

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2006-0019

Application I. D. Number

1/27/2006

Application Date

Single Family Home

Project Name/Description

Custom Built Homes

Applicant

27 Main Street, Portland, ME

Applicant's Mailing Address

Ted

Consultant/Agent

Applicant Ph: (207) 892-1383 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

677 - 677 Allen Ave, Portland, Maine

Address of Proposed Site

398 B002001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Continue with fence ...
Ruelle, Or...?
2 proposed trees along st.
SO/UB?
ex. sat? lives?

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2006-0019
Application I. D. Number
1/27/2006
Application Date
Single Family Home
Project Name/Description

Jay Reynolds

Custom Built Homes
Applicant
27 Main Street, Portland, ME
Applicant's Mailing Address
Ted
Consultant/Agent
Applicant Ph: (207) 892-1383 Agent Fax:
Applicant or Agent Daytime Telephone, Fax
Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify)
2080
Proposed Building square Feet or # of Units
49277
Acreage of Site
677-677 Allen Ave, Portland, Maine
Address of Proposed Site
398 B002001
Assessor's Reference: Chart-Block-Lot

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Pla \$50.00 Subdivision Engineer Review \$250.00 Date 1/27/2006

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date Approval Expiration Extension to Additional Sheets Attached
 Condition Compliance signature date

Performance Guarantee

Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit Issue	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

From: Mike Murray
To: Philip DiPierro
Date: 1/6/2009 3:20:53 PM
Subject: Allen Ave

Phil:

I have a copy of the plan for 685 Allen Ave - call me at 8288 about this as I'm not sure if I am to do anything with it or whether it has been dealt with already.

MSM

1/9/09

Talked to Mike Murray - we may have to wait
for follow-up in the Spring when conditions permit
proper inspections.

My last conversation with Mr. Allen was that
it is a civil matter & not a City issue.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0390	Issue Date: 5/27/08	CBL: 398 B012001
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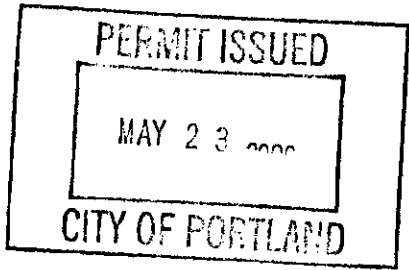
Location of Construction: 685 ALLEN AVE	Owner Name: BOOTHBY TIMOTHY J & MALG	Owner Address: 685 ALLEN AVE	Phone:
Business Name:	Contractor Name: Peter McNaughton	Contractor Address: 143 Pleasant Street Yarmouth	Phone 2073576743
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - one story 26' x 26' Garage attached to house by 6' x 16' mudroom	Permit Fee: \$500.00	Cost of Work: \$48,000.00	CEO District: 4
Proposed Project Description: build one story 26' x 26' Garage attached to house by 6' x 16' mudroom		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 50 IRC-2003 Signature: 5/27/08 cl	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 04/22/2008	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Ok w/conditions Date: 5/16/08 ABM</p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABM Date: _____
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CERTIFICATION

