

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080720

PERMIT ISSUED

JUN 23 2008

This is to certify that BOOTHBY TIMOTHY J & ALGORZATA E BOOTHBY S/Pe

has permission to Amendment to Permit # 08-0000 - Extension of Roof over the Entrance

AT 685 ALLEN AVE L 398 B012001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

6/23/08 *CLM*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0720	Issue Date: 6/23/08	CBL: 398 B012001
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Location of Construction: 685 ALLEN AVE	Owner Name: BOOTHBY TIMOTHY J & MALG	Owner Address: 685 ALLEN AVE	Phone: 207-357-6743
Business Name:	Contractor Name: Peter McNaughton	Contractor Address: 143 Pleasant Street Yarmouth	Phone: 2073576743
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Amendment to Permit # 08-0390 - Extend Roof Over the Entry.	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-5 Type: SB IRC-2003	

Proposed Project Description:
Amendment to Permit # 08-0390 - Extend Roof Over the Entry.

Signature: _____ Signature: *CE MA 6/23/08*

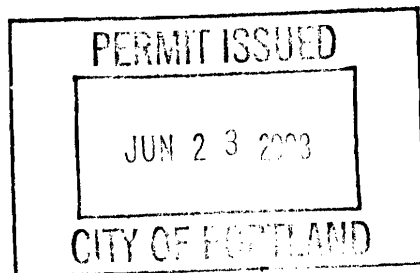
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: lmd	Date Applied For: 06/20/2008	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>OK</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/23/08</i> <i>CE</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>6/23/08</i> <i>CE</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>485 Allen Ave</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>4 FT. SHED ROOF OVER ENTRY. Amend Permit # 08-0390</u>		
Contractor's name: <u>Peter McLaughlin</u>		
Address: <u>143 Pleasant St</u>		
City, State & Zip: <u>Yarmouth 04096</u>		Telephone: _____
Who should we contact when the permit is ready: <u>↑</u>		Telephone: <u>357 6743</u>
Mailing address: <u>Same as</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

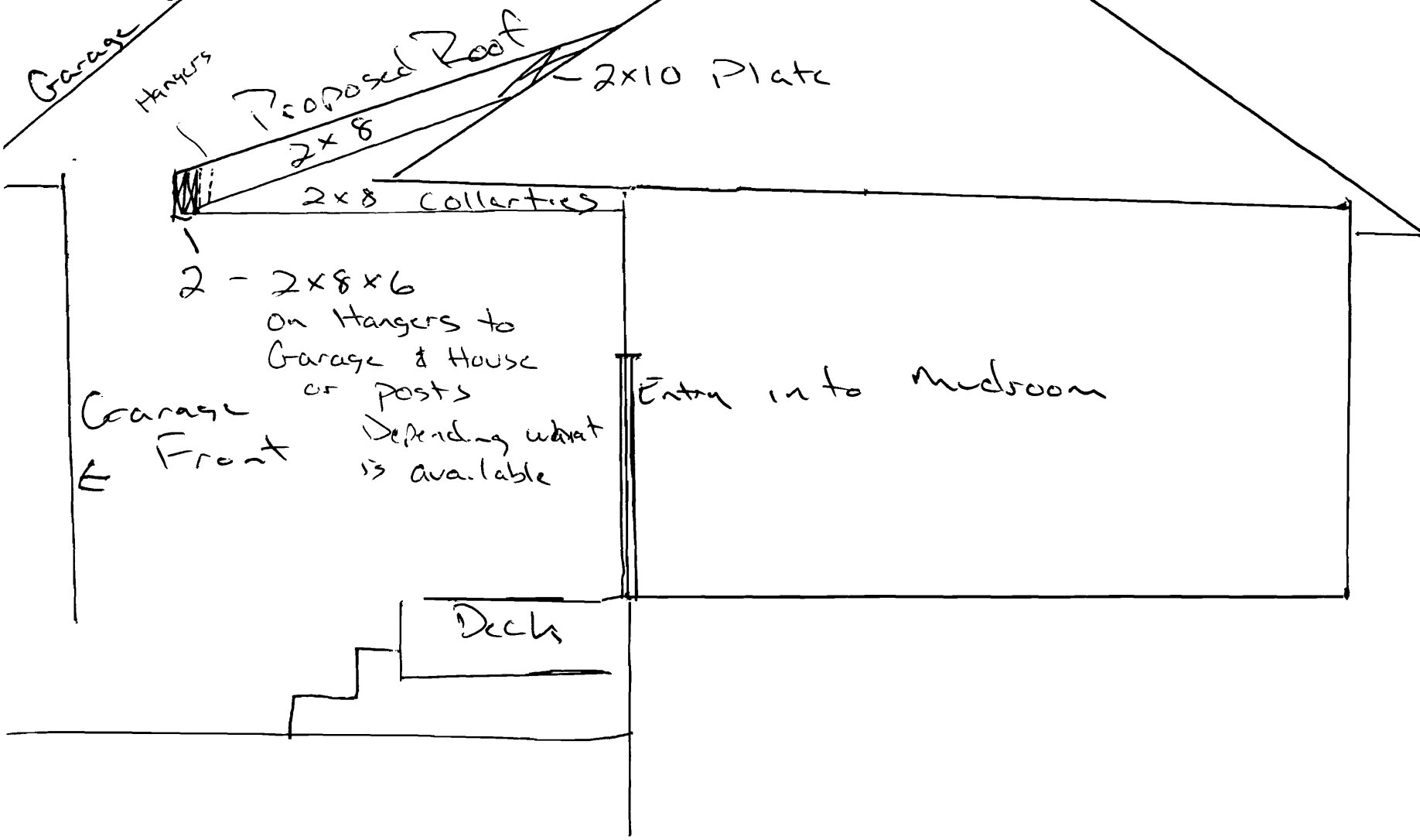
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6-20-08

This is not a permit; you may not commence ANY work until the permit is issued.

