box 1062, Yarmouth, Maine 04096**  
 Place of Settlement: **30 Forest Falls Drive, Suite 5, Yarmouth, Maine 04096**

J. Summary of Borrower's Transaction			
100. Gross Amount Due from Borrower		400. Gross Amount Due To Seller	
101. Contract sales price	<b>\$195,000.00</b>	401. Contract sales price	<b>\$195,000.00</b>
102. Personal property		402. Personal property	
103. Settlement charges to Borrower (line 1400)	<b>\$5,077.63</b>	403.	
104.		404.	
105.		405.	
Adjustments for items paid by seller in advance		Adjustments for items paid by seller in advance	
106. City/town taxes		406. City/town taxes	
107. County Tax		407. County Tax	
108. Assessments		408. Assessments	
109.		409.	
110.		410.	
111.		411.	
112.		412.	
120. Gross Amount Due From Borrower	<b>\$200,077.63</b>	420. Gross Amount Due To Seller	<b>\$195,000.00</b>

201. Deposit or Earnest Money	<b>\$1,000.00</b>	501. Excess Deposit (see instructions)	
202. Principal Amount of New Loan	<b>\$136,500.00</b>	502. Settlement charges to seller (line 1400)	<b>\$579.00</b>
203. Existing Loan(s) taken subject to		504.	
204.		505.	
205.		506. Deposit Held By Seller	<b>\$1,000.00</b>
206.		507.	
207.		508.	
208.		509.	
Adjustments for items unpaid by seller		Adjustments for Items unpaid by seller	
210. City/town taxes 07/01/02 to 07/25/02	<b>\$280.54</b>	510. City/town taxes 07/01/02 to 07/25/02	<b>\$280.54</b>
211. County Tax		511. County Tax	
212. Assessments		512. Assessments	
213.		513.	
214.		514.	
215.		515.	
216.		516.	
217.		517.	
218.		518.	
219.		519.	
220. Total Paid By/For Borrower	<b>\$137,780.54</b>	520. Total Reduction Amount Due Seller	<b>\$1,859.54</b>

301. Gross Amount due from Borrower (line 120)	<b>\$200,077.63</b>	601. Gross Amount due to seller (line 420)	<b>\$195,000.00</b>
302. Less amounts paid by/for Borrower (line 220)	<b>\$137,780.54</b>	602. Less reductions in amt due seller (line 520)	<b>\$1,859.54</b>
303. Cash from Borrower	<b>\$62,297.09</b>	603. Cash to Seller	<b>\$193,140.46</b>

Borrowers: David J. Header | Michele A. Header  
 Sellers: Alice G. Jenkins by her Attorney-in-Fact Clarence D. Head, Jr. | Atty in Fact



ADDENDUM TO HUD-1

Loan Number: 625303832  
Borrower(s): David J. Header and Michele A. Header  
Seller(s): Alice G. Jenkins  
Lender: ABN AMRO Mortgage Group, Inc.  
Property: 47 Summit Street, Portland, Maine 04103  
Date: July 25, 2002

**To the Settlement Agent:**

I have carefully reviewed the HUD-1 Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. I further certify that I have received a copy of the HUD-1 Settlement Statement.

*Alice G. Jenkins by Col. Clarence D. Read, Attorney-in-Fact*  
SELLER: Alice G. Jenkins, by her  
Attorney-in-Fact Clarence D. Read,  
Jr.

*David J. Header*  
BORROWER: David J. Header  
*Michele A. Header*  
BORROWER: Michele A. Header

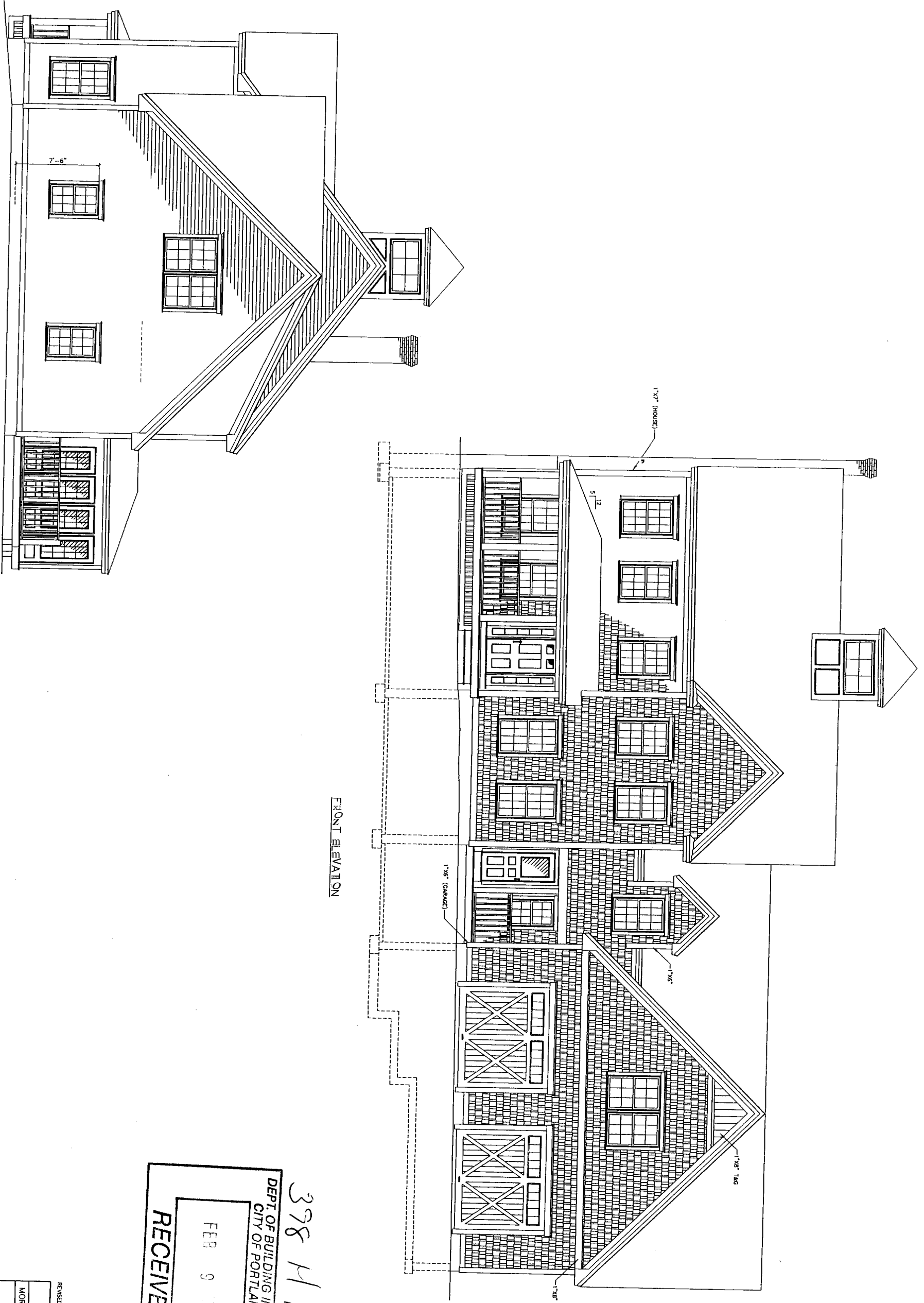
**From the Settlement Agent:**

The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. I have caused or will cause the funds to be disbursed in accordance with this statement.

Date: July 25, 2002

\_\_\_\_\_  
Douglas Title Company  
Settlement Agent

**WARNING:** It is a crime to knowingly make false statements to the United States on this or any other similar form. Penalties upon conviction can include a fine and imprisonment. For details see: Title 18 U.S. Code Section 1001 and Section 1010.



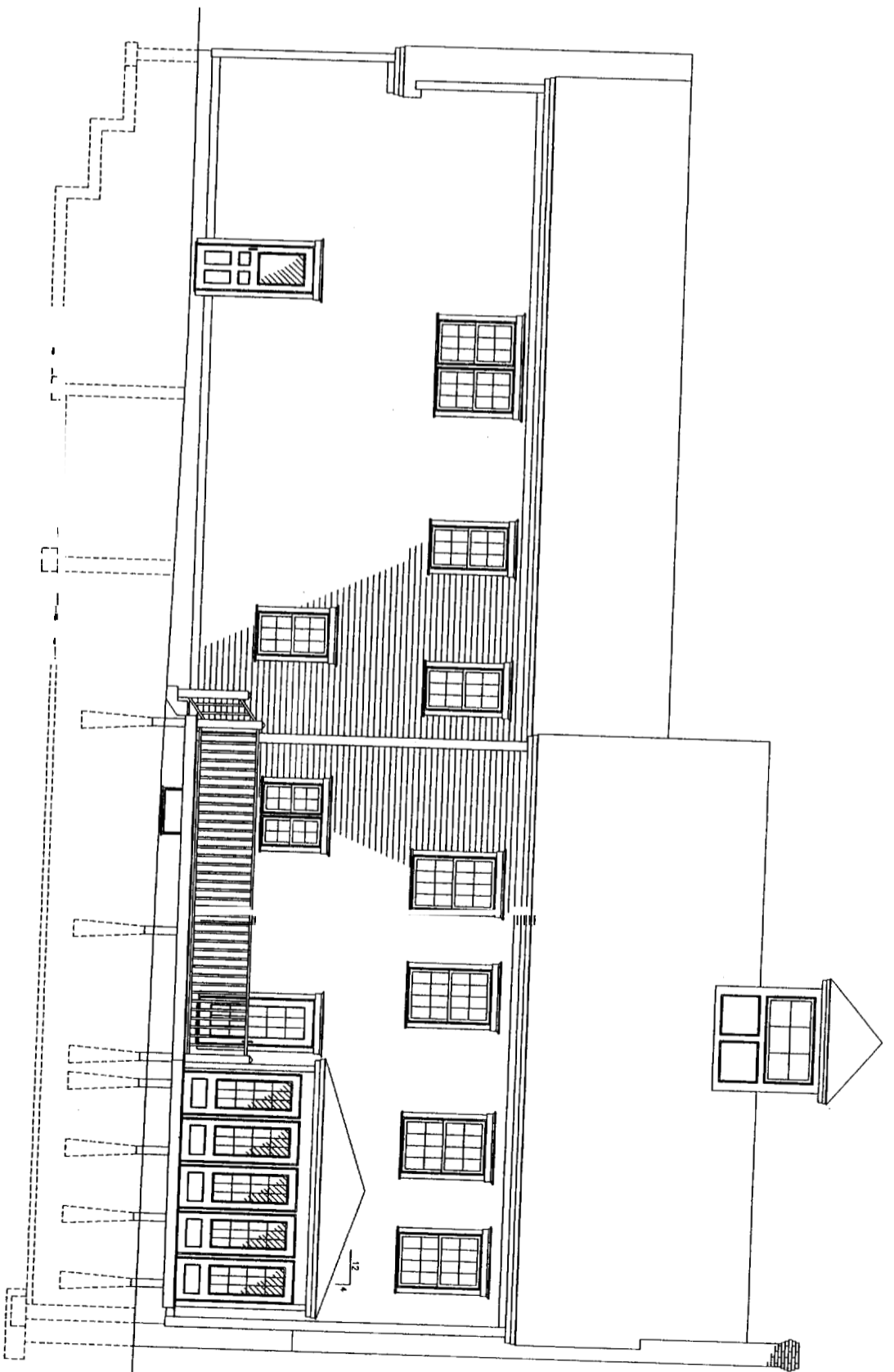
FRONT ELEVATION

398 H 1 D

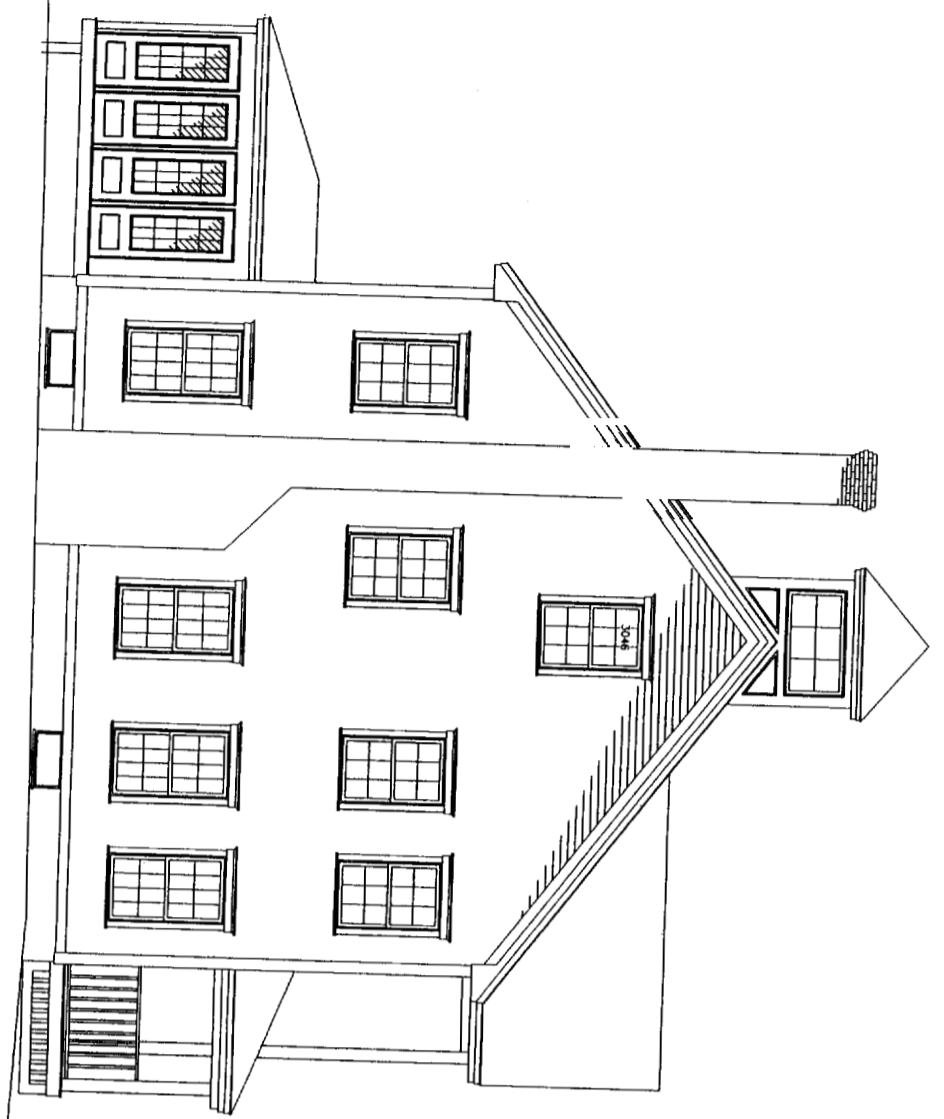
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
FEB 9 2008  
RECEIVED