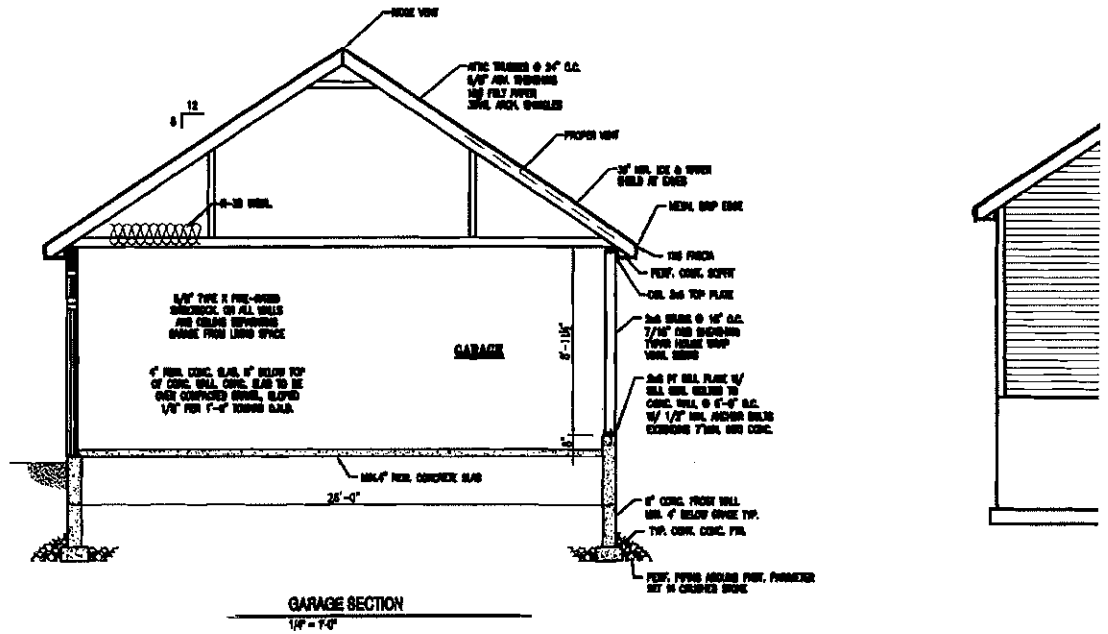
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

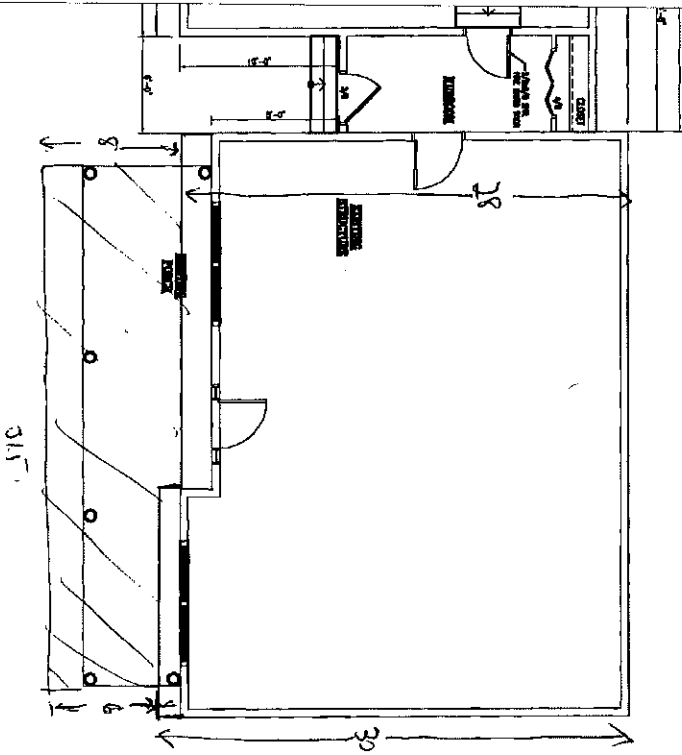
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

TABLE 1002-100		BUILDING WIDTH (ft)			
MINIMUM SPACING AND NUMBER SPACED FOR MINIMUM HEIGHT WALLS		12	14	16	18
ONE BAR ONLY	2'-0"	1	1	1	1
	2'-2"	1	1	1	1
	2'-4"	1	1	1	1
	2'-6"	1	1	1	1
	2'-8"	1	1	1	1
	2'-10"	1	1	1	1
	2'-12"	1	1	1	1
	2'-14"	1	1	1	1
	2'-16"	1	1	1	1
	2'-18"	1	1	1	1
TWO BAR ONLY	2'-0"	1	1	1	1
	2'-2"	1	1	1	1
	2'-4"	1	1	1	1
	2'-6"	1	1	1	1
	2'-8"	1	1	1	1
	2'-10"	1	1	1	1
	2'-12"	1	1	1	1
	2'-14"	1	1	1	1
	2'-16"	1	1	1	1
	2'-18"	1	1	1	1