We want to extend a shed roof
an additional 4-6" Beyond Trusses



Allen Ave

Trusses cantilever
4' over
Mudroom

100' plus

Roof line

Property line

Ex-st-
House

Garage

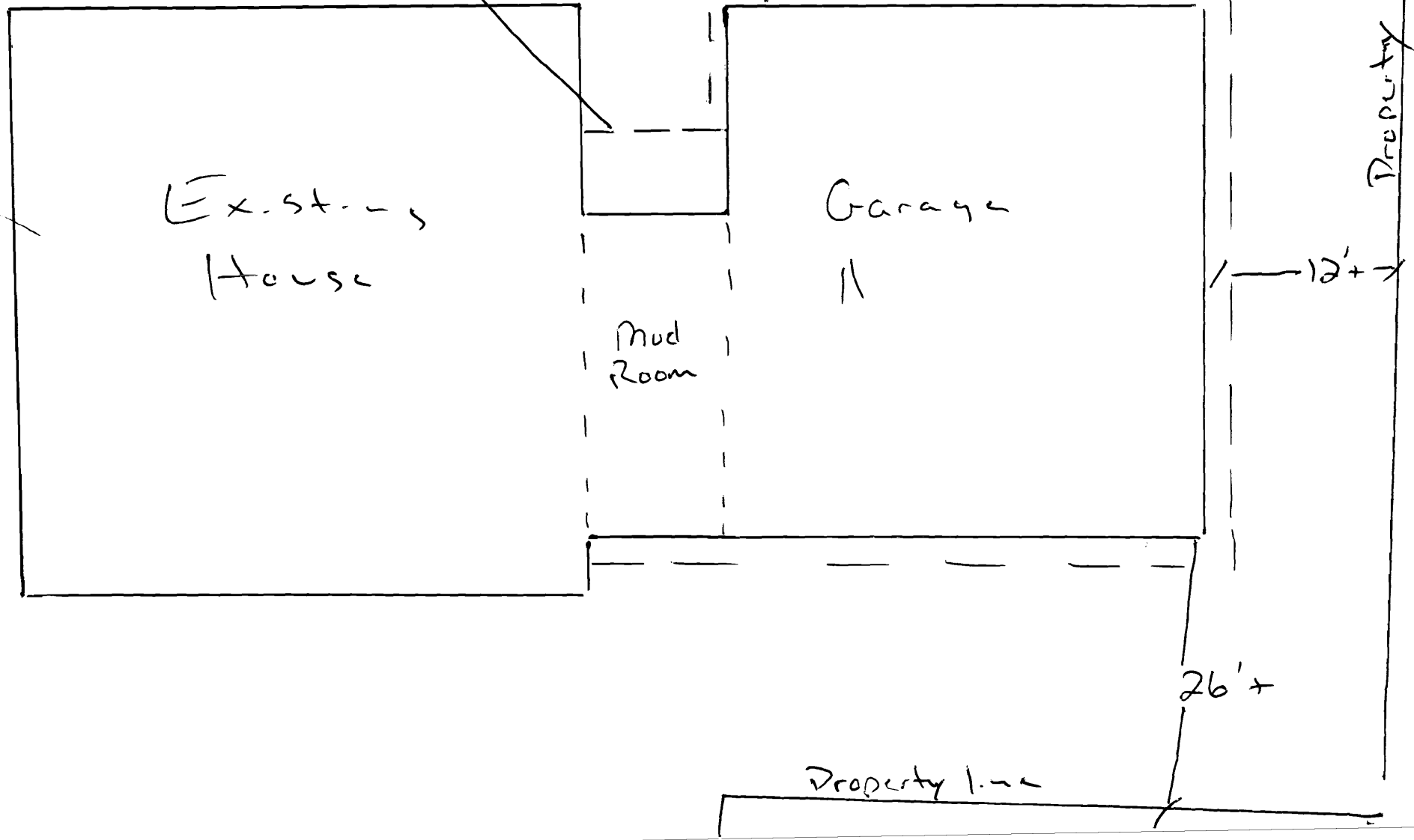
||

Mud
Room

12' +

26' +

Property line





Same-Day Permitting

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects.

This permitting program applies only to existing single family homes not located within a historic district or shoreland zone.

Eligible Projects

Please submit a complete application with the required plans

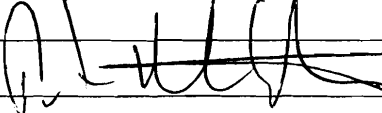
- Interior non structural projects (i.e. Adding closets, bathrooms, changing floor plans, kitchen remodels)
- Repairs to existing decks, porches and stairs that meet current zoning setbacks
- Adding or replacing windows and doors (not to include bay windows)
- Sheds less than 100 sq. ft.
- One story open entry/porch, 50 sq. ft. or less with maximum 6 ft. projection from the principal structure
- Chimney installation (NFPA 211 disclosure statement required)
- Propane tanks
- Heating Appliances (i.e. HVAC systems, gas inserts/monitors, wood/pellet stoves)
- Bulkheads 50 sq. ft. or less with maximum of 2 ft. in height (low profile)

Amendment of Permit

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant: 	Date: 6-20-08
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This is not a permit; you may not commence ANY work until the permit is issued.