REVISED 01-27-05 - REMOVED WORKSHOP

Summit Street Portland, Maine
MORIN DRAFTING CORHAM, ME. 893-2462
Header Residence
ELEVATION
DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 08-18-04
A1



REAR ELEVATION

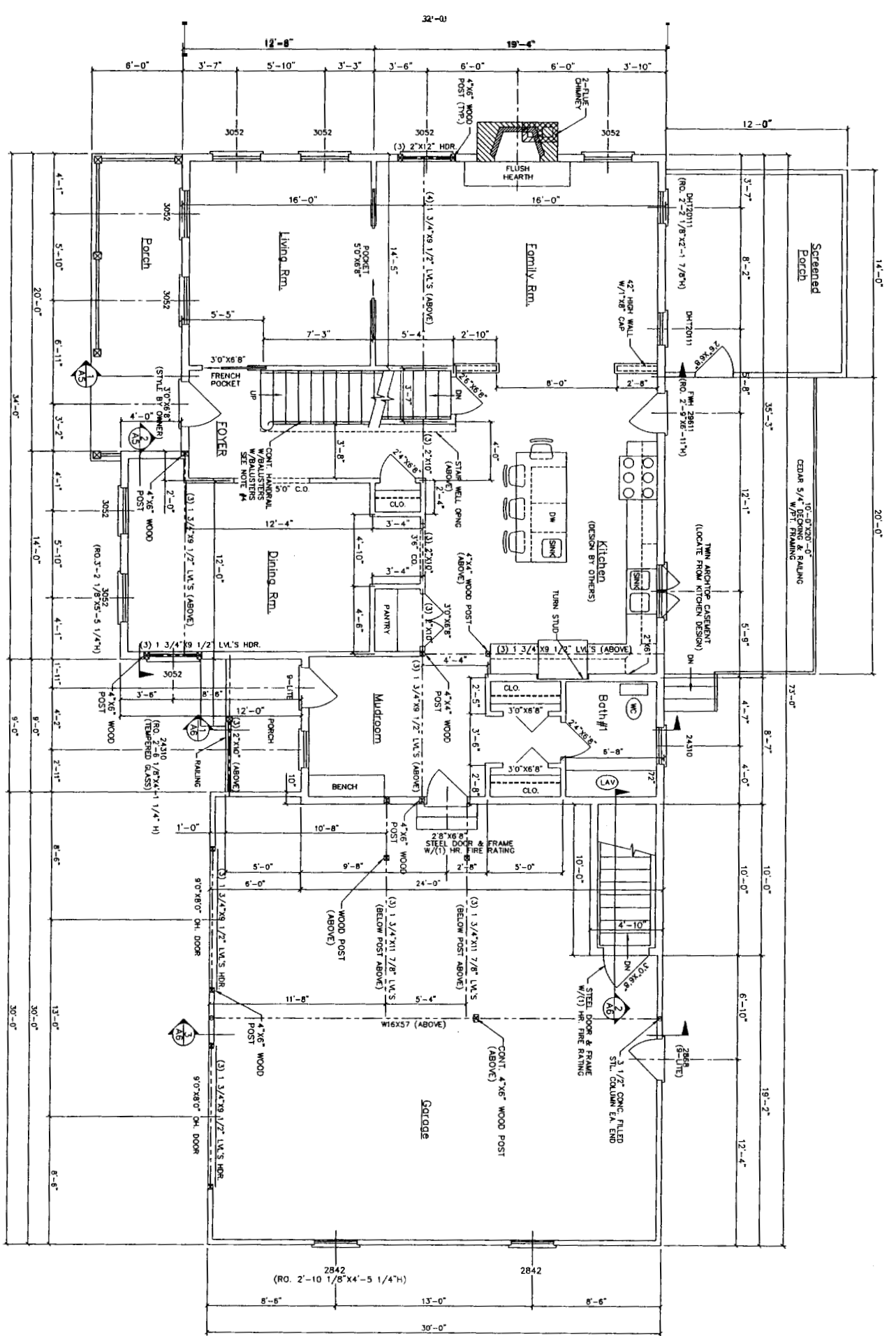


LEFT SIDE ELEVATION

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 FEB 9  
 RECEIVED

REVISED 01-27-05 - REVISED WORKSHOP  
 Summit Street  
 Portland, Maine  
 MORIN DRAFTING GORHAM, ME. 893-2462  
 Header Residence  
 ELEVATION  
 DRAWN: J. MORIN  
 SCALE: 1/4"=1'-0"  
 DATE: 08-18-04  
 A2

ALL DRAWINGS, PLANS, SPECIFICATIONS ETC. ARE PROVIDED TO OUR CLIENTS AS A SERVICE AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL ENGINEERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL CONSTRUCTION TECHNIQUES AND CONDITIONS SHALL BE REVIEWED BY CLIENT/OWNER. THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS. ANY CHANGES TO THIS PLAN SHALL BE MADE BY CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



FLOOR PLAN—FIRST FLOOR

FIRST FLOOR 1380 SQ. FT.  
SECOND FLOOR 2281 SQ. FT.  
SECOND FLOOR 3541 SQ. FT.

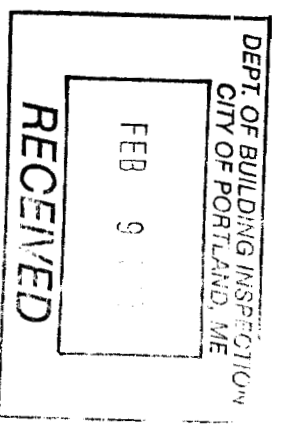
REVISED 01-27-05 - REMOVED WORKSHOP

Summit Street  
Portland, Maine  
MORIN DRAFTING CORHAM, ME 893-2462  
Header Residence

FLOOR PLAN—FIRST FLOOR

SCALE: 1/4"=1'-0"  
DATE: 08-18-04

A3



REGISTERED REVIEW OF  
STUDY DRAWINGS  
STATE OF MAINE  
JANUARY 14, 2005  
MORIN DRAFTING CORHAM, ME  
ENGINEERING DESIGN PROFESSIONALS  
23 CARRIAGE ROAD  
PORTFOLI, MAINE 04032

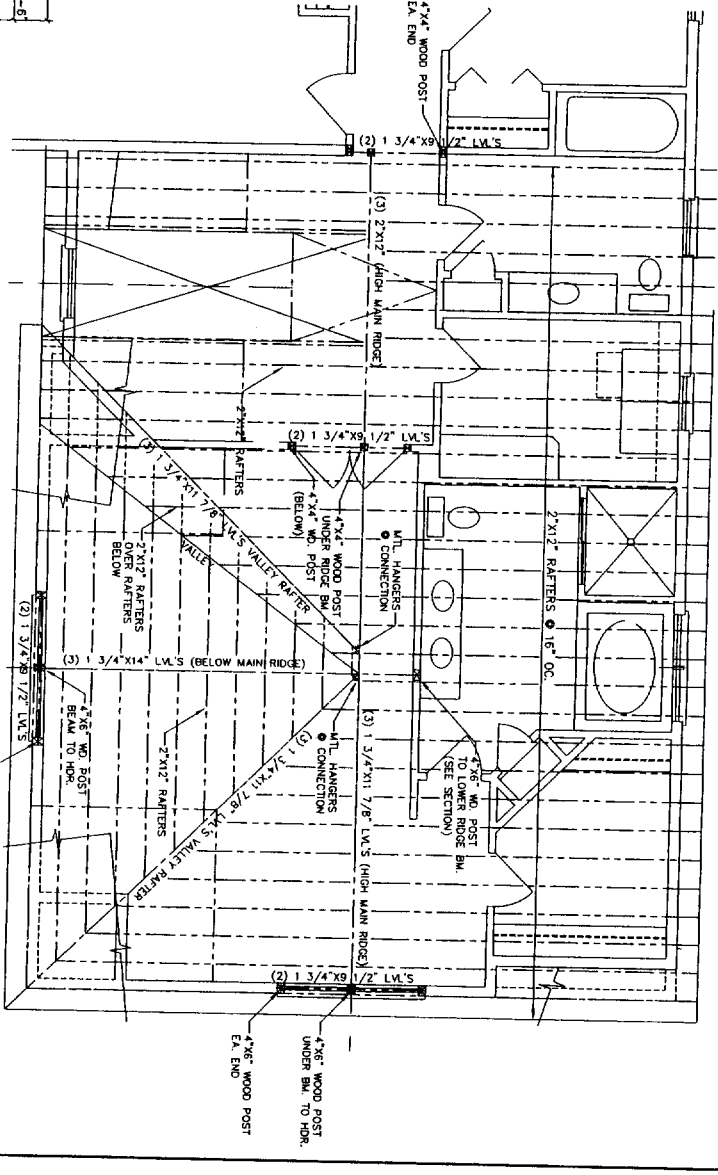
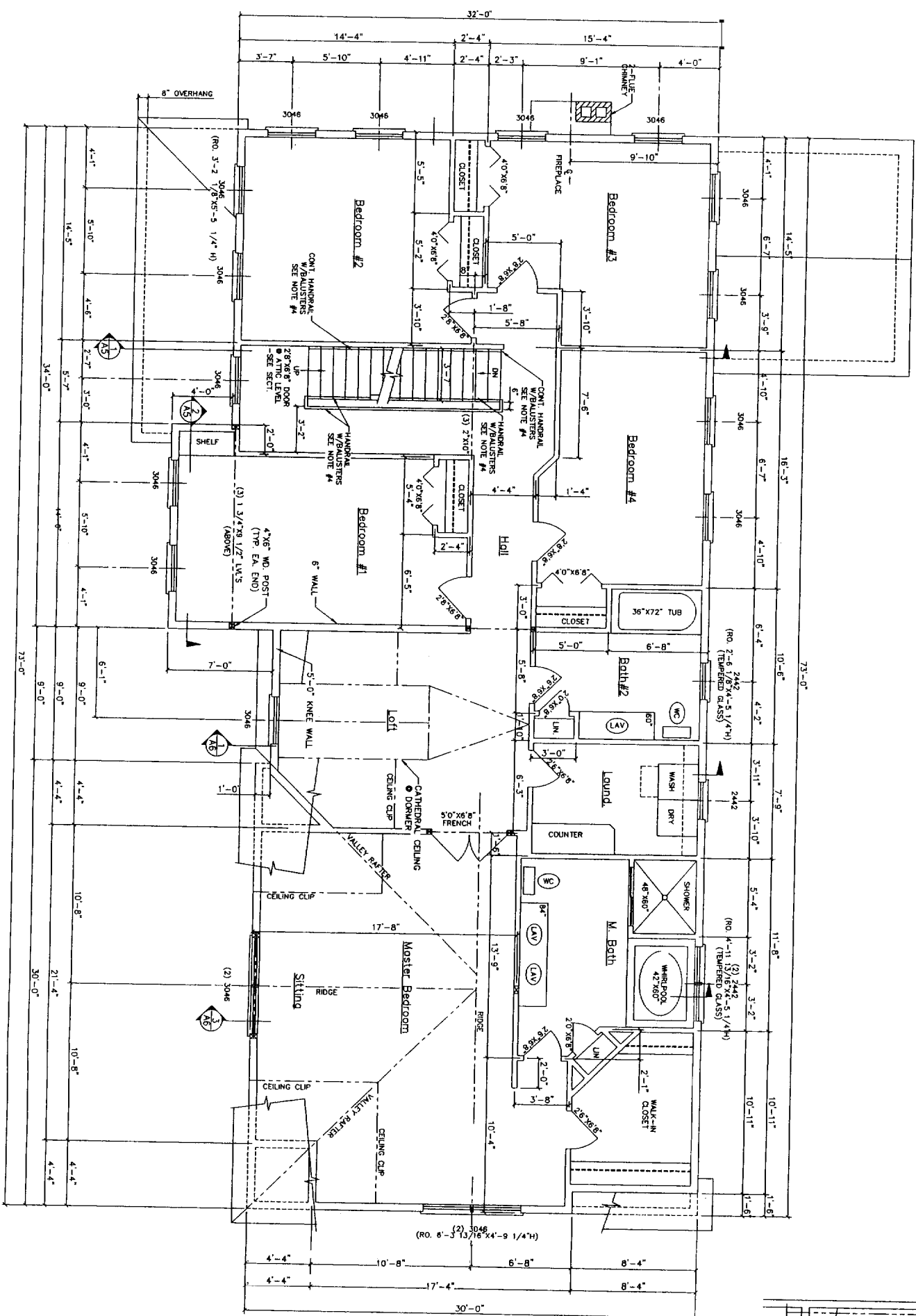
OCIA 1999 FASTENER SCHEDULE

SIZE OF NUTS	HEADER SCHEDULE	FIRST FLOOR (1.500 PLF)	SECOND FLOOR (1.000 PLF)
6-3"	4"x4"	(3) 2 X12	(3) 2 X12
4-1"	2"x2"	(3) 2 X12	(3) 2 X12
7-1"	10'-0"	(3) 1 3/4"x9 1/2" L.V.S.	(3) 1 3/4"x9 1/2" L.V.S.
7-1"	10'-0"	(3) 1 3/4"x9 1/2" L.V.S.	(3) 1 3/4"x9 1/2" L.V.S.