FIG. 20. 1 Reinforcement, 1 spaced per square foot-0.0475in²/ft²

- Spaced bars shall be bent and lapped.
- Reinforcing bars shall be #2 grade lumber.
- Reinforcing steel is required perpendicular to the edge. For walls between these clear spans are parallel to be interrupted.
- If number of joint shall required to support each end, then the number of required joint shall equal one, the member is parallel to be supported by an approved bracing member attached to the full-height end stud and to the header.
- Use 3/4" steel ground anchor for walls in which ground may lead to less than 3/4" and the rest the lead is equal to or less than 3/4"





GENERAL NOTES		MATERIALS LIST	
1. ALL DIMENSIONS SHOWN	UNLESS NOTED OTHERWISE	2. ALL DIMENSIONS SHOWN	UNLESS NOTED OTHERWISE
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99. ALL DIMENSIONS SHOWN	UNLESS NOTED OTHERWISE	100. ALL DIMENSIONS SHOWN	UNLESS NOTED OTHERWISE

NOTES:
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FLOOR PLAN
 Boothby Residence
 685 Allen Ave, Portland ME



Revisions:
 1. _____
 2. _____
 3. _____
 4. _____
 5. _____
 6. _____
 7. _____
 8. _____
 9. _____
 10. _____
 Date: 05-14-08
 Scale: 1/8"=1'-0"
 Drawn By: P.M.
 Project: Boothby
 Sheet Number:
 3-0-4

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPROPRIATELY VERIFY THIS INFORMATION IS NOT THE SOURCE PRODUCT OF ANY DEFECTIVE, MISMADE HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES AND AGENTS. ARCHITECTS SHOULD CONSULT WITH THE CUSTOMER TO CORRECTLY WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPROPRIATELY VERIFY PROGRAMS CUSTOMER WITH THE INFORMATION. HANCOCK LUMBER DOES NOT WARRANT THE SOUNDNESS OR SUFFICIENCY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

This is to certify that BOOTHBY-TIMOTHY J & has permission to build one-story 26'-x-26' Garage AT 685 ALLEN AVE provided that the person or persons of the provisions of the Statutes of the construction, maintenance and use of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

Fire Dept.
Health Dept.
Appeal Board
Other
Department Name

PERMIT TO CONSTRUCTION

Permit Number: 080290
PERMIT ISSUED
MAY 23 1998

ALGORE... BOOTHBY... Pe... room... 398 B012001...
Accepting this permit shall comply with a... of the City of Portland regulatin... of buildings and structures, and of the application on file i...