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

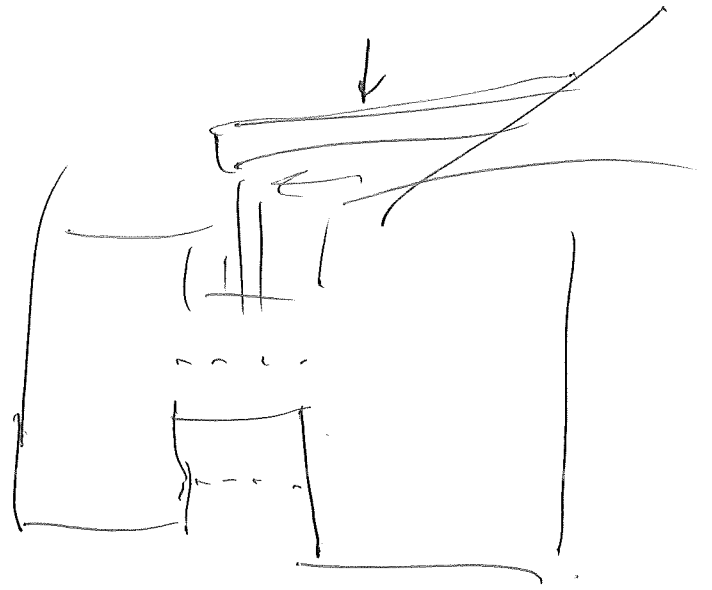
Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Cross Section -

Plot plan -

Gen. Appl. (Amendment
to permit #)



Same Day payments

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0390	Date Applied For: 04/22/2008	CBL: 398 B012001
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Location of Construction: 685 ALLEN AVE	Owner Name: BOOTHBY TIMOTHY J & MALG	Owner Address: 685 ALLEN AVE	Phone:
Business Name:	Contractor Name: Peter McNaughton	Contractor Address: 143 Pleasant Street Yarmouth	Phone: (207) 357-6743
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - one story 26' x 26' Garage attached to house by 6' x 16' mudroom	Proposed Project Description: build one story 26' x 26' Garage attached to house by 6' x 16' mudroom
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/16/2008**Note:** Original application was for bigger garage with living space above. Had to revise the size to meet the setbacks. **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/23/2008**Note:** **Ok to Issue:**

- 1) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Fastener schedule per the IRC 2003
- 4) The attic scuttle opening must be 22" x 30".
- 5) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

5/6/2008-amachado: Left message for Peter McNaughton, contractor. The proposed garage does not meet the 25' rear setback. The plot plan says 21'. Need full size, scalable set of building plans.

5/16/2008-amachado: Received revised plans.



General Building Permit Application

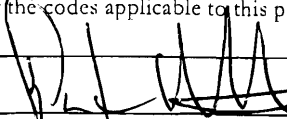
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>685 Allen Ave</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer * Name <u>Tim Boothby</u> Address <u>685 Allen Ave</u> City, State & Zip <u>Portland ME</u>	Telephone:
<u>398 B 12</u>		
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>48,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>500</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single family</u> Is property part of a subdivision? _____ If yes, please name _____, not part of revision 5/16/08 Project description: <u>Garage with future living space above with attached mud room</u>		
Contractor's name: <u>Peter McLaughlin</u> Address: <u>113 Pleasant St</u> City, State & Zip: <u>Yarmouth ME 04096</u> Telephone: <u>357-6743</u> Who should we contact when the permit is ready: <u>Peter McLaughlin</u> Telephone: <u>357-6743</u> Mailing address: <u>113 Pleasant St Yarmouth</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

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Signature: 

Date: _____

This is not a permit; you may not commence ANY work until the permit is issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footings/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

5-23-08
Date



Signature of Inspections Official

5/23/08
Date

Applicant: Tim Boothby

Date: 5/6/8

Address: 685 Allen Ave.

C-B-L: 398-B-12
perm: # 08-0395

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 2006.

Zone Location - R-3

Interior or corner lot - ~~ok~~

Proposed Use/Work - ~~add 2 story garage (26'x28')~~ ~~2'6" x 18' modern~~
1 story garage (26'x26') attached to house by 6'x18' modern

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25' min. - ok.

*Rear Yard - 25' min. - ~~29' given~~ 29' given ok.