--- HEADERS DOUBLE 3"x4" WOODS  
--- HEADERS TRIPLE 3"x4" WOODS

OCIA 1999 FASTENER SCHEDULE  
SEE OF TRCA  
BE (1) FIRE-RATED DOORS  
TO ALL COMBUSTIBLE MATERIALS  
R-BOCA REQUIREMENTS  
MINIMUM 1/2" SYSTEM  
WITH A BATTERY BACK-UP

ALL DRAWINGS, PLANS, SPECIFICATIONS, ETC. ARE PREPARED BY THE ARCHITECT AND ARE TO BE USED IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL LAWS, CODES, AND ORDINANCES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN HEREON. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK NOT SHOWN HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN HEREON.



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
FEB 9 2004  
RECEIVED

HEADER SCHEDULE		
0'-0" - 4'-0"	FIRST FLOOR (1,300 P.F.)	SECOND FLOOR (1,000 P.F.)
4'-0" - 8'-0"	(1) 2"x10"	(3) 2"x8"
8'-0" - 12'-0"	(3) 1 3/4"x9 1/2" L.V.S.	(3) 2"x12"
12'-0" - 16'-0"	(3) 1 3/4"x9 1/2" L.V.S.	(3) 1 3/4"x9 1/2" L.V.S.

- GENERAL CONSTRUCTION NOTES:**
- THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY. THEY SHOULD NOT BE INTERPRETED AS CODE OR NEEDED AS THE COMPLETE CODE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE TOWN ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS.
  - ALL FASTENING CONNECTIONS SHALL COMPLY WITH THE CODE FASTENER SCHEDULE.
  - OPEN SPICES OR STAINS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE OPENINGS BETWEEN WALLS SHALL BE REINFORCED WITH 2" DIA. STEEL RODS.
  - ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER CODE REQUIREMENTS.
  - ONE SUSPENDED SHALL BE HEATED WITH AN OIL FUELED, FORKED HOT WATER SYSTEM IN EACH BEDROOM, INTER-COMMUNICATED IN ALL COMMON AREAS & ONE IN BATHROOM.
  - PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE RAILINGS NOT LESS THAN 36" IN HEIGHT.
  - GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 80" FROM ANY SURFACE VERTICAL EDGE TO THE TOP OF THE FLOOR IN CLOSED POSITION.
  - GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.

SECOND FLOOR 2281 SQ. FT.

REvised 01-27-04 - REMOVED WORKSHOP  
Summitl Street  
Portland, Maine  
MORIN DRAFTING GORHAM, ME. 893-2462

Header Residence

FLOOR PLAN-SECOND FLOOR

DRAWN: J. MORIN  
SCALE: 1/4"=1'-0"  
DATE: 08-18-04

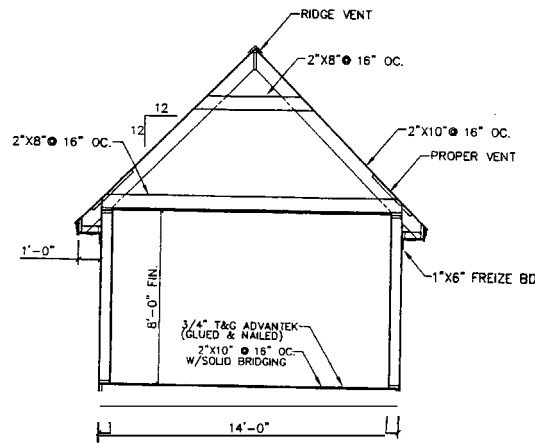
A4

SECOND FLOOR

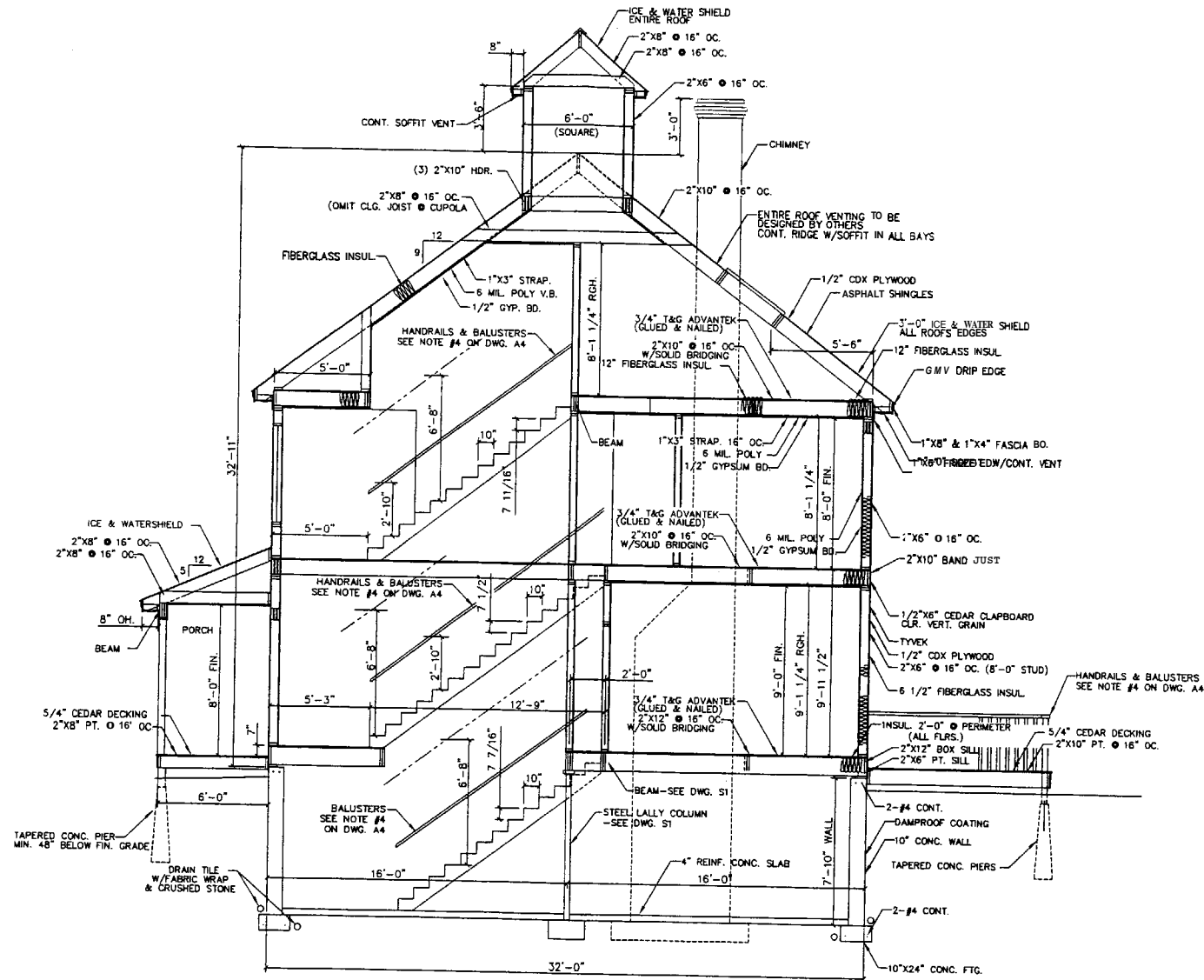
ENGINEERING REVIEW OF  
STRUCTURAL FRAMING  
SYSTEM ONLY.

ENGINEERING DESIGN PROFESSIONALS  
23 CARRIDGE ROAD  
PREPONT, MAINE 04032

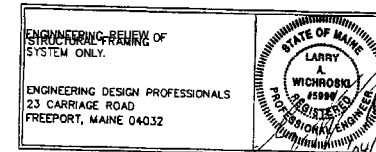
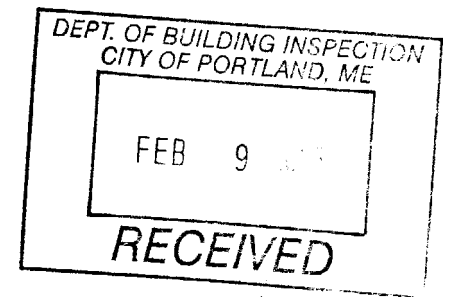
ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS. IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



SECTION @ DINING/BED.  
SCALE 1/4"=1'-0"



SECTION @ STAIRWAY  
SCALE 1/4"=1'-0"

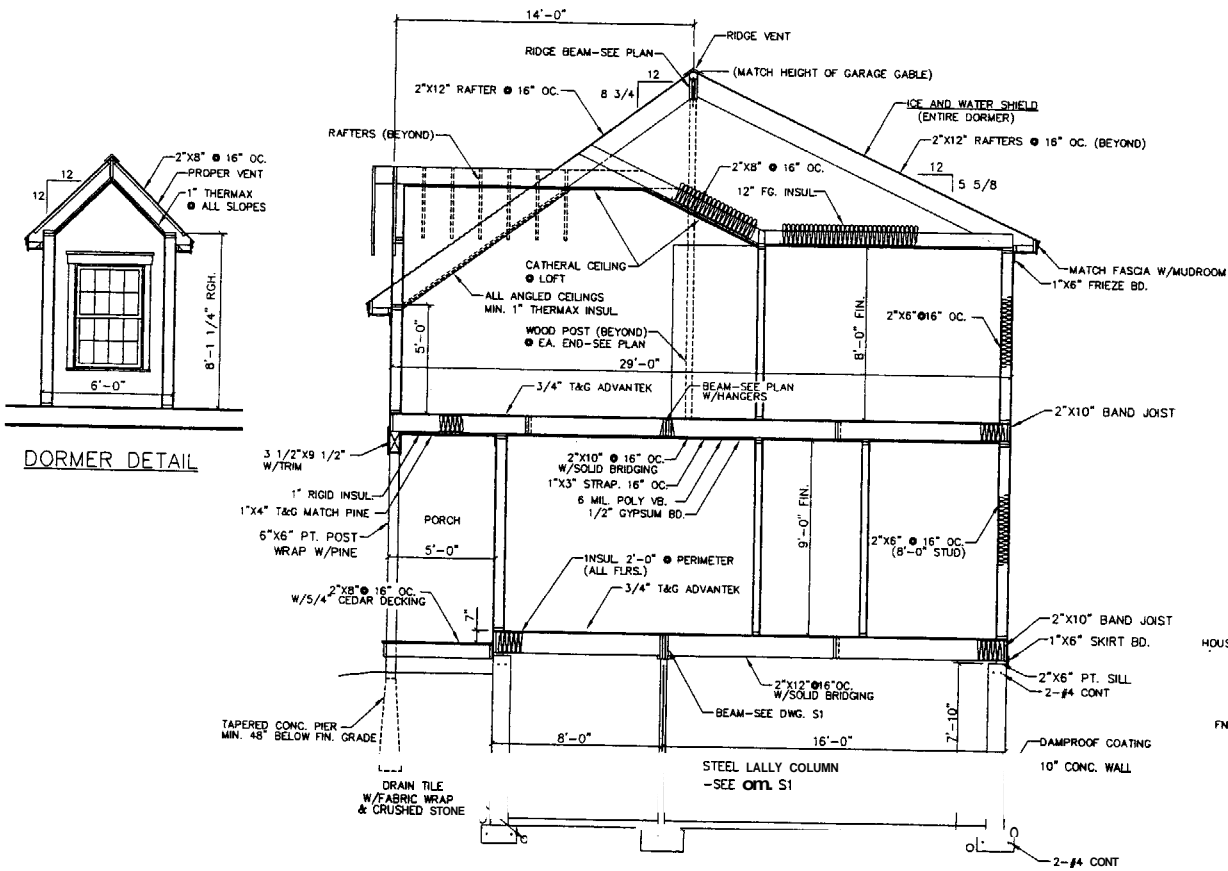


REUSED 01-27-05 - REMOVED WORKSHOP

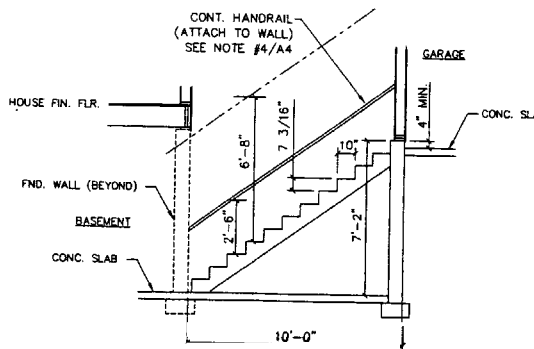
Summit Street Portland, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
Header Residence	
SECTION	
DRAWN: J. MORIN	A5
SCALE: 1/4"=1'-0"	
DATE: 08-18-04	