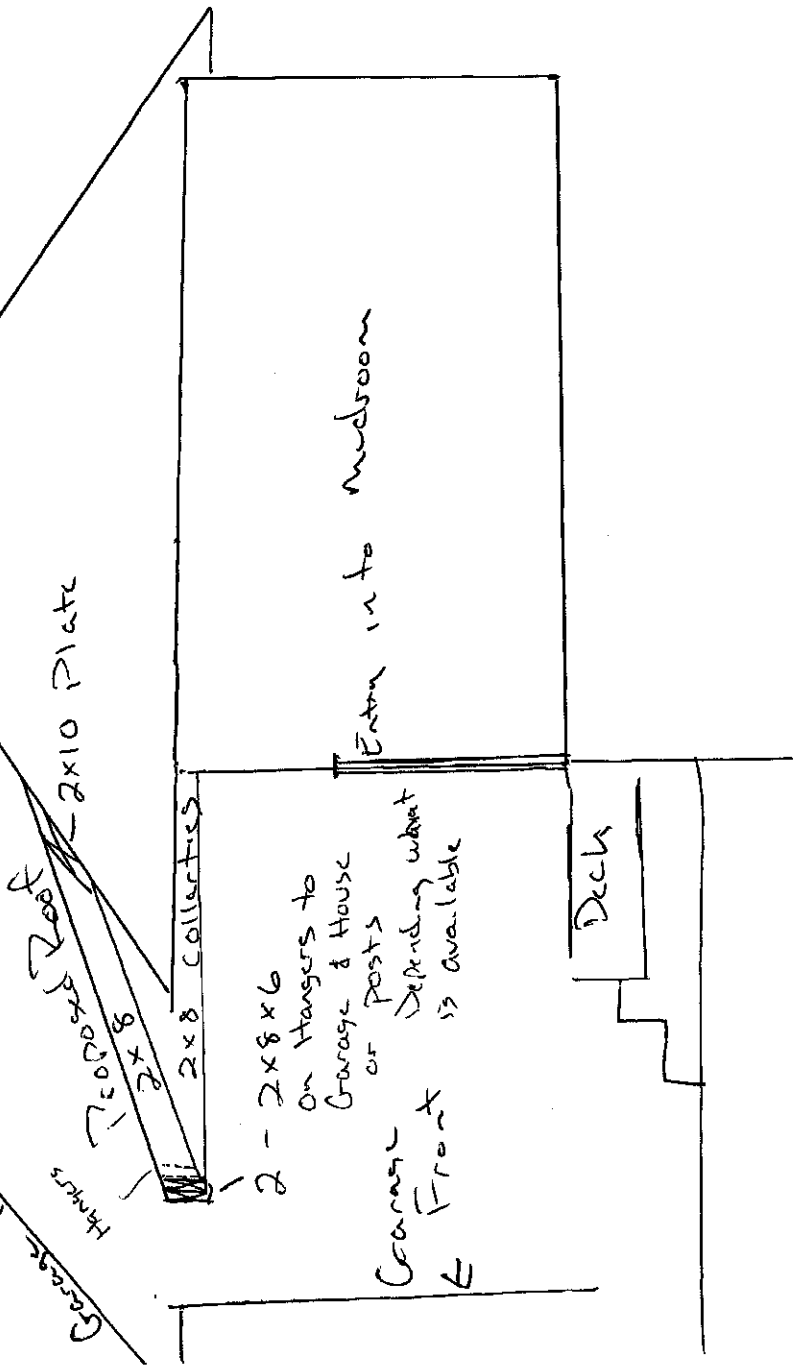
Notification... inspection... in permit... in proced... at therec... ed or c... osed-in...
FOR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

