

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 070256

Please Read  
Application And  
Notes, if Any,  
Attached

This is to certify that BOOTHBY TIMOTHY I & ALGORZATA E BOOTHBY

has permission to add roof over existing deck

AT 685 ALLEN AVE

398 B012001

PERMIT ISSUED	
MAR 14 2007	
CITY OF PORTLAND	

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services closed-in. **YOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Thomas M. Markley* 3/15/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

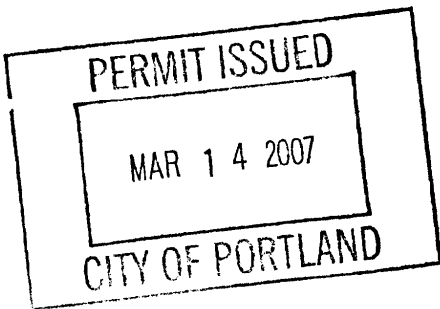
Permit No: 07-0256	Issue Date:	CBL: 398 B012001
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Location of Construction: 685 ALLEN AVE	Owner Name: BOOTHBY TIMOTHY J & MALG	Owner Address: 14 WARRENS WAY # 2	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home - add roof over existing deck	Permit Fee: \$30.00	Cost of Work: \$900.00	CEO District: 5
Proposed Project Description: add roof over existing deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB  IRC 2003	
		Signature: _____		Signature: <i>Jm</i> 3/15/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 03/13/2007	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>Jm</i> 3/15/07	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 3/15/07
	(OK)		



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0256	<b>Date Applied For:</b> 03/13/2007	<b>CBL:</b> 398 B012001
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<b>Location of Construction:</b> 685 ALLEN AVE	<b>Owner Name:</b> BOOTHBY TIMOTHY J & MALG	<b>Owner Address:</b> 14 WARRENS WAY # 2	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - add roof over existing deck	<b>Proposed Project Description:</b> add roof over existing deck
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Tom Markley      **Approval Date:** 03/15/2007

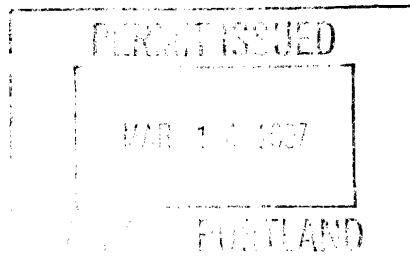
**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 03/15/2007

**Note:** **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

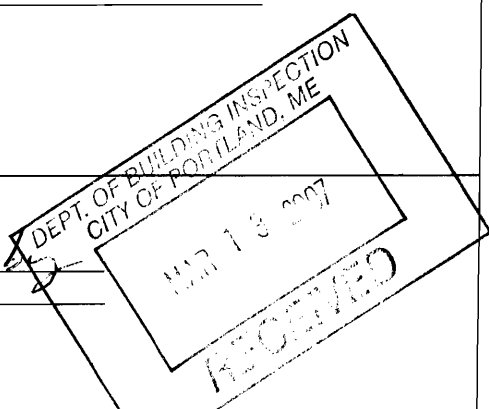




# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>685 ALLEN AVE</u>		
Total Square Footage of Proposed Structure <u>250 SQFT.</u>	Square Footage of Lot <u>1.2 Acres</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>398</u> Block# <u>B</u> Lot# <u>12</u>	Owner: <u>Timothy J. Boothby</u>	Telephone: <u>(207) 221 0430</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Timothy J. Boothby</u> <u>685 ALLEN AVE</u> <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>900<sup>00</sup></u> Fee: \$ <u>30<sup>00</sup></u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Add Roof over existing Deck</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Timothy J. Boothby</u> Mailing address: _____ Phone: <u>221 0430</u> <u>Please use cell -&gt; 590 2796</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