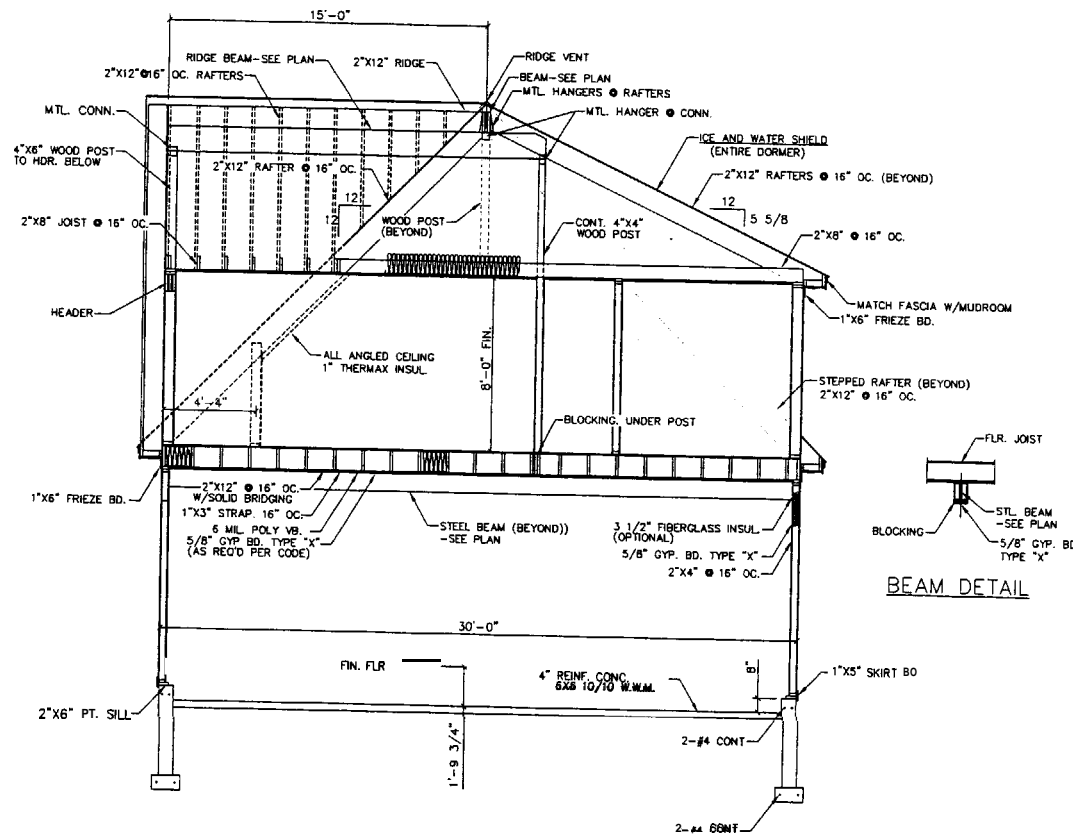
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SECTION @ MUDROOM  
SCALE 1/4"=1'-0"



SECTION @ BASEMENT STAIR

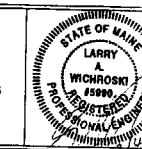


SECTION @ GARAGE  
SCALE: 1/4"=1'-0"

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CITY OF PORTLAND, ME  
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REVISED 01-27-05 - REMOVED WORKSHOP

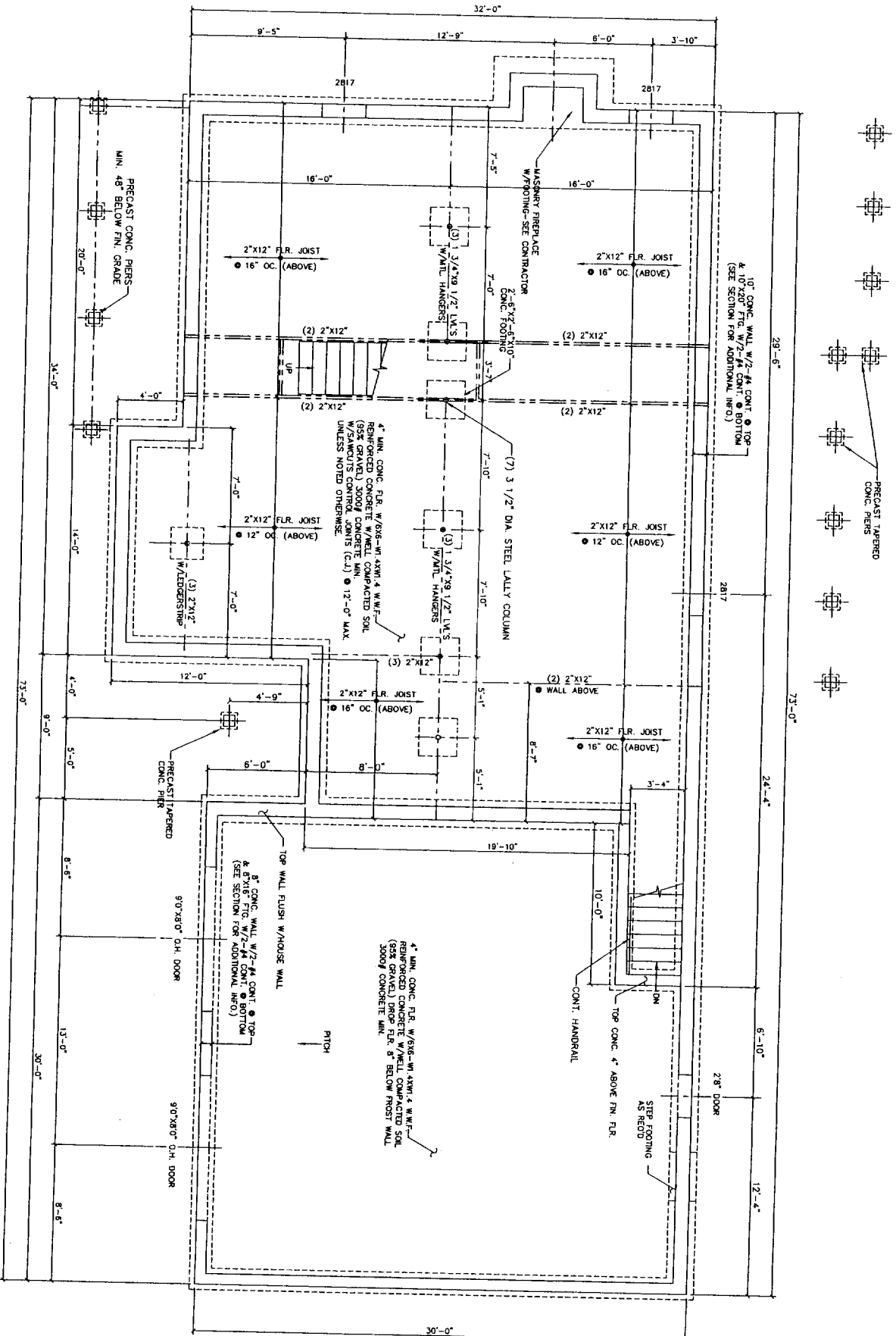
ENGINEERING REVIEW OF  
STRUCTURAL FRAMING  
SYSTEM ONLY.  
ENGINEERING DESIGN PROFESSIONALS  
23 CARRIAGE ROAD  
FREEPORT, MAINE 04032



Summit Street Portland, Maine
MORIN DRAFTING GORHAM, ME. 893-2462
Header Residence
SECTION
DRAWN: J. MORIN SCALE: 1/4"=1'-0" DATE: 08-14-04

A6

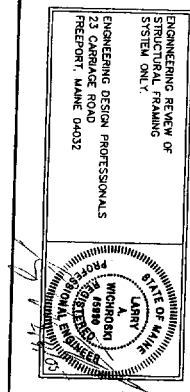
ALL DRAWINGS, PLANS, SECTIONS ETC. ARE PROVIDED TO OUR CLIENTS AS A SERVICE AND ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE FOUNDATION SYSTEM. THE CLIENT IS RESPONSIBLE FOR THE DESIGN OF THE SUPERSTRUCTURE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE FOUNDATION SYSTEM. THE CLIENT IS RESPONSIBLE FOR THE DESIGN OF THE SUPERSTRUCTURE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



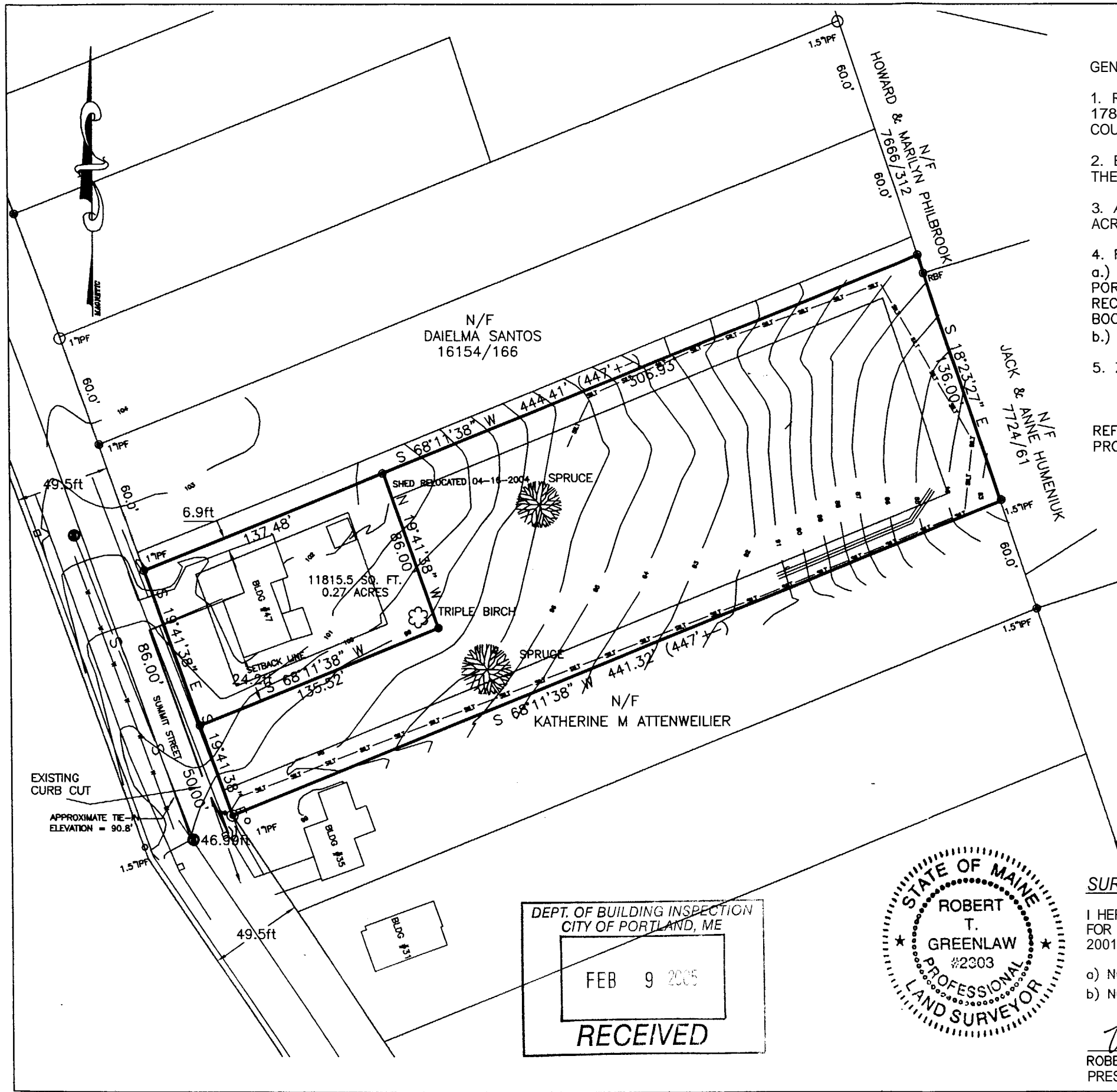
FOUNDATION PLAN

- FOUNDATION NOTES:**
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
  2. CHECKED & APPROVED FOR FOUNDATION DESIGN BY THE ENGINEER.
  3. IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
  4. 4" MIN. CONCRETE SHALL BE USED FOR ALL FOUNDATION ELEMENTS.
  5. ALL DOWNSIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED BY CONTRACTOR BEFORE FORMS.
  6. ALL CONSIDERATIONS FOR UNDERLAYER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  7. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH FLOOR PLAN & VERIFY PRODUCT (E. BULKHEAD ETC) DIMENSIONS & SPECS.
  8. SOIL BEARING CAPACITIES & WIND AND FOOTING SIZES TO BE DETERMINED BY CONTRACTOR.
  9. (DO NOT) SCHEDULE MORE THAN 3'-0" BEFORE 1ST F.L.R. FRAMING.
  10. ALL DRAIN TILE SHALL BE INSTALLED AND FINISHED BY CONTRACTOR.
  11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.
  12. 4" MIN. CONCRETE SHALL HAVE SAW-CUT CONTROL JOINTS UNLESS NOTED OTHERWISE.

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
FEB 9 2005  
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REVISION 01-27-05 - REMOVED WORKSHOP  
Summit Street  
Portland, Maine  
MORIN DRAFTING CORP., ME 893-2462  
Header Residence  
FOUNDATION PLAN  
DRAWN: J. MORIN  
SCALE: 1/4"=1'-0"  
DATE: 08-18-04  
S1



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL DAVID J. & MICHELE A HEADER BOOK 17883 PAGE 078 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
  2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
  3. AREA OF SUBJECT PARCEL: 60059.5 SQ. FT. 1.38 ACRES
  4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
 a.) RECORDING PLAT- PHASE 1 PINELoch WOODS ALLEN AVE PORTLAND MAINE BY OWEN HASKELL, INC SOUTH PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 155 PAGE 31.  
 b.) CITY OF PORTLAND MAINE TAX ASSESSORS MAP 398-A-10
  5. ZONING: R-2 ZONE 1 & 1.5 STORY 2 STORY  
 SETBACKS: FRONT - 25.00 FEET 25.00 FEET  
 REAR - 25.00 FEET 25.00 FEET  
 SIDE - 12.00 FEET 14.00 FEET
- REF. CHAPTER 14 SECTION 14-80 SIDE SETBACK REDUCTION PROVISION CURRENT EXISTING BUILDING BUILT 1940

MINIMUM LOT SIZE: 10,00 SQ. FT.  
 MINIMUM LOT WIDTH: 80.00 FEET  
 MAXIMUM BUILDING HEIGHT: 35.00 FEET  
 MAXIMUM LOT COVERAGE: 20 PERCENT  
 MINIMUM FRONTAGE: 50.00 FEET

**LEGEND**

- Capped 5/8" Rebar Set With Registration Number 2303
- Iron Pipe or Solid Pin Found
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- u — Overhead Utility
- ⊕ Utility Pole
- Edge of traveled way
- Set Back Line
- 91 — Contour Line

**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

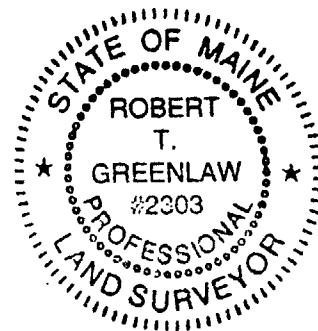
- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

*Robert T. Greenlaw*

DATE: 04-20-2004

ROBERT T. GREENLAW P.L.S.  
 PRESIDENT BACK BAY BOUNDARY, INC.