Side Yard - ~~2 story 14' min - 14' given~~ 12' given ok.
1 story 8' min -

Projections -

Width of Lot -

→ Height - 35' max

Lot Area - 49472

Lot Coverage/Impervious Surface - 35% = 17315.2 ok

Area per Family - 6,500 Φ

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

Revised
Plan

O.K

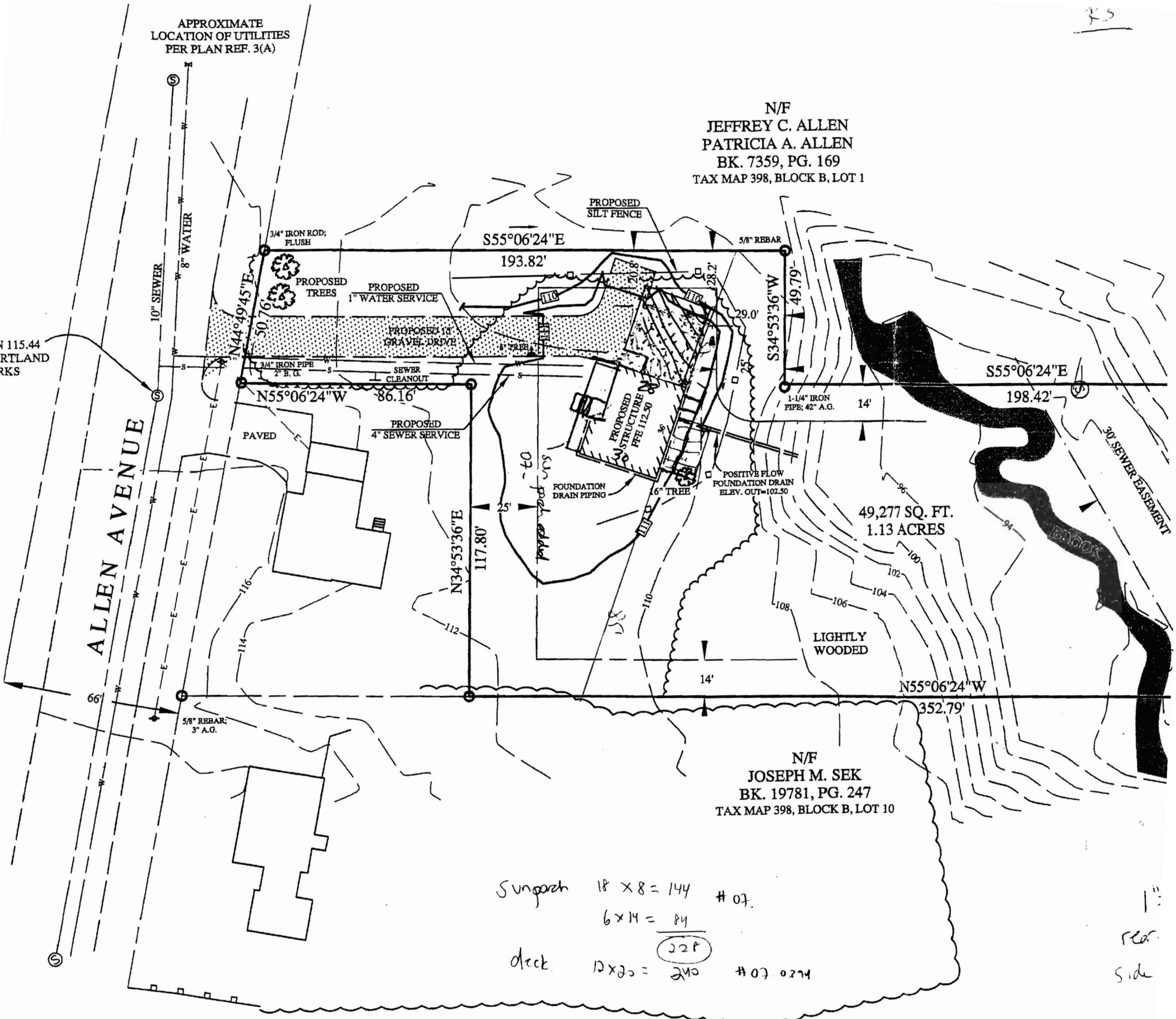
OK
6/27

APPROXIMATE LOCATION OF UTILITIES PER PLAN REF. 3(A)

N/F
JEFFREY C. ALLEN
PATRICIA A. ALLEN
BK. 7359, PG. 169
TAX MAP 398, BLOCK B, LOT 1

N 115.44
RTLAND
RKS

ALLEN AVENUE



49,277 SQ. FT.
1.13 ACRES

LIGHTLY
WOODED

N/F
JOSEPH M. SEK
BK. 19781, PG. 247
TAX MAP 398, BLOCK B, LOT 10

Sunporch 18 x 8 = 144 # 07.