5/23/98
Director - Building & Inspection Services

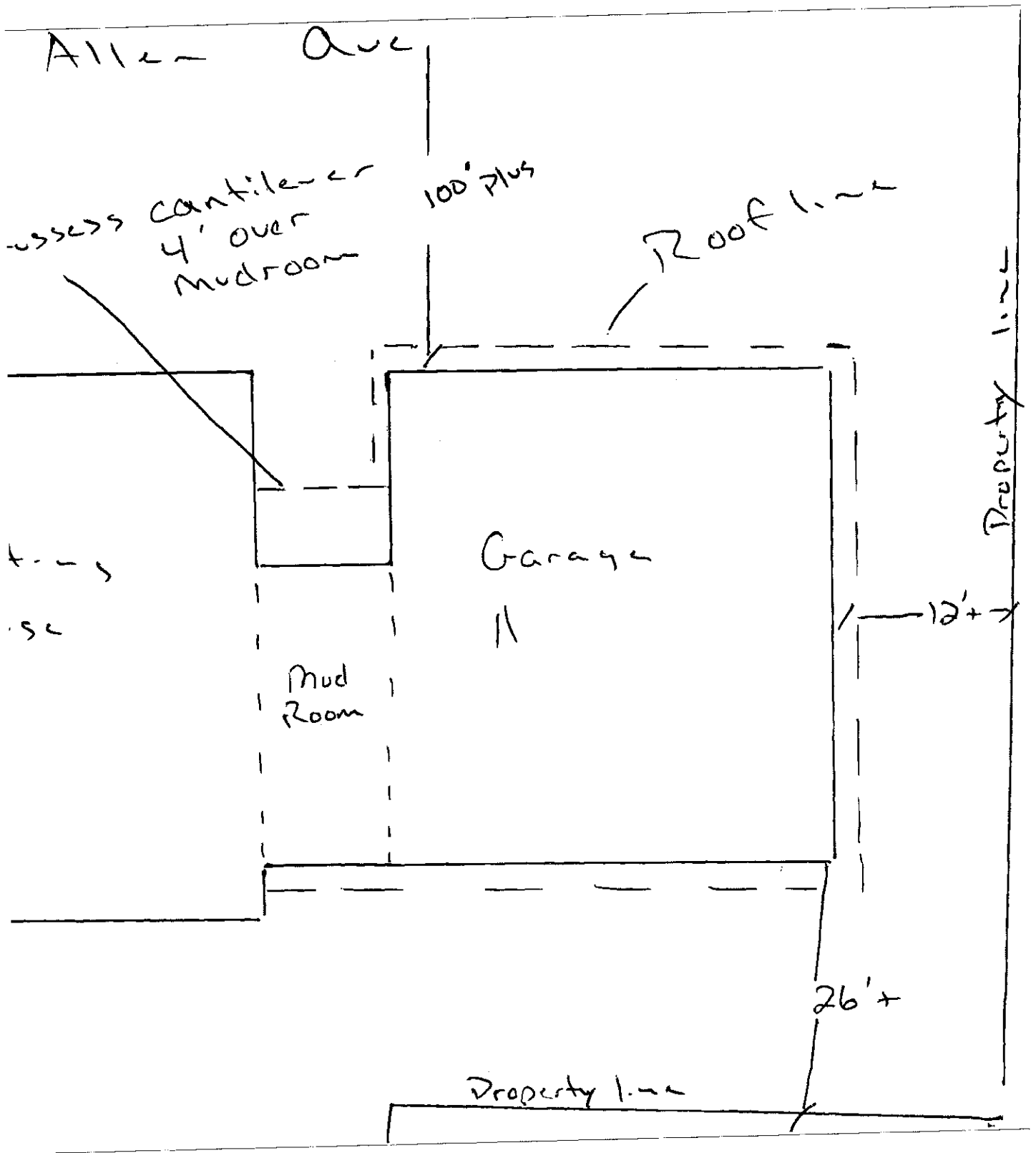
We want to extend a shed roof

an additional 4-6" Beyond Trusses



Garage or Front is available

Deck



From: Lannie Dobson
To: amachado; Jeanie Bourke; Philip DiPierro
Date: 10/9/2007 1:47:16 PM
Subject: Inspection Scheduled. Property Addr: 685 ALLEN AVE Parcel ID: 398 B012001

Date: 10/12/2007 Time: 6:00:00 AM

Note: Putting in driveway turn around. Worried about drainage issue. Driveway pitched towards neighbors yard. Jeanie has sent the property owner to Phil & Ann Complaintant would like call 781-414-9900 Jeff - this was on the original site plan. Complaintant - Property Addr: 685 ALLEN AVE Parcel ID: 398 B012001

Application Type: Complaint
Application ID: 10218

Contact:
Phone1: Phone2:

Owner Name: BOOTHBY TIMOTHY J &
Owner Addr: 685 ALLEN AVE
PORTLAND , ME 04103

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 398 B012001
Location 685 ALLEN AVE
Land Use SINGLE FAMILY

Owner Address BOOTHBY TIMOTHY J & MALGORZATA E BOOTHBY JTS
 685 ALLEN AVE
 PORTLAND ME 04103

Book/Page 24128/023
Legal 385-B-12
 ALLEN AVE 683-685
 49472 SF

Current Assessed Valuation

Land	Building	Total
\$79,900	\$200,600	\$280,500

Property Information

Year Built 2007	Style Colonial	Story Height 2	Sq. Ft. 2080	Total Acres 1.136	
Bedrooms 4	Full Baths 2	Half Baths 1	Total Rooms 8	Attic None	Basement Full