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 FEB 9 2005  
**RECEIVED**

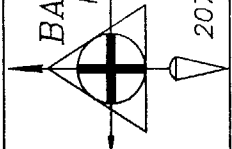


REVISION: 04-20-2004 REMOVED ORIGINAL SHED LOCATION.  
 REVISION: 04-13-2004 ADDED RELOCATED SHED

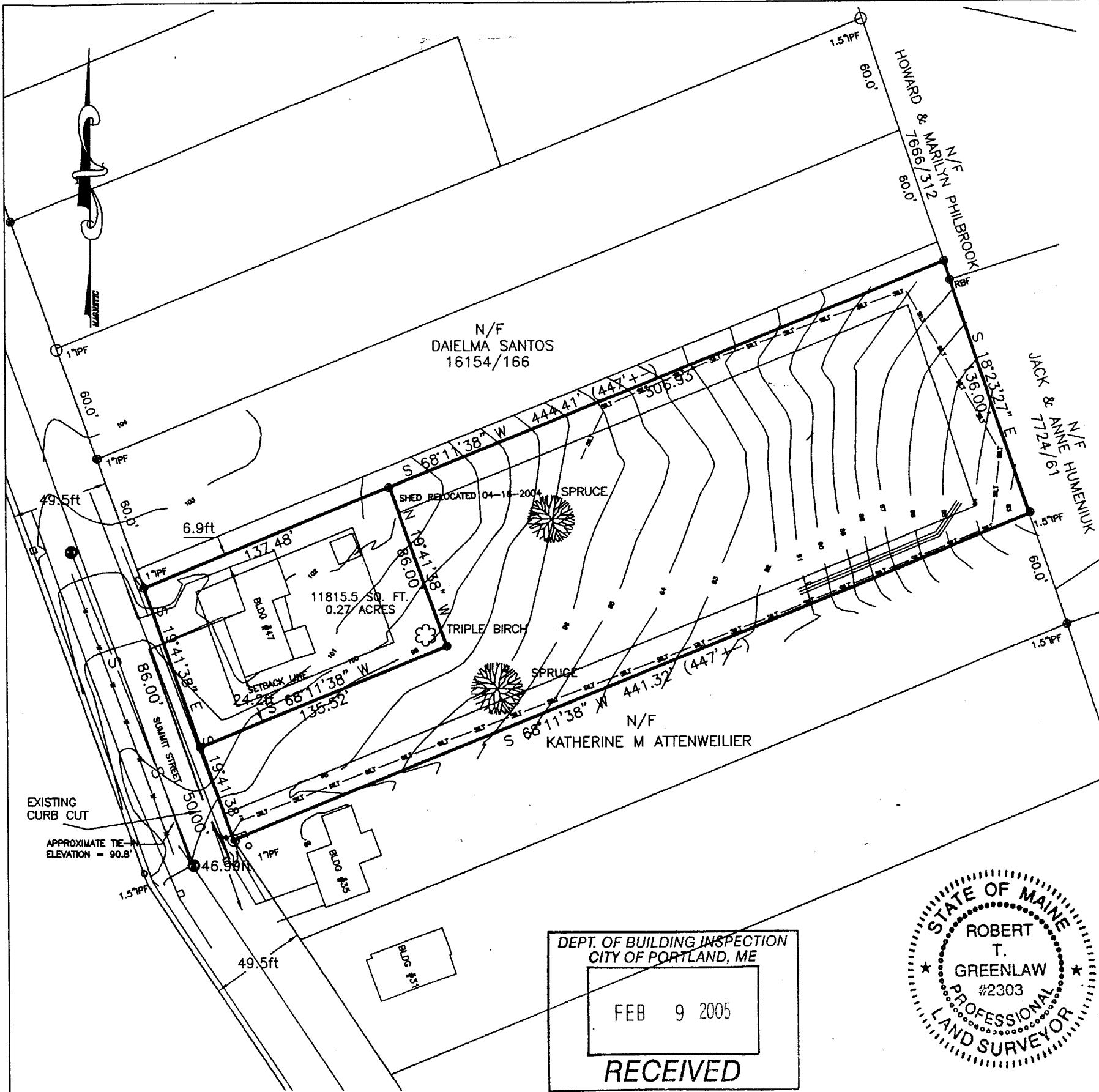
FOR: **DAVID & MICHELE HEADER**

DRAWN BY: DMD  
 CHECKED BY: GAS  
 SCALE: 1"=60'  
 DATE OF SURVEY: 04-01-04  
 JOB NUMBER: 2004043  
 SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 PROFESSIONAL LAND SURVEYING  
 65 NEWBURY STREET  
 PORTLAND, MAINE  
 207-774-2855 FAX 207-761-2010



DRAWER: 2004 N O 043



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL DAVID J. & MICHELE A. HEADER BOOK 17883 PAGE 078 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
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    - b.) CITY OF PORTLAND MAINE TAX ASSESSORS MAP 398-A-10
  5. ZONING: R-2 ZONE      1 & 1.5 STORY      2 STORY  
 SETBACKS: FRONT - 25.00 FEET      25.00 FEET  
              REAR - 25.00 FEET      25.00 FEET  
              SIDE - 12.00 FEET      14.00 FEET
- REF. CHAPTER 14 SECTION 14-80 SIDE SETBACK REDUCTION PROVISION CURRENT EXISTING BUILDING BUILT 1940

MINIMUM LOT SIZE: 10,00 SQ. FT.  
 MINIMUM LOT WIDTH: 80.00 FEET  
 MAXIMUM BUILDING HEIGHT: 35.00 FEET  
 MAXIMUM LOT COVERAGE: 20 PERCENT  
 MINIMUM FRONTAGE: 50.00 FEET

**LEGEND**

- Capped 5/8" Rebar Set With Registration Number 2303
- Iron Pipe or Solid Pin Found
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- u — Overhead Utility
- ⊕ Utility Pole
- Edge of traveled way
- Set Back Line
- 91 - Contour Line

**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

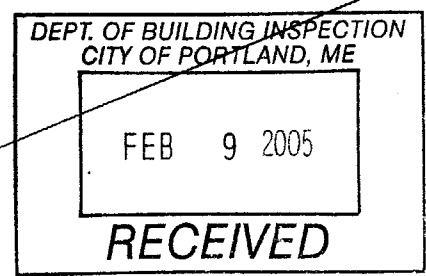
- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

*Robert T. Greenlaw*

398 H 10

DATE: 04-20-2004

ROBERT T. GREENLAW P.L.S.  
 PRESIDENT BACK BAY BOUNDARY, INC.



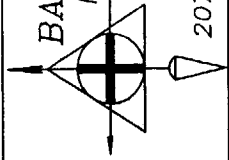
REVISION: 04-20-2004 REMOVED ORIGINAL SHED LOCATION.  
 REVISION: 04-13-2004 ADDED RELOCATED SHED

**PROPOSED LOT SPLIT**  
 47 SUMMIT STREET PORTLAND, MAINE

FOR: **DAVID & MICHELE HEADER**

DRAWN BY: DMD  
 CHECKED BY: GAS  
 SCALE: 1"=60'  
 DATE OF SURVEY: 04-01-04  
 JOB NUMBER: 2004043  
 SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 PROFESSIONAL LAND SURVEYING  
 65 NEWBURY STREET  
 PORTLAND, MAINE  
 207-774-2855 FAX 207-761-2010

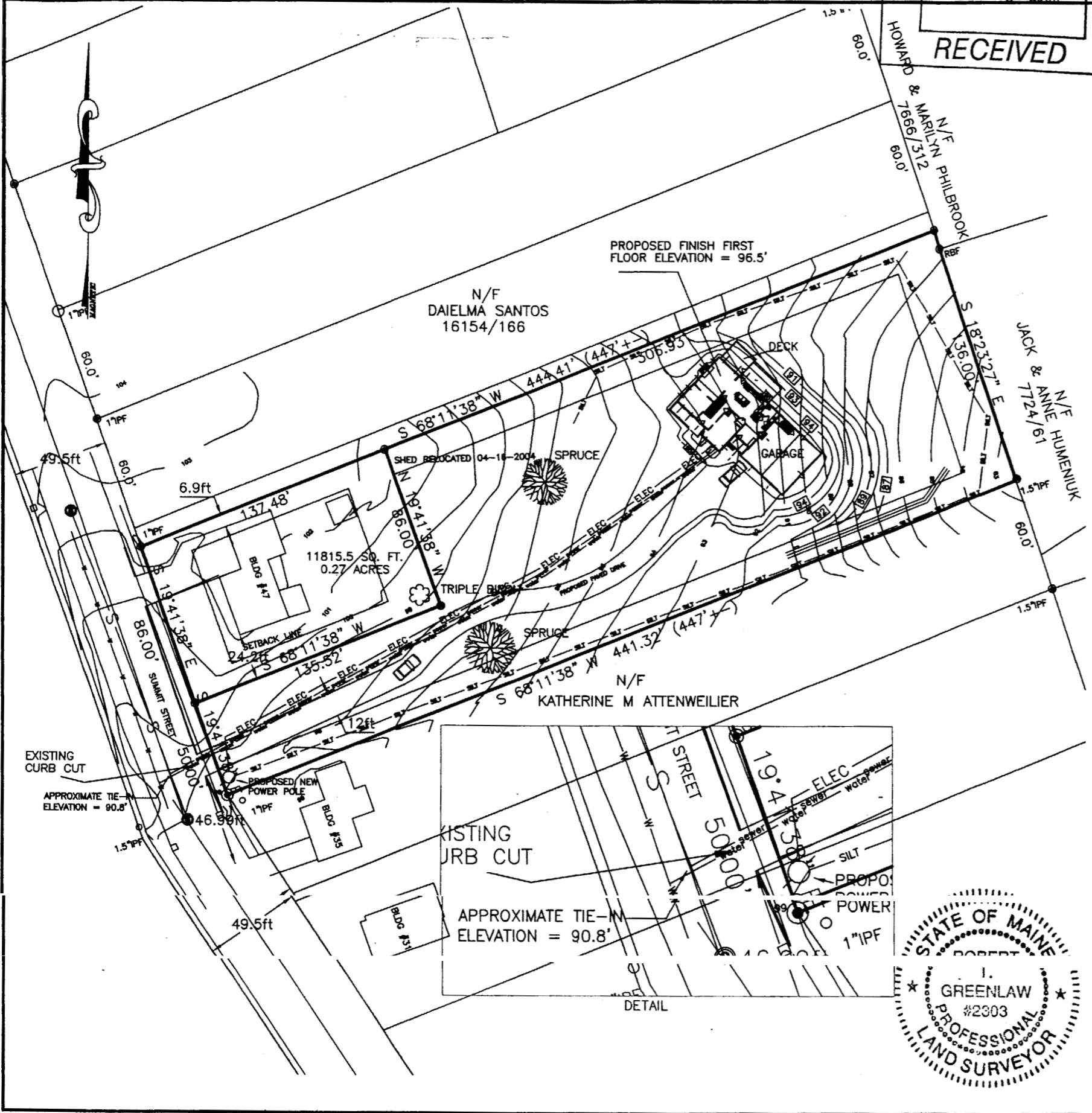


DRAWER: 2004 NO: 043

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

FEB 9 2005

RECEIVED



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: DAVID J. & MICHELE A. HEADER BOOK 17883 PAGE 078 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
  2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
  3. AREA OF SUBJECT PARCEL: 60059.5 SQ. FT. 1.38 ACRES
  4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
a.) RECORDING PLAT- PHASE 1 PINELOCH WOODS ALLEN AVE PORTLAND MAINE BY OWEN HASKELL, INC SOUTH PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 155 PAGE 31.  
b.) CITY OF PORTLAND MAINE TAX ASSESSORS MAP 398-A-10
  5. ZONING: R-2 ZONE 1 & 1.5 STORY 2 STORY  
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- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

*Robert T. Greenlaw*

DATE: 04-20-2004



ROBERT T. GREENLAW P.L.S.  
PRESIDENT BACK BAY BOUNDARY, INC.