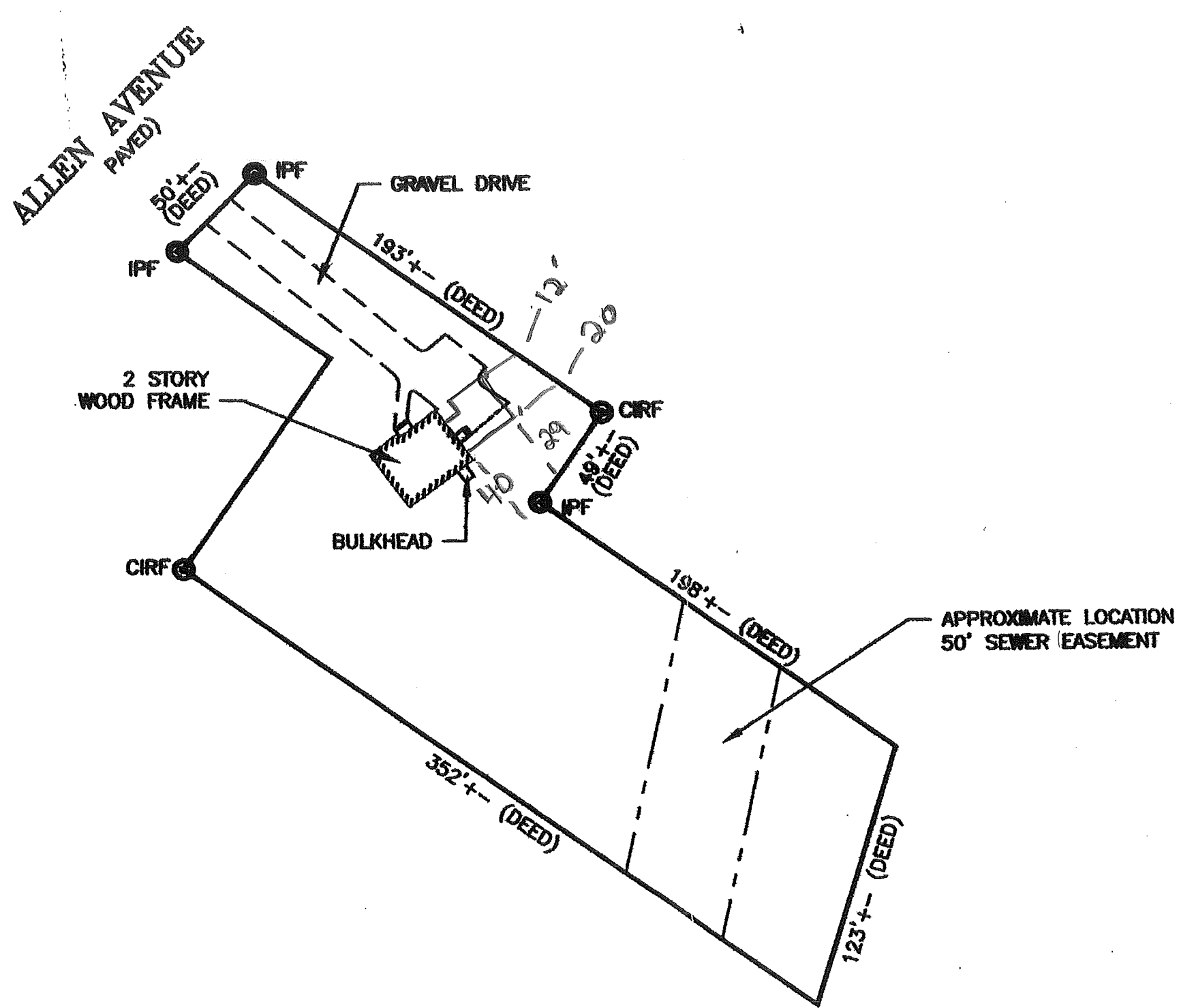
6 x 14 = 84

228

deck 12 x 20 = 240 # 07 0774

1"
rear
side

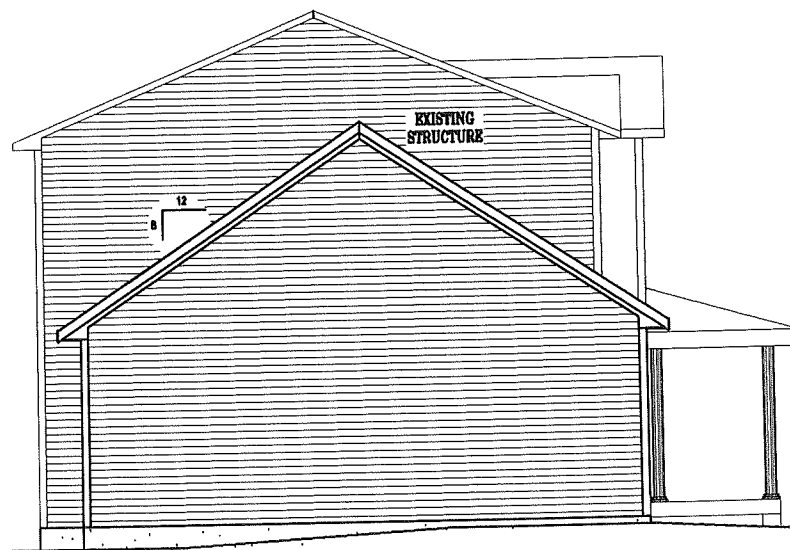
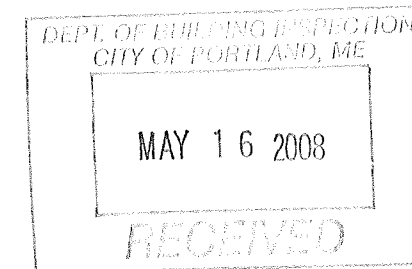
Mortgage Loan Inspection



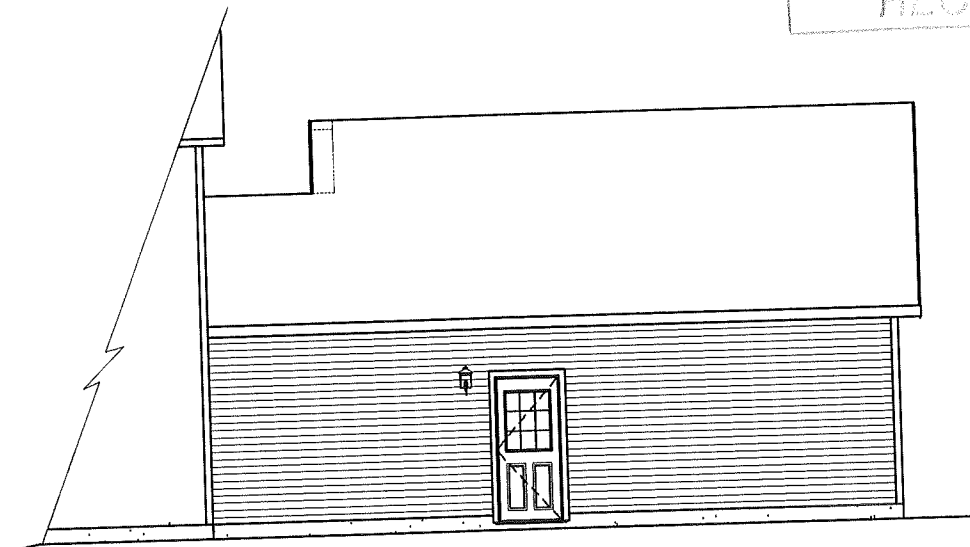
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 16 2008
RECEIVED



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

CONTRACTOR NOTE:
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE THE START OF CONSTRUCTION. FINISH HEIGHT MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CITY, AND LOCAL CODES.