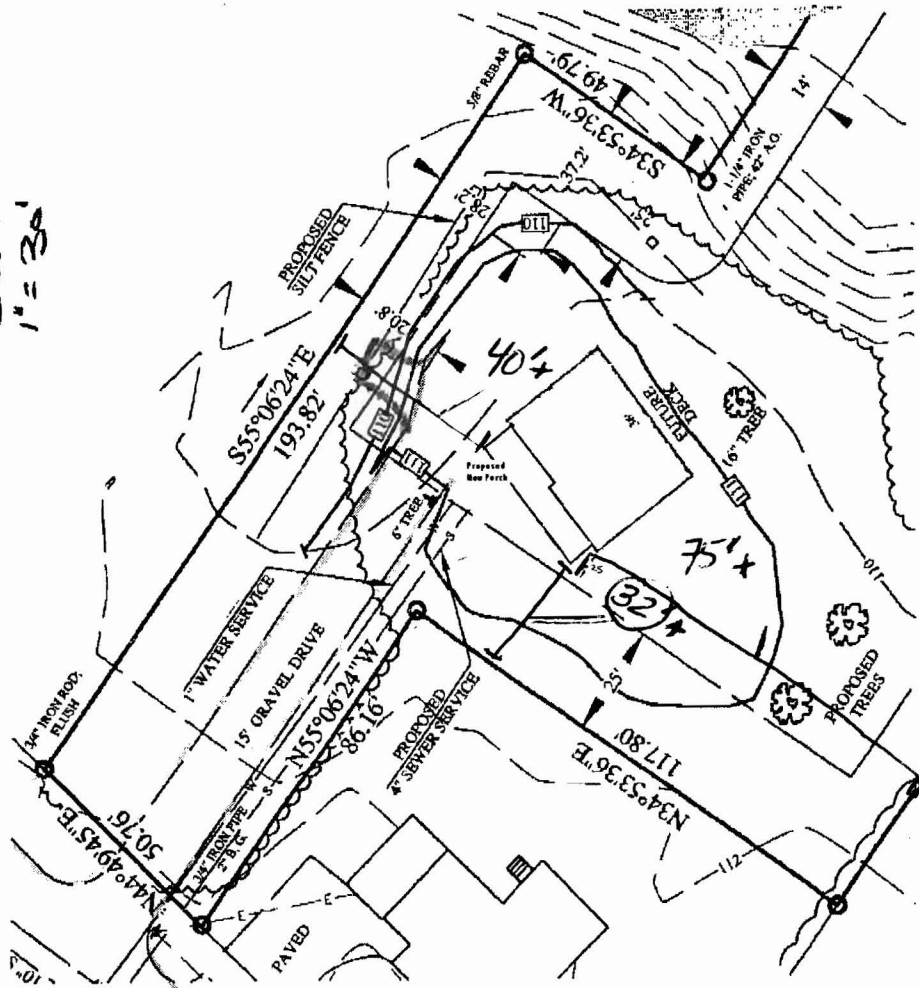
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

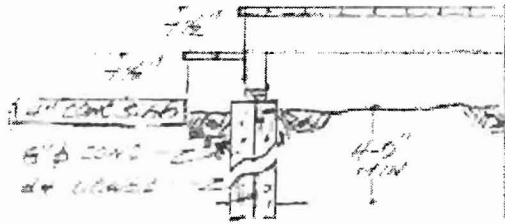
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Timothy J. Boothby</u>	Date: <u>03/13/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

SCALE  
1" = 30'





STAIR DETAIL  
SCALE: 3/8" = 1'-0"

EXISTING

Tammy  
Wilson  
874  
8706

**DECK INFORMATION REQUIRED WITH YOUR APPLICATION**

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube *8" c re-bar*
- b. depth below grade (minimum 4'-0" below grade) *4'*
- c. anchorage of column to footing *4 Metal anchorage*
- d. spacing of tubes *6'8"*
- e. pre cast concrete pier size *N/A*
- f. depth below grade (minimum 4'-0") *4'-0"*
- g. anchorage of column to footing *metal anchorage N/A*
- h. spacing of tubes *6'8"*

3. Columns (members supporting framing of floor system)

- a. wood size and type *2x8 Pressure Treated Lumber*
- b. anchorage of column to footing *metal anchor in each N/A*

4. Framing Members

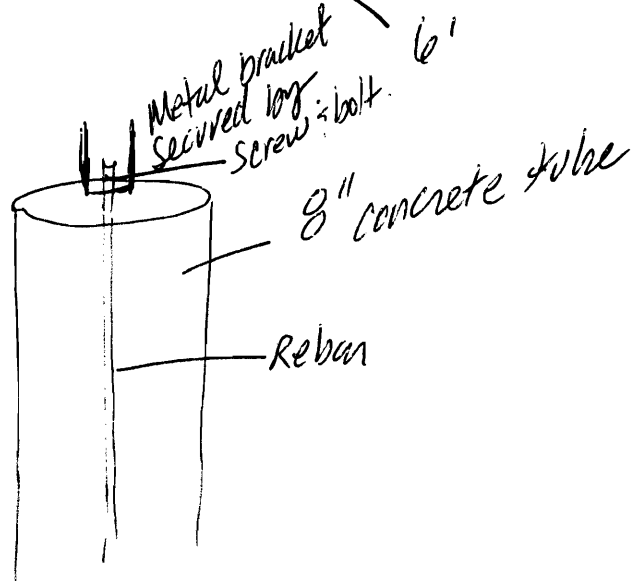
- a. Ledger size attached to building *2x8*
- b. Lag Bolt size and spacing on ledger *3/8 x 4" cap*
- c. Location of all flashing *5" x 90"*
- d. Joist size and spans carrying floor system *5" x 90"*
- e. Joist size, span and spacing *5" x 90"*
- f. Joist hangers or ledger *5" x 90"*
- g. Decking size *5/4 x 6*