REVISION: 04-20-2004 REMOVED ORIGINAL SHED LOCATION.  
REVISION: 04-13-2004 ADDED RELOCATED SHED

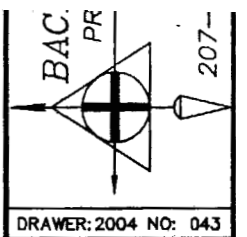
PROPOSED LOT SPLIT  
47 SUMMIT STREET PORTLAND, MAINE

FOR: DAVID & MICHELE HEADER

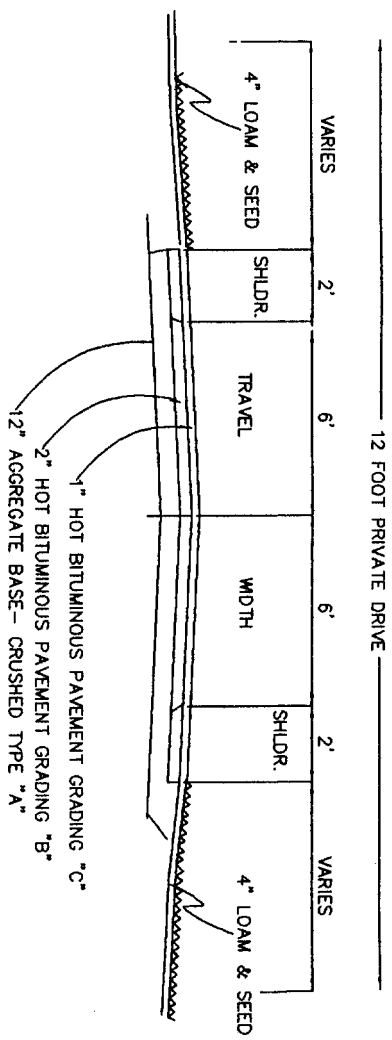
DRAWN BY: DMD  
CHECKED BY: GAS  
SCALE: 1"=60'  
DATE OF SURVEY: 04-01-04  
JOB NUMBER: 2004043  
SHEET: 1 OF 1

DREW BY: BOUNDARY, INC.  
L LAND SURVEYING  
JURY STREET  
IND, MAINE  
FAX 207-761-2010

PRE BAY BOUNDARY, INC.  
55 NE PORTLAND  
1-285

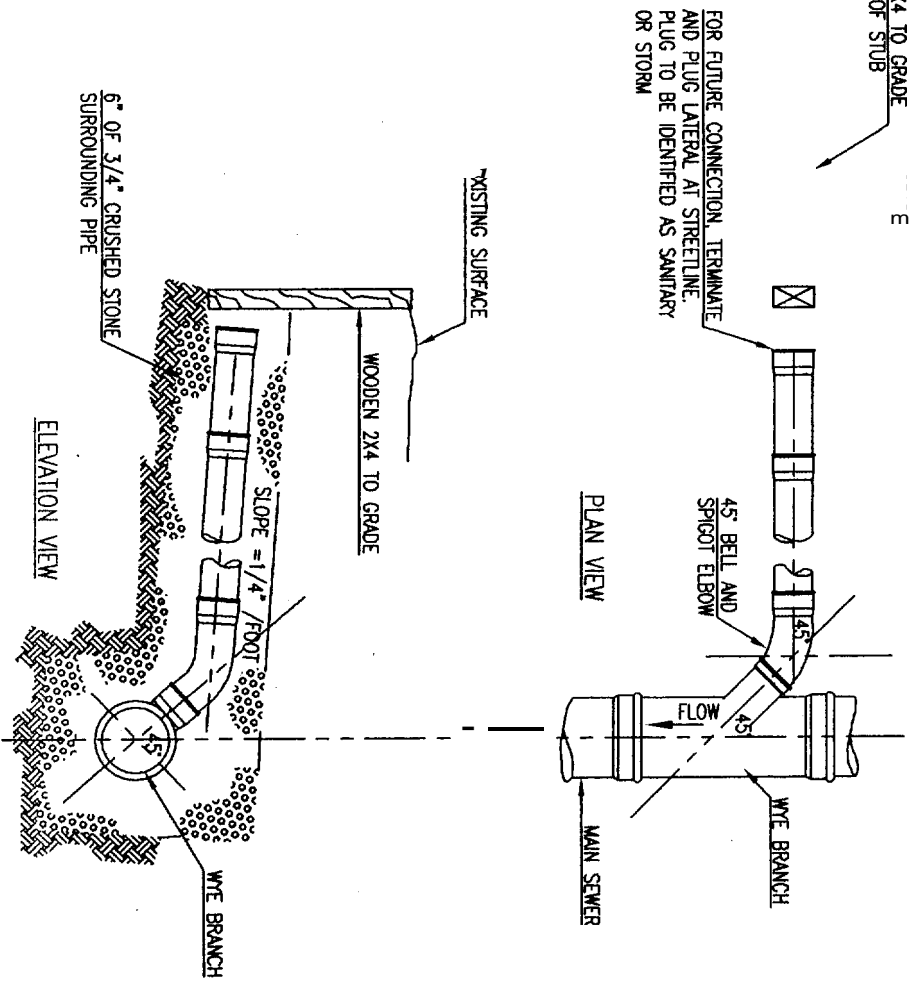


DRAWER: 2004 NO: 043

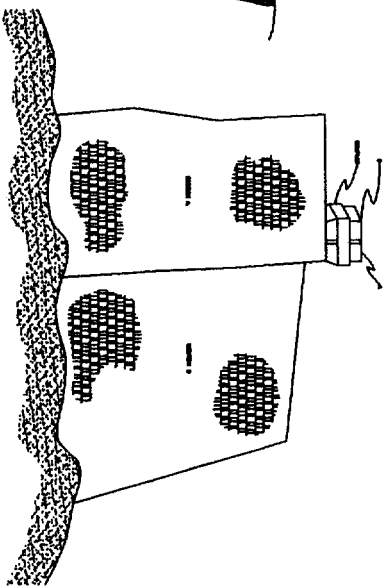
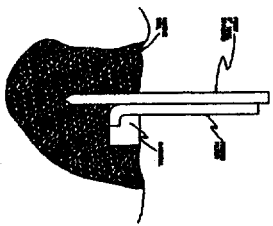
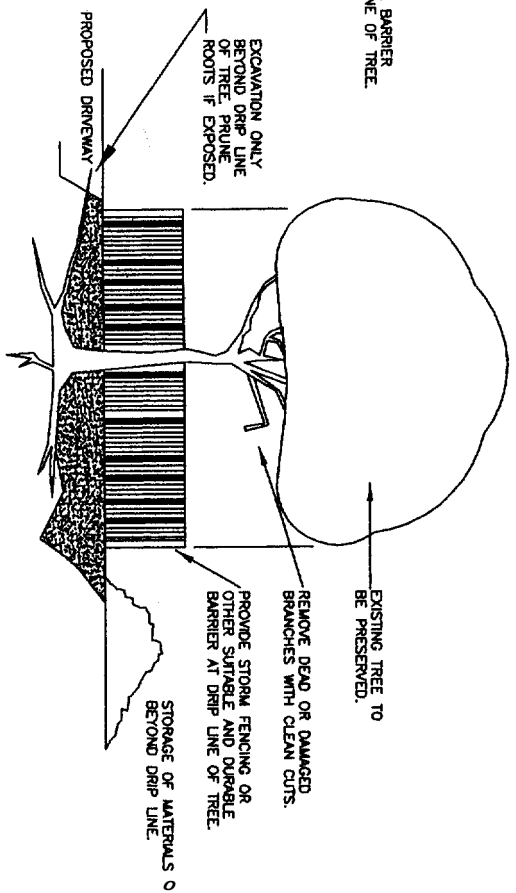
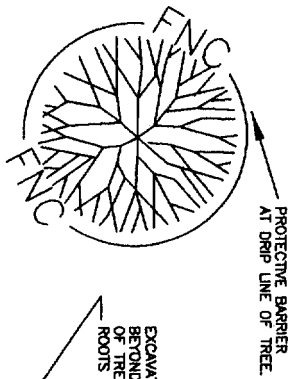


NOTE  
LOCATION / WARNING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.

EXTEND WOODEN 2x4 TO GRADE TO DELINEATE END OF STUB



TYPICAL HOUSE LATERAL WPE CONNECTION DETAILS  
NOT TO SCALE

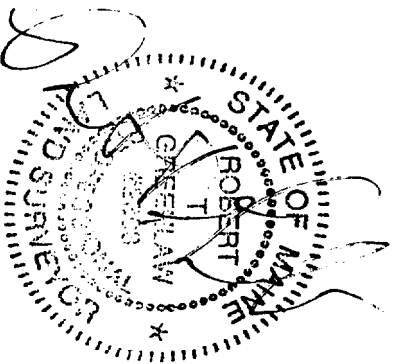


INSTALLATION:

1. EXCAVATE A 6" X 8" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PLUG AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. BARRIER SHALL BE MIRAR SILT FENCE OR EQUAL.

FILTER BARRIER  
NOT TO SCALE

SILT FENCE DETAIL



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
FEB 9 2005  
RECEIVED

398 1110

DETAIL SHEET  
47 SUMMIT STREET, PORTLAND, MAINE

FOR: DAVID & MICHELE HEADER

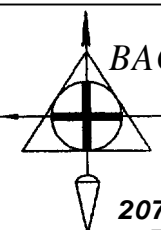
PREPARED BY:  
BACK BAY BOUNDARY, INC.  
LAND SURVEYING

643 FOREST AVE.  
PORTLAND, MAINE

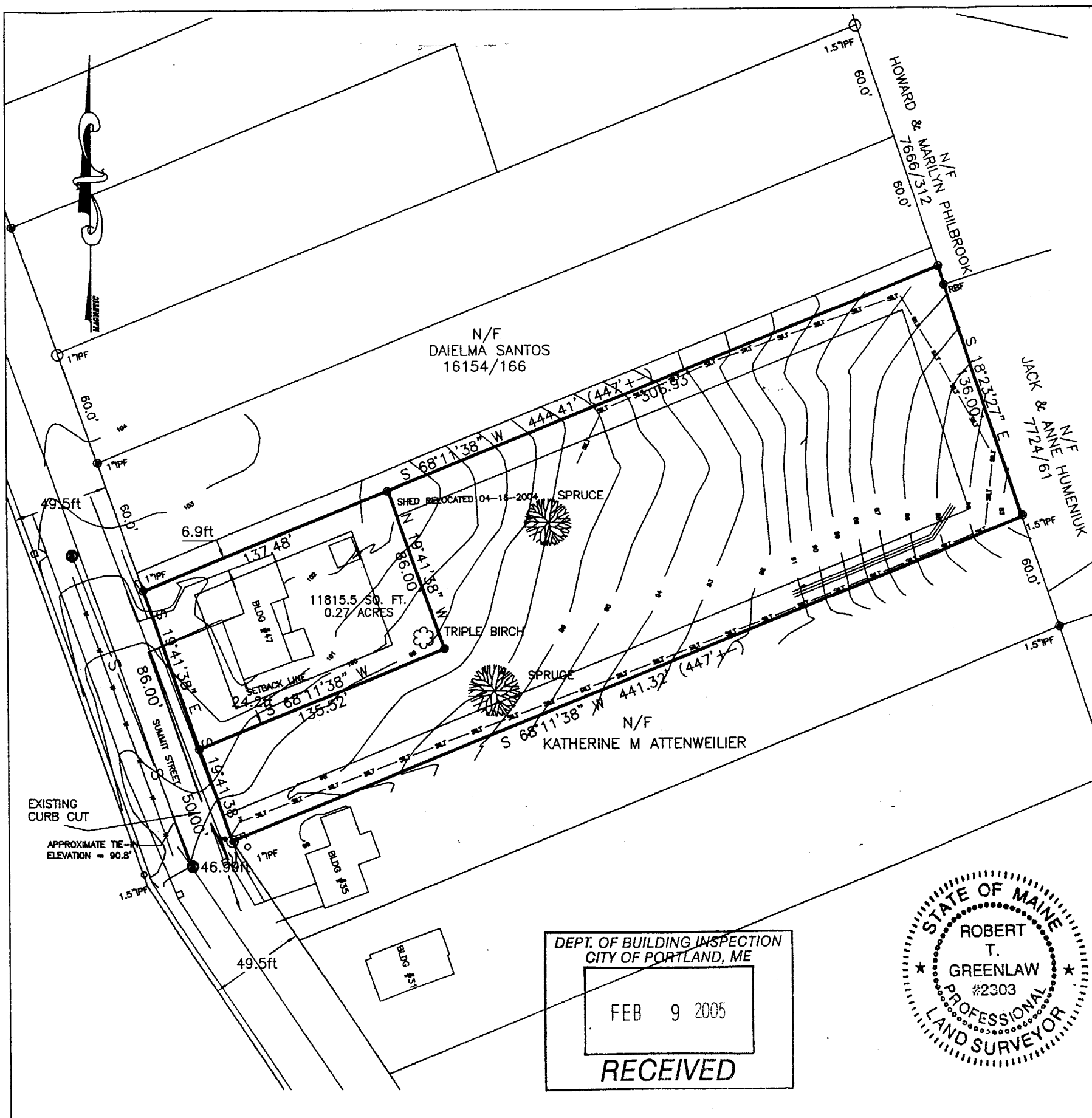
207-774-2855 FAX 207-347-4346

DRAWN BY: DMD  
CHECKED BY: GAS  
SCALE: NOT TO SCALE  
DATE OF SURVEY: 04-01-04  
JOB NUMBER:  
2004043  
SHEET: 7 OF 1

FOR:



DRAWER: 2004 NO: 043



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: DAVID J. & MICHELE A. HEADER BOOK 17883 PAGE 078 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
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  5. ZONING: R-2 ZONE 1 & 1.5 STORY 2 STORY  
 SETBACKS: FRONT - 25.00 FEET 25.00 FEET  
 REAR - 25.00 FEET 25.00 FEET  
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MINIMUM LOT SIZE: 10,00 SQ. FT.  
 MINIMUM LOT WIDTH: 80.00 FEET  
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 MAXIMUM LOT COVERAGE: 20 PERCENT  
 MINIMUM FRONTAGE: 50.00 FEET

**LEGEND**

- Capped 5/8" Rebar Set With Registration Number 2303
- Iron Pipe or Solid Pin Found
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- u — Overhead Utility
- ⊕ Utility Pole
- Edge of traveled way
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- 91 — Contour Line

**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

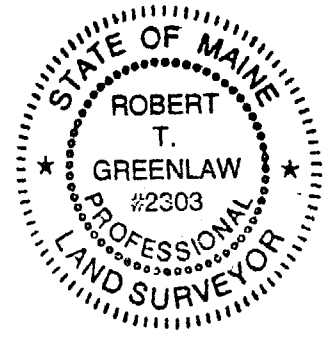
- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

*Robert T. Greenlaw*

DATE: 04-20-2004

ROBERT T. GREENLAW P.L.S.  
 PRESIDENT BACK BAY BOUNDARY, INC.