HOUSE ADDITION-GARAGE
Boothby Residence
685 Allen Ave, Portland ME

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. THE INFORMATION IS NOT THE PROPERTY OF HANCOCK LUMBER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. HANCOCK LUMBER DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION, AND HANCOCK LUMBER DOES NOT ASSUME ANY LIABILITY FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:

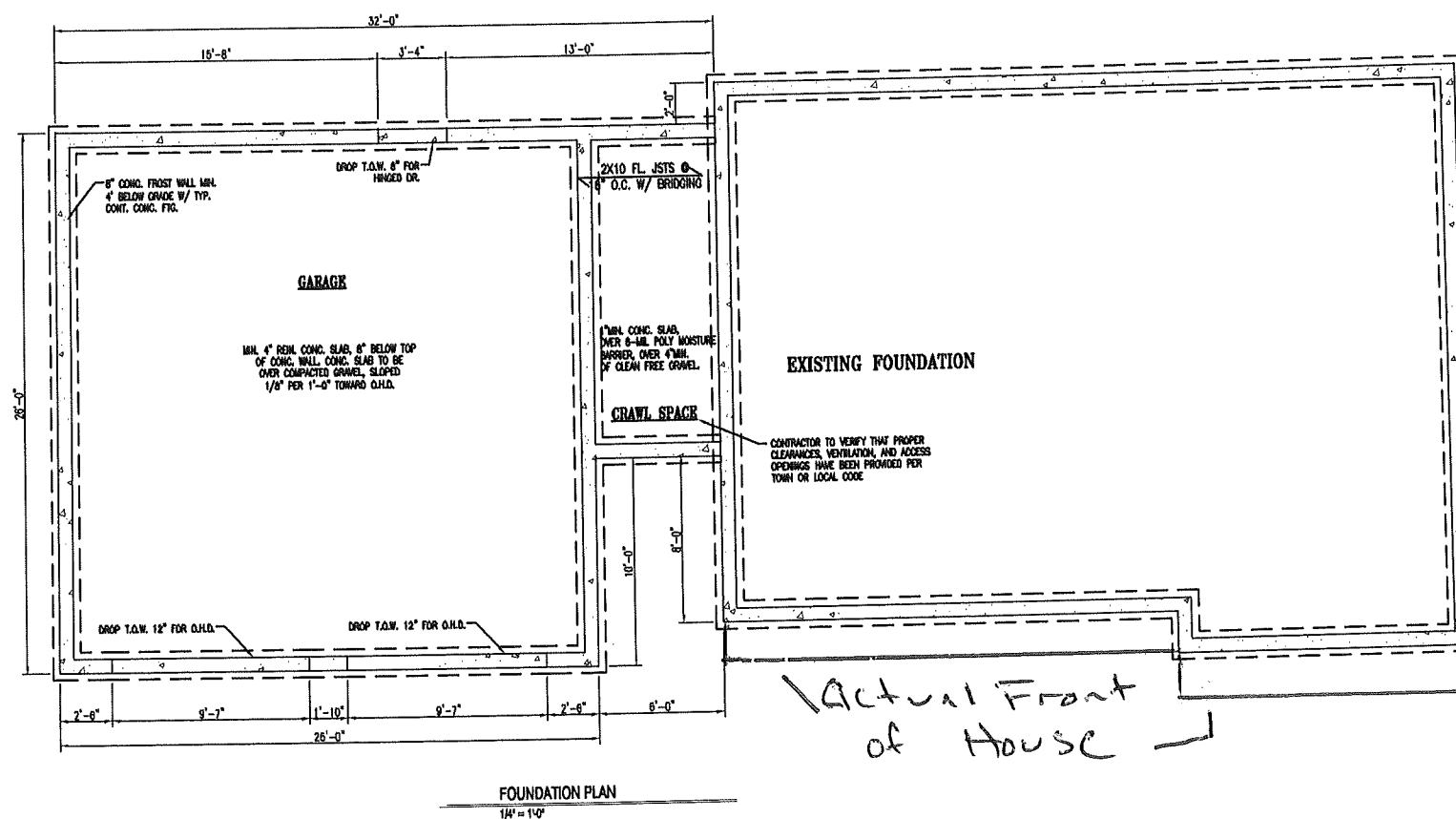
Date : 05-14-08

Scale : 1/4" = 1'-0"

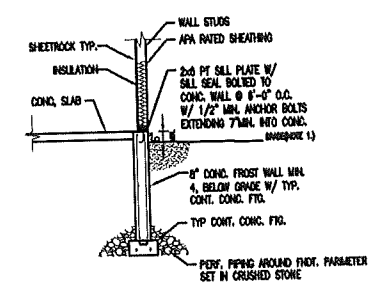
Drawn By: PML

Project: AY040208

Sheet Number:



- FOUNDATION NOTES**
- 4" DIA. PERF. INTER. PERIMETER DRAIN SET IN MIN. 4" OF CLEAN CRUSHED STONE TO ALLOW FOR FUTURE SUB-SLAB VENTILATION IF REQUIRED.
 - ALL COLLARS THIS SHEET ASSUMED TO BE STOCK CONC. FILLED LALLY COLLARS.
 - ALL INTERIOR FOOTINGS ASSUMED TO BE 12" DEEP FOOTINGS LARGER THAN 2" WIDE TO BE REINFORCED WITH #4 REBAR AT 8" O/C BOTH WAYS.
 - DECK SUPPORTS ASSUMED TO BE 1 1/2" DIA. SAWN/LESS ATTACHED TO 1 1/2" DIA. PRE CAST FOOTING W/ 2 Pcs. #4 REBAR @ 1000' 4/4 POST BASE SET FLUSH /FINISH GRADE AT TOP UNLESS NOTED OR PER CONT.
 - CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND STEP FWD. AS REQUIRED PER GRADE.