Outbuildings

Type SHED-FRAME	Quantity 1	Year Built 2007	Size 8X12	Grade C	Condition A
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Sales Information

Date	Type	Price	Book/Page
06/30/2006	LAND	\$289,675	24128-023
03/09/2006	LAND	\$82,500	23744-175

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

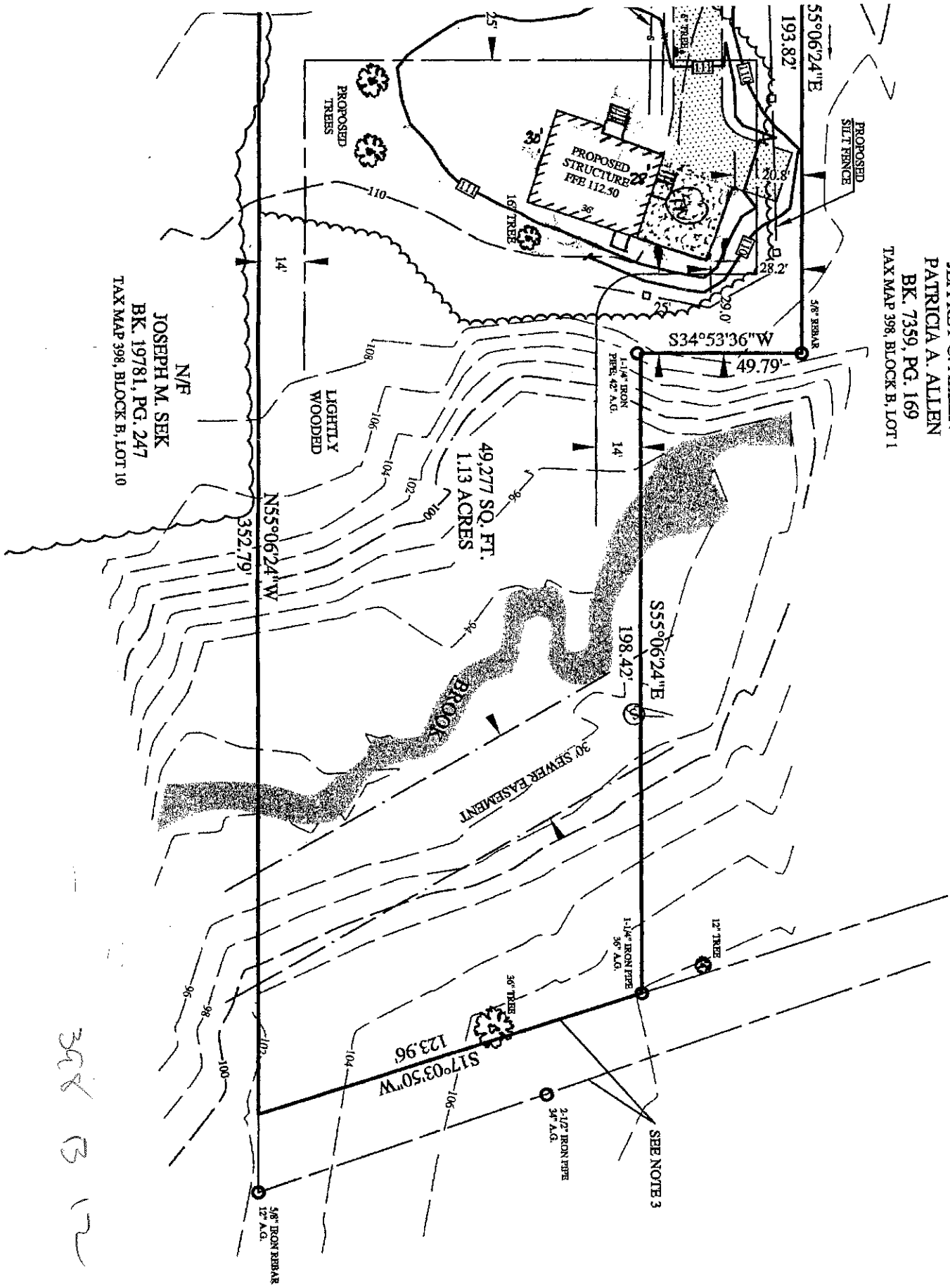
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