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 FEB 9 2005  
**RECEIVED**



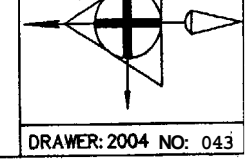
REVISION: 04-20-2004 REMOVED ORIGINAL SHED LOCATION.  
 REVISION: 04-13-2004 ADDED RELOCATED SHED

**PROPOSED LOT SPLIT**  
 47 SUMMIT STREET PORTLAND, MAINE

FOR: **DAVID & MICHELE HEADER**

DRAWN BY: DMD  
 CHECKED BY: GAS  
 SCALE: 1"=60'  
 DATE OF SURVEY: 04-01-04  
 JOB NUMBER: 2004043  
 SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 PROFESSIONAL LAND SURVEYING  
 65 NEWBURY STREET  
 PORTLAND, MAINE  
 207-774-2855 FAX 207-761-2010

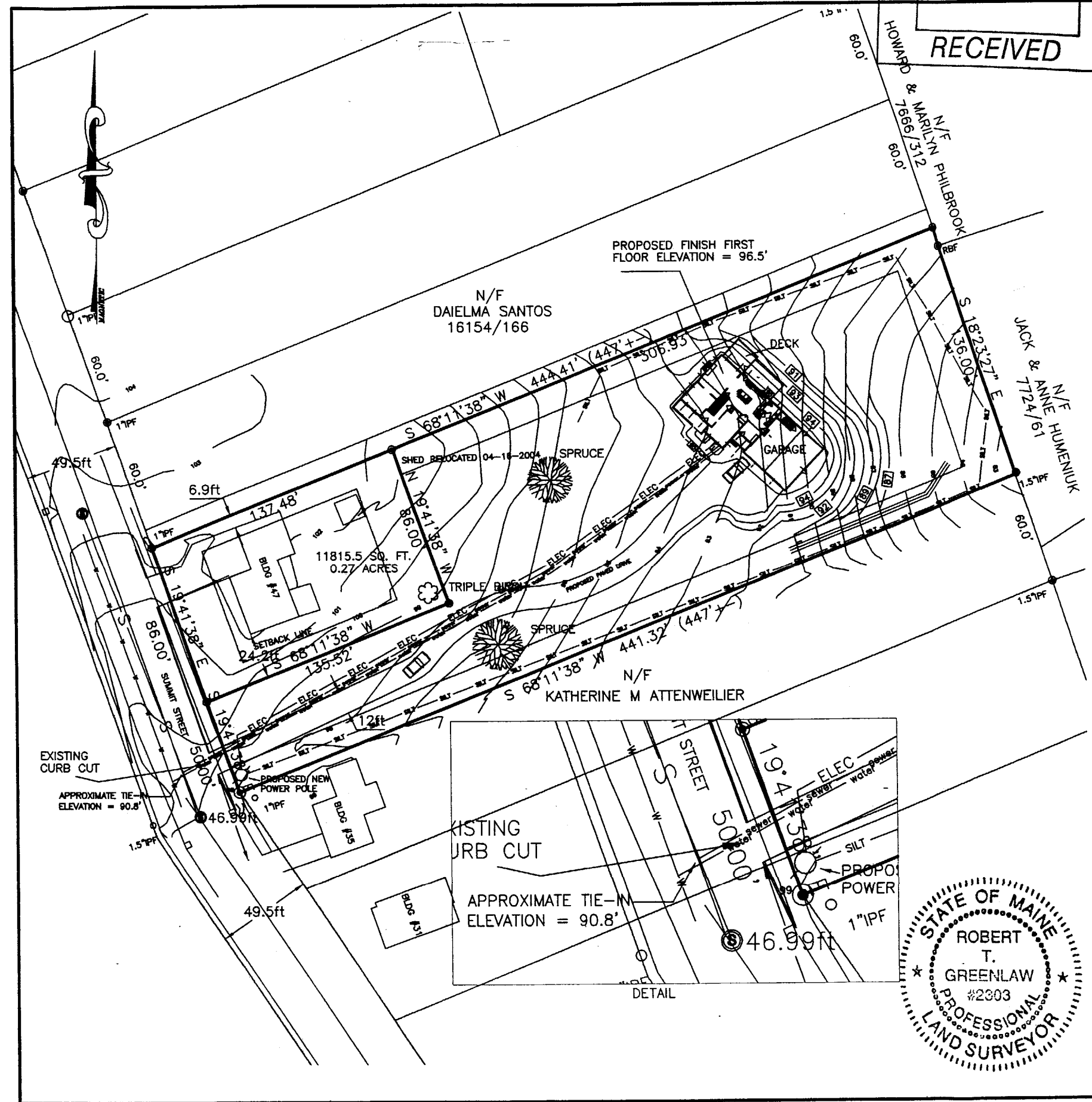


DRAWER: 2004 NO: 043

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

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- Iron Pipe or Solid Pin Found
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- Property Line
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- Utility Pole
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- - - Set Back Line
- 91 Contour Line
- [91] Proposed Contour Line

SURVEYORS STATEMENT:

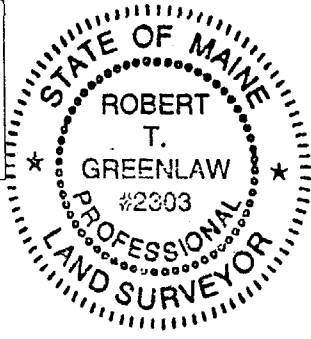
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH M E FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

*Robert T. Greenlaw*

298 H10

DATE: 04-20-2004



ROBERT T. GREENLAW P.L.S.  
PRESIDENT BACK BAY BOUNDARY, INC.

REVISION: 04-20-2004 REMOVED ORIGINAL SHED LOCATION.  
REVISION: 04-13-2004 ADDED RELOCATED SHED

PROPOSED LOT SPLIT  
47 SUMMIT STREET PORTLAND, MAINE

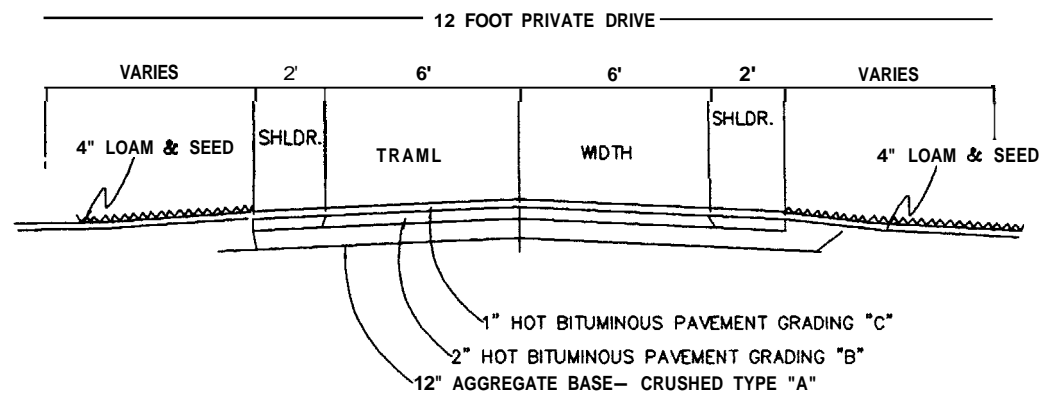
FOR: DAVID & MICHELE HEADER

DRAWN BY: DMD  
CHECKED BY: GAS  
SCALE: 1"=60'  
DATE OF SURVEY: 04-01-04  
JOB NUMBER: 2004043  
SHEET: 1 OF 1

PREPARED BY:  
BACK BAY BOUNDARY, INC.  
PROFESSIONAL LAND SURVEYING  
65 NEWBURY STREET  
PORTLAND, MAINE  
207-774-2855 FAX 207-761-2010

DRAWER: 2004 NO: 043

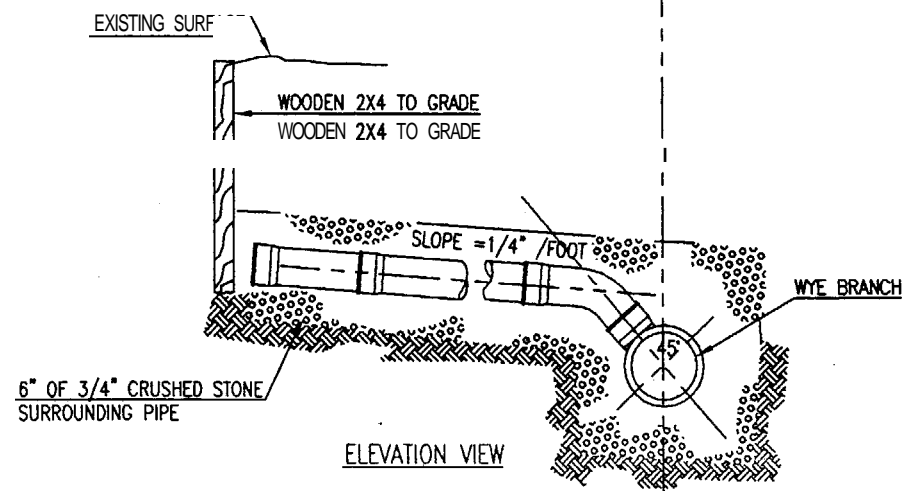
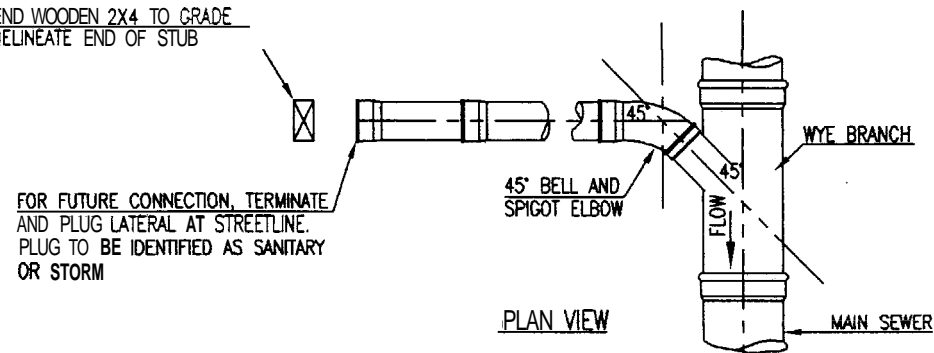




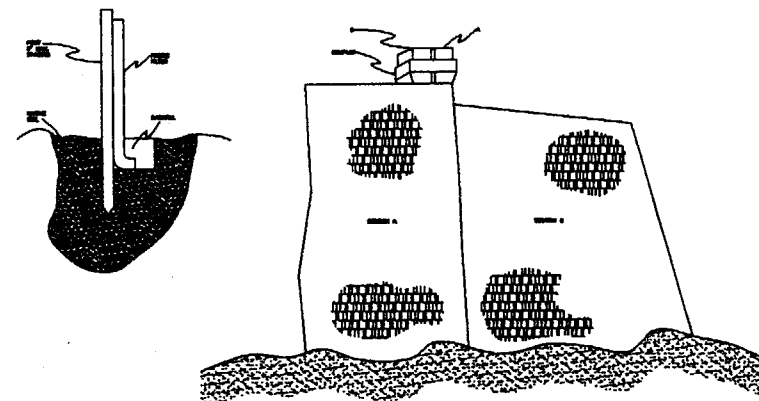
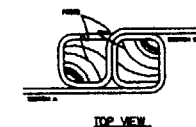
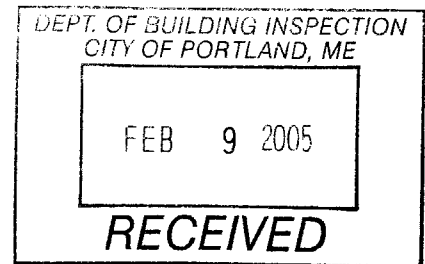
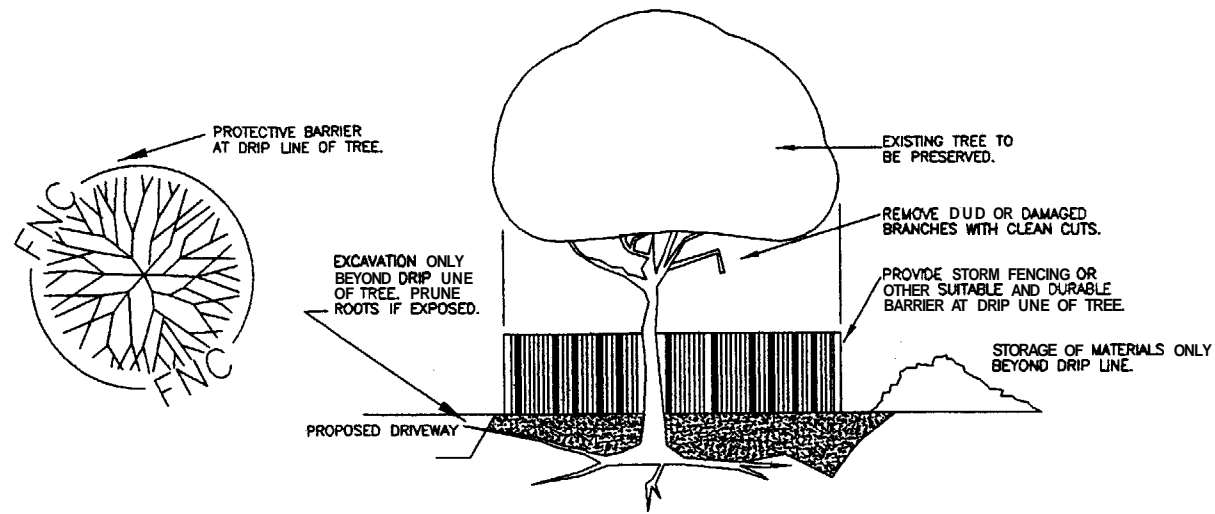
**NOTE**

LOCATION / WARNING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE

EXTEND WOODEN 2X4 TO GRADE TO DELINEATE END OF STUB

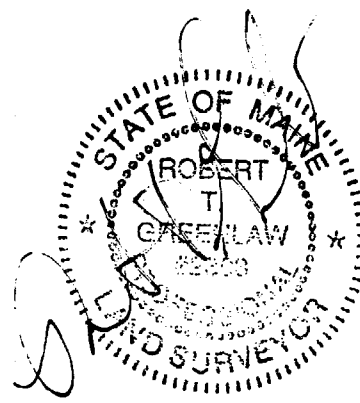


TYPICAL HOUSE LATERAL WYE CONNECTION DETAILS  
NOT TO SCALE



- INSTALLATION:
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
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FILTER BARRIER  
NOT TO SCALE  
SILT FENCE DETAIL



398 H10

DETAIL SHEET  
47 SUMMIT STREET PORTLAND, MAINE  
FOR: DAVID & MICHELE HEADER

DRAWN BY: DMJ	CHECKED BY: GAS
SCALE: NOT TO SCALE	DATE OF SURVEY: 04-01-04
JOB NUMBER: 2004043	SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
LAND SURVEYING  
643 FOREST AVE.  
PORTLAND, MAINE  
207-774-2855 FAX 207-347-4346

FEB 9 2005

RECEIVED

GENERAL NOTES:

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- [91] - Proposed Contour Line

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO M E MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION

*Robert T. Greenlaw*

DATE: 04-20-2004

ROBERT T. GREENLAW P.L.S.  
PRESIDENT BACK BAY BOUNDARY, INC.