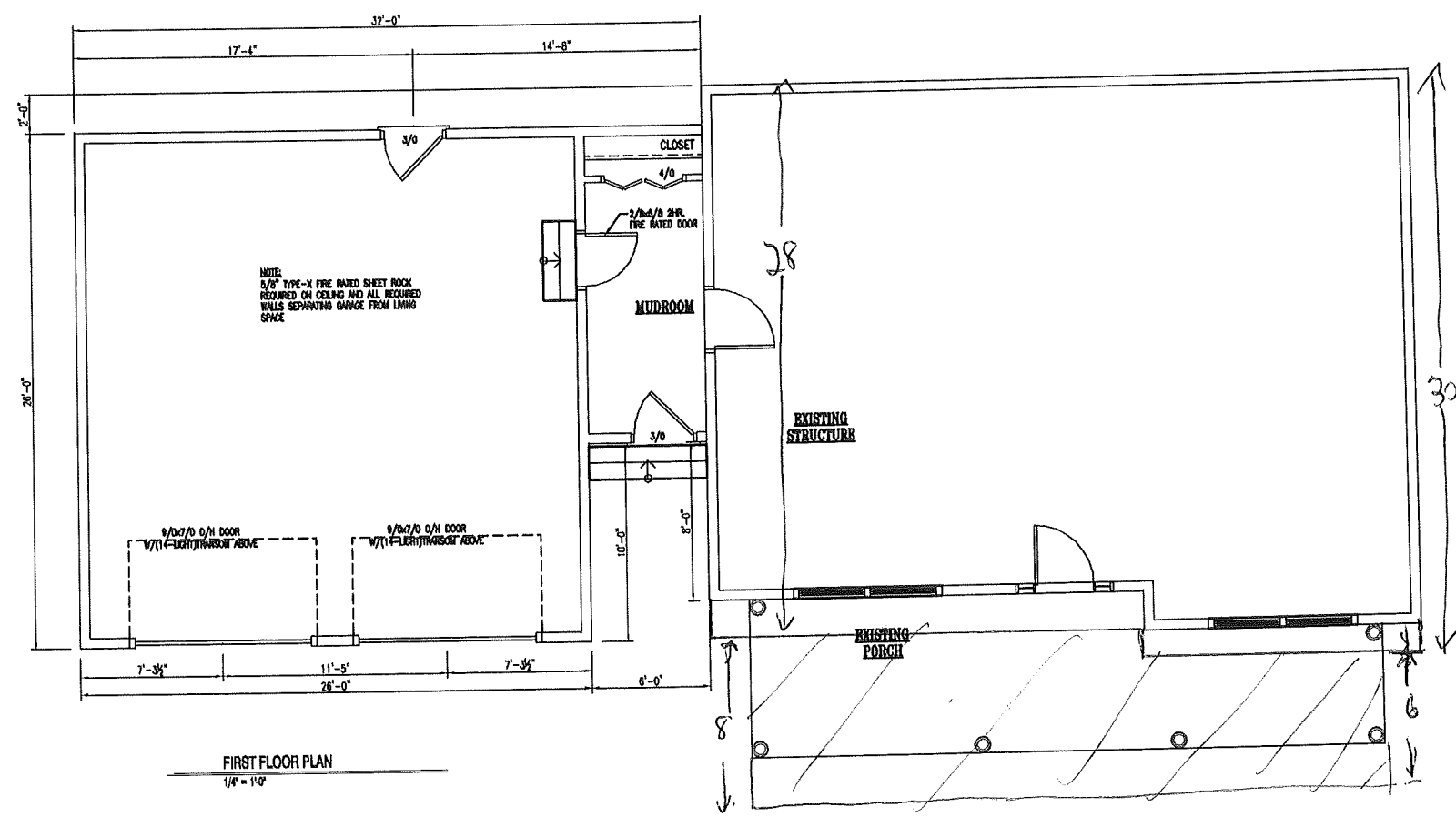
NOTE:
1. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 1/2" VERTICAL TO 12" HORIZONTAL FOR A MINIMUM DISTANCE OF 8'-0". THIS CONDITION SHALL EXIST AFTER SETTLEMENT OF BACKFILL HAS OCCURRED.

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD VERIFY THAT THIS INFORMATION IS NOT THE WORK OF AN ARCHITECT OR ENGINEER. HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND DOES NOT BUILD OR CONSOLE WITH AN ARCHITECT BEFORE. ALSO, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:

Date : 05-14-08
Scale : 1/4"=1'-0"
Drawn By: PML
Project: AY040208
Sheet Number:

FLOOR PLAN
Boothby Residence
685 Allen Ave, Portland ME



FIRST FLOOR PLAN
1/4" = 1'-0"

ANDERSON MFCO CERTIFIED UNIT PERFORMANCE

400 SERIES WINDOWS ANDERSON PRODUCT TYPE:	U-FACTOR	R-VALUE	WITHOUT GRILLES HP LOW-E
CASEMENT	0.33	0.33	0.33
TLT-WASH DOUBLE-HUNG	0.34	0.34	0.34
TLT-WASH DOUBLE-HUNG PICTURE	0.33	0.33	0.33
TLT-WASH DOUBLE-HUNG TRANSOM	0.33	0.33	0.33
AWNING	0.33	0.33	0.33
GLIDING WINDOW	0.36	0.36	0.36

*ANDERSON MFCO CERTIFIED TOTAL UNIT PERFORMANCE

CONSTRUCTION NOTE:
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS OF EXISTING STRUCTURE IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/OWNER, AND LOCAL CODES.