RECEIVED

N/F
JERRYBY C. ALLEN
PATRICIA A. ALLEN
BK. 7359, PG. 169
TAX MAP 398, BLOCK B, LOT 1

N/F
JOSEPH M. SEK
BK. 19781, PG. 247
TAX MAP 398, BLOCK B, LOT 10





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life [®] www.portlandmaine.gov

Planning and Development Department

Lee D. Urban, Director

Planning Division

Alexander Jaegerman, Director

Custom Built Homes
27 Main Street
Windham, ME 04062

February 9, 2006

Dear Applicant:

RE: Application for Single Family House, 677 Allen Avenue

Upon review of the site plan, the City's Planning Division has the following comments:

1. Please continue silt fence behind the building so that it protects all areas of disturbance.
2. Please move the proposed 2 street trees to the front property line.
3. Please add a cleanout to the proposed sewer lead (required at 80' from sewer main).
4. Please show foundation drain piping and outlet, if one is proposed.

Please submit 4 copies of the revised plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



PROFESSIONAL LAND SURVEYING, LLC
P.O. BOX 1023
WESTBROOK, MAINE 04098-1023
207-854-1015

September 29, 2005

Proposed Description For
David E. Wilkinson
677 Allen Avenue
Portland, Maine 04103

EXHIBIT A

A certain lot or parcel of land, with any improvements thereon, located on the southeastly side of Allen Avenue in the City of Portland, County of Cumberland, and State of Maine and more particularly described as follows:

Beginning at a 3/4" iron rod at the northwesterly corner of land now or formerly of Jeffrey C. and Patricia A. Allen described in the deed recorded in the Cumberland County Registry of Deeds in Book 7359, Page 139;

Thence S 55°06'24" E, along land of Allen, a distance of 193.82' to an iron rebar;

Thence S 34°53'36" W, along land of Allen, a distance of 49.79' to a point;

Thence S 55°06'24" E, along land of Allen, a distance of 198.42' to a 1-1/4" iron pipe;

Thence S 17°03'50" W, a distance of 123.96' to land of Sek;

Thence N 55°06'24" W, along land of Sek, a distance of 352.79' to a set iron rebar and remaining land of along the remaining land of the heirs of Wilkinson;

Thence N 34°53'36" E, along along the remaining land of the heirs of Wilkinson, a distance of 117.80' to an iron rebar;