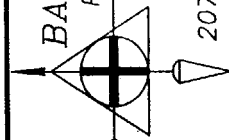
REVISION: 04-20-2004 REMOVED ORIGINAL SHED LOCATION.  
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PROPOSED LOT SPLIT  
47 SUMMIT STREET PORTLAND, MAINE

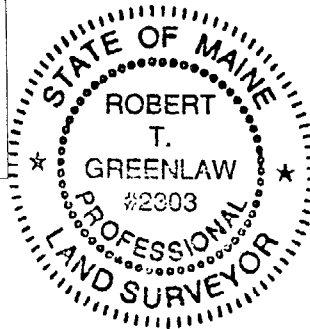
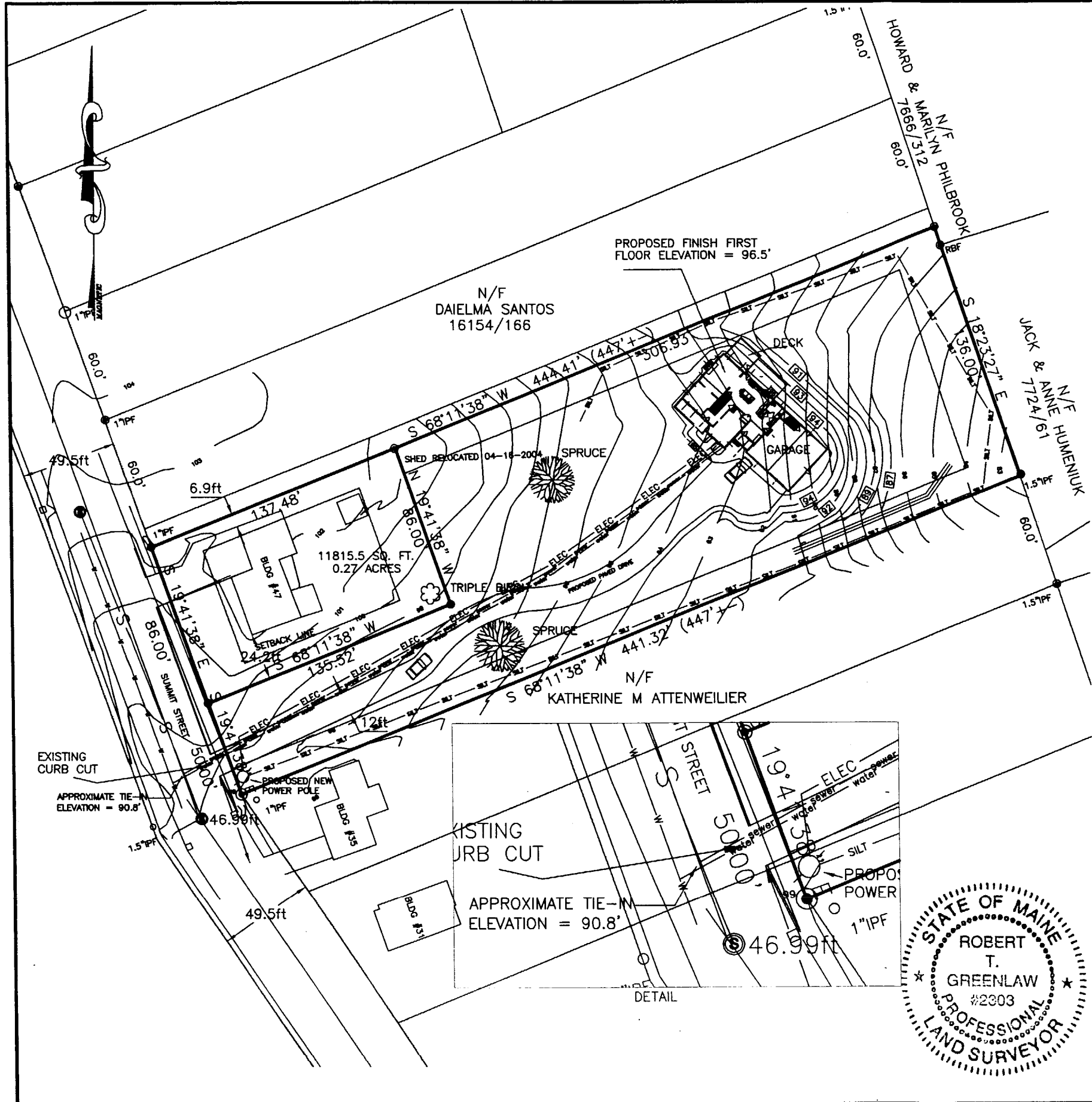
FOR: DAVID & MICHELE HEADER

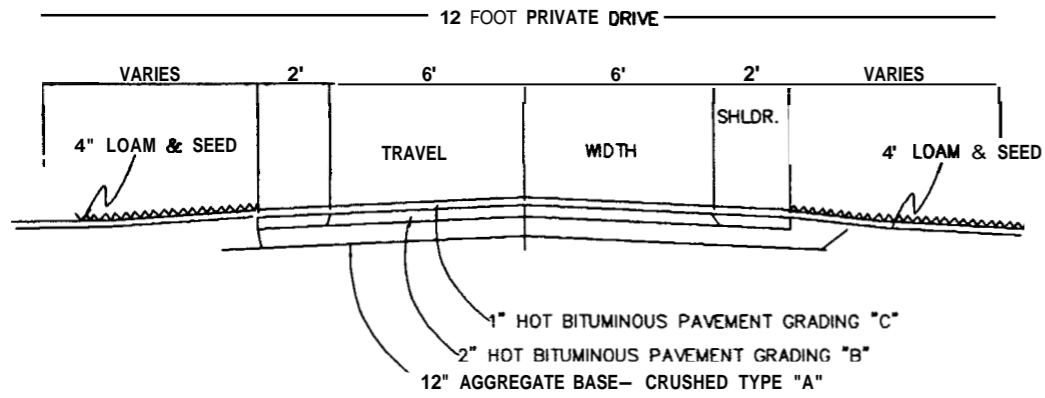
DRAWN BY: DMD  
CHECKED BY: GAS  
SCALE: 1"=60'  
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SHEET: 1 OF 1

PREPARED BY:  
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65 NEWBURY STREET  
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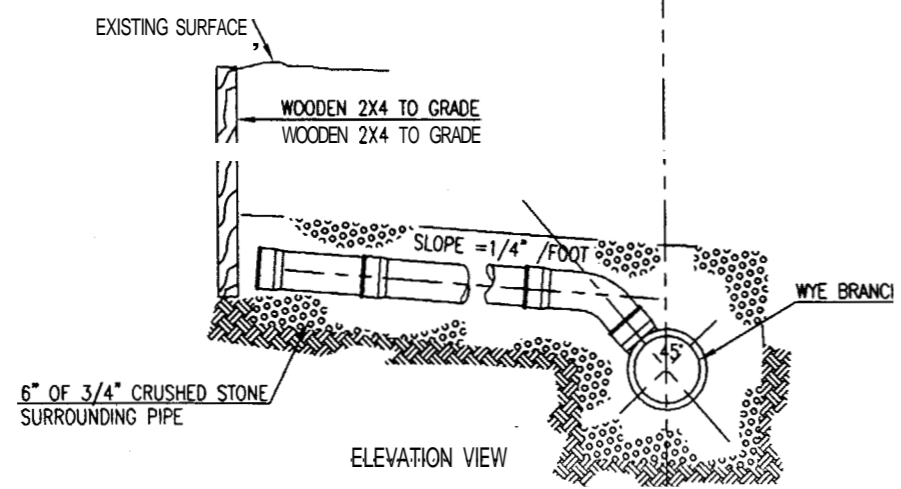
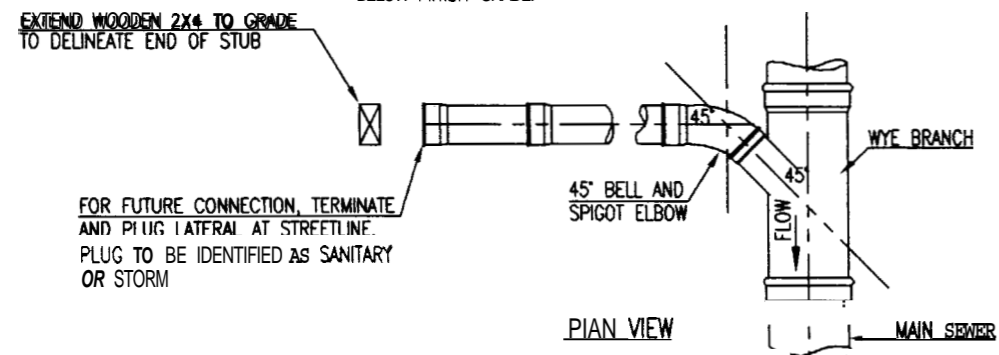


DRAWER: 2004 N O 043

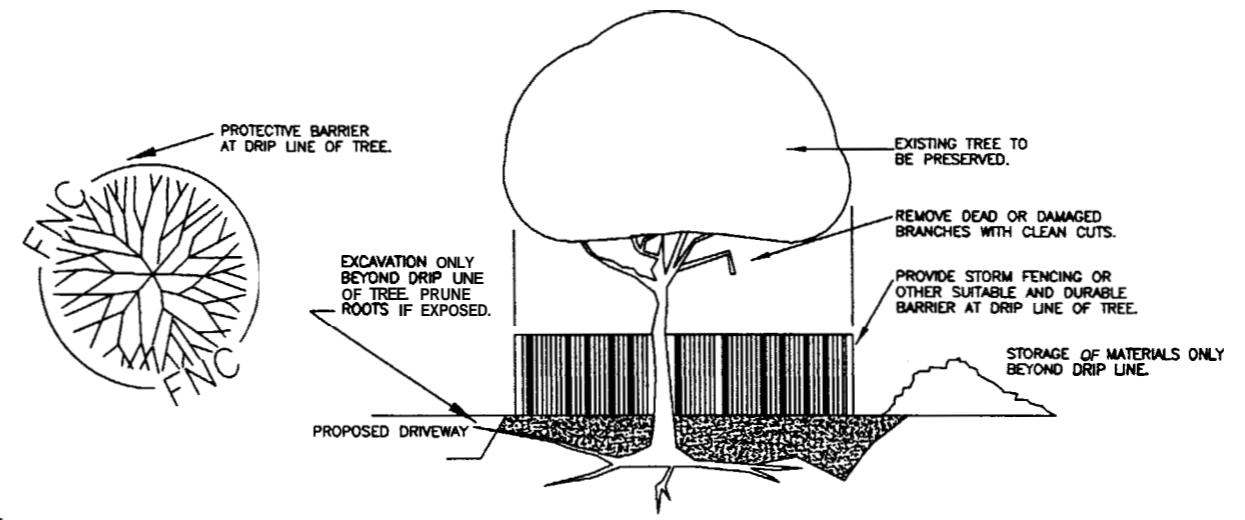




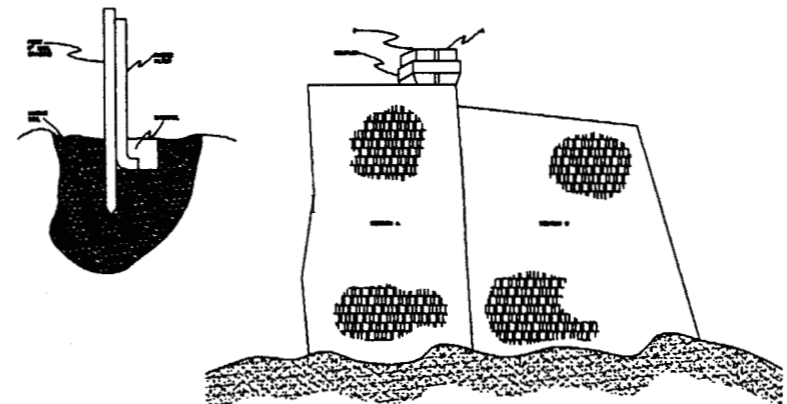
**NOTE**  
 LOCATION / WARNING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.



TYPICAL HOUSE LATERAL WYE CONNECTION DETAILS  
 NOT TO SCALE



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 FEB 9 2005  
**RECEIVED**



- INSTALLATION:**
- EXCAVATE A 6" X 6" TRENCH ALONG THE WYE OF PLACEMENT FOR THE FILTER BARRIER.
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE. BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  - BARRIER WALL BE MIRAFILT SILT FENCE OR EWAL.

FILTER BARRIER  
 NOT TO SCALE  
 SILT FENCE DETAIL



398 H10

FOR: **DAVID & MICHELE HEADER**

DRAWN BY: DMD  
 CHECKED BY: GAS  
 SCALE: NOT TO SCALE  
 DATE OF SURVEY: 04-01-04  
 JOB NUMBER: 2004043  
 SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 LAND SURVEYING  
 643 FOREST AVE.  
 PORTLAND, MAINE  
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