5. Guardrails & Handrail Details

- a. Guardrail height *N/A 15" From deck to grade*
- b. Baluster spacing *2x8 16" on cent*
- c. Handrail height *8" at highest point*

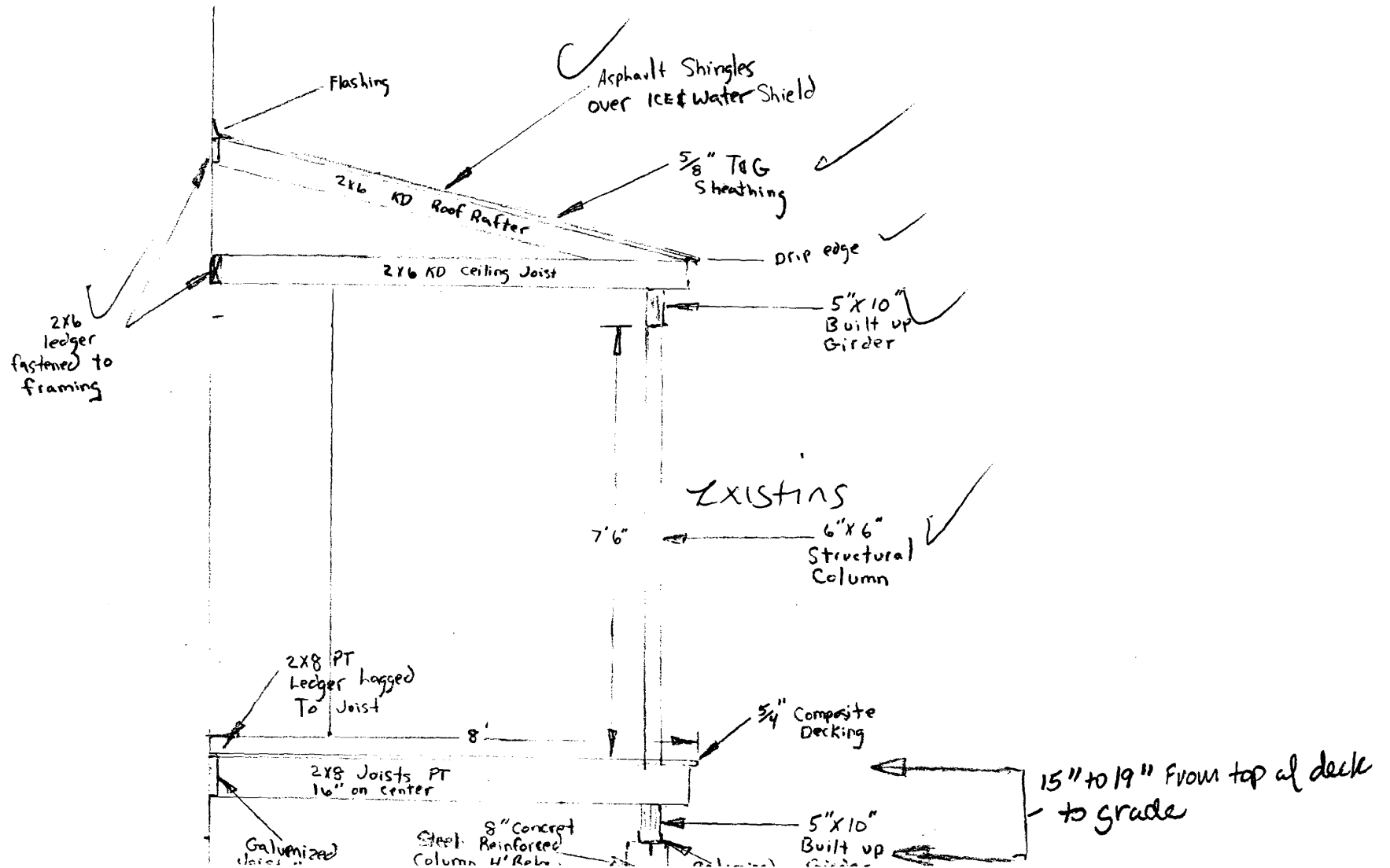
6. Stair Details

- a. Tread depth (measured nosing to nosing) *10"*
- b. Riser height *7 3/4"*
- c. Nosing on tread *3/4" to 1 1/4"*
- d. Width of stairs *6'*



*Steel pin*  
*Steel pin*  
*Joist Hangers*  
*Where joists connect to building under vinyl over the ledger*

(Roof)  
Closing in existing porch





520