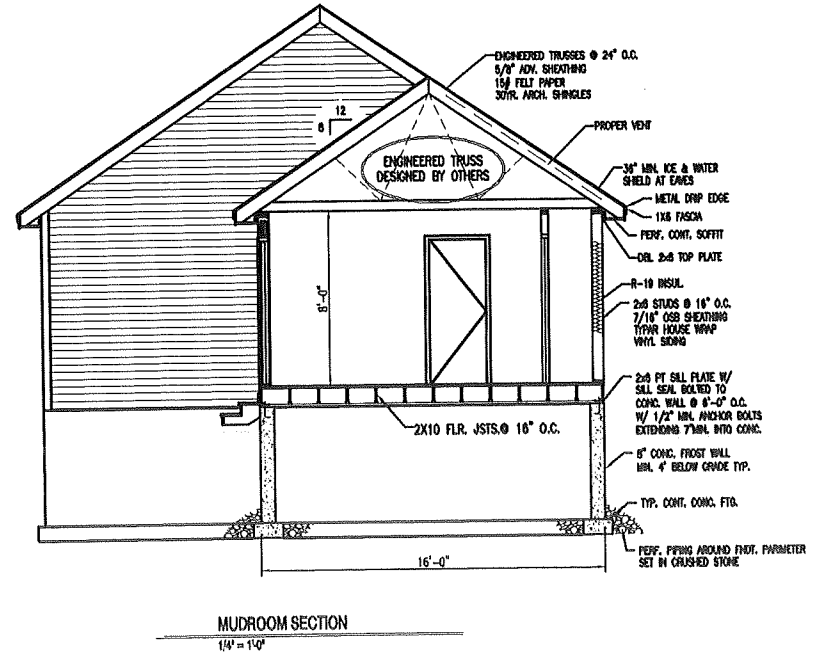
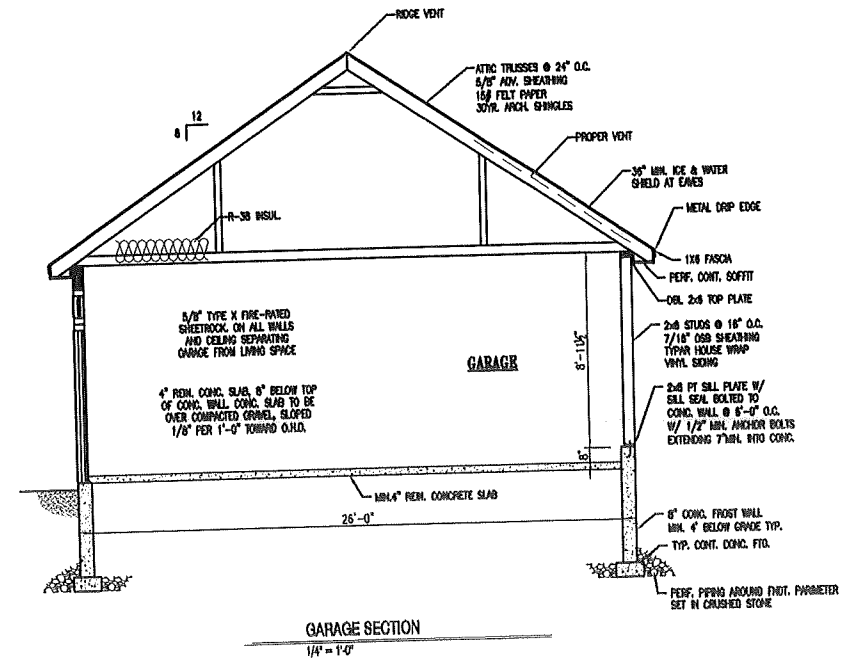
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Revisions:

Date : 05-14-08
Scale : 1/4" = 1'-0"
Drawn By: PML
Project: AY040208
Sheet Number:
3-of-4

TABLE R502A(1) ORDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS (Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)										TABLE R502A(2) ORDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS (Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)															
ORDERS AND HEADERS SUPPORTING		GROUND SNOW LOAD (psf)								HEADERS AND ORDERS SUPPORTING		BUILDING WIDTH (feet)													
		Slope										20				25				30					
		0°		10°		20°		30°				Span		N ₁		N ₂		Span		N ₁		N ₂			
Roof and ceiling	2x8	0	10	20	30	0	10	20	30	One floor only	2x8	0	10	20	30	2x8	0	10	20	30	2x8	0	10	20	30
		10	15	20	25	10	15	20	25			10	15	20	25		10	15	20	25					
		20	20	25	30	20	20	25	30			20	20	25	30		20	20	25	30					
		30	25	30	35	30	25	30	35			30	25	30	35		30	25	30	35					
		40	30	35	40	40	30	35	40			40	30	35	40		40	30	35	40					
Roof, ceiling and over center-bearing floor	2x8	0	10	20	30	0	10	20	30	TWO floor only	2x8	0	10	20	30	2x8	0	10	20	30	2x8	0	10	20	30
		10	15	20	25	10	15	20	25			10	15	20	25		10	15	20	25					
		20	20	25	30	20	20	25	30			20	20	25	30		20	20	25	30					
		30	25	30	35	30	25	30	35			30	25	30	35		30	25	30	35					
		40	30	35	40	40	30	35	40			40	30	35	40		40	30	35	40					

- For S₁: 1 inch=25.4mm, 1 pound per square foot=0.0479kN/m²
- Spans are given in feet and inches.
 - Tabulated values assume #2 grade lumber.
 - Building width is measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.
 - N₁-Number of jack studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall stud end to the header.
 - Use 30psf ground snow load for cases in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.



NEW ADDITION-SECTIONS
Boothby Residence
685 Allen Ave, Portland ME

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