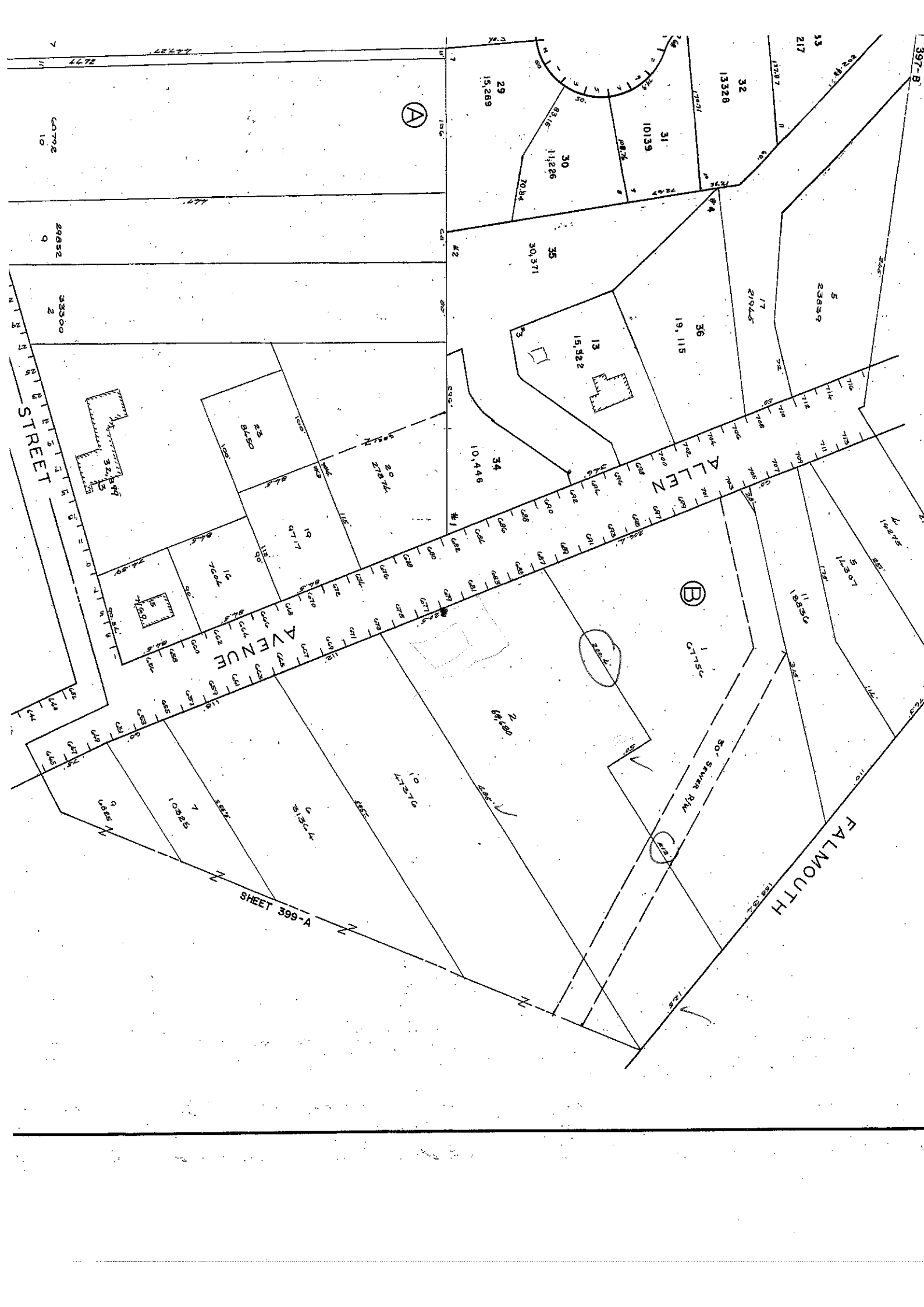
Thence N 55°06'24" W, along the remaining land of the heirs of Wilkinson, a distance of 86.16' to Allen Avenue;

Thence N 44°49'45" E, along Allen Avenue, a distance of 50.76' to the point of beginning.

Containing an area of 1.13 acres, more or less

Subject to a 30' wide Sewer Easement dated June 30, 1975 described in the City of Portland Public Works File 668/8.

Meaning and intending to describe a portion of the premises as described in a deed to Ralph H. and Barbara L. Wilkinson dated March 20, 1967 and recorded in said Registry in Book 2989, Page 473.



STREET

AVENUE

FALMOUTH

SHEET 399-A

50' SEWER R/W

(A)

(B)

29
15,269

30
11,226

31
10,139

35
30,371

13
15,522

36
19,115

34
10,446

23
8,450

30
27,874

10
9,736

0
3,304

7
10,325

5
23,639

17
27,945

5
17,507

11
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32
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217

397-B

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11226
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10139
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30371
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15522
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27874
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8450
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17507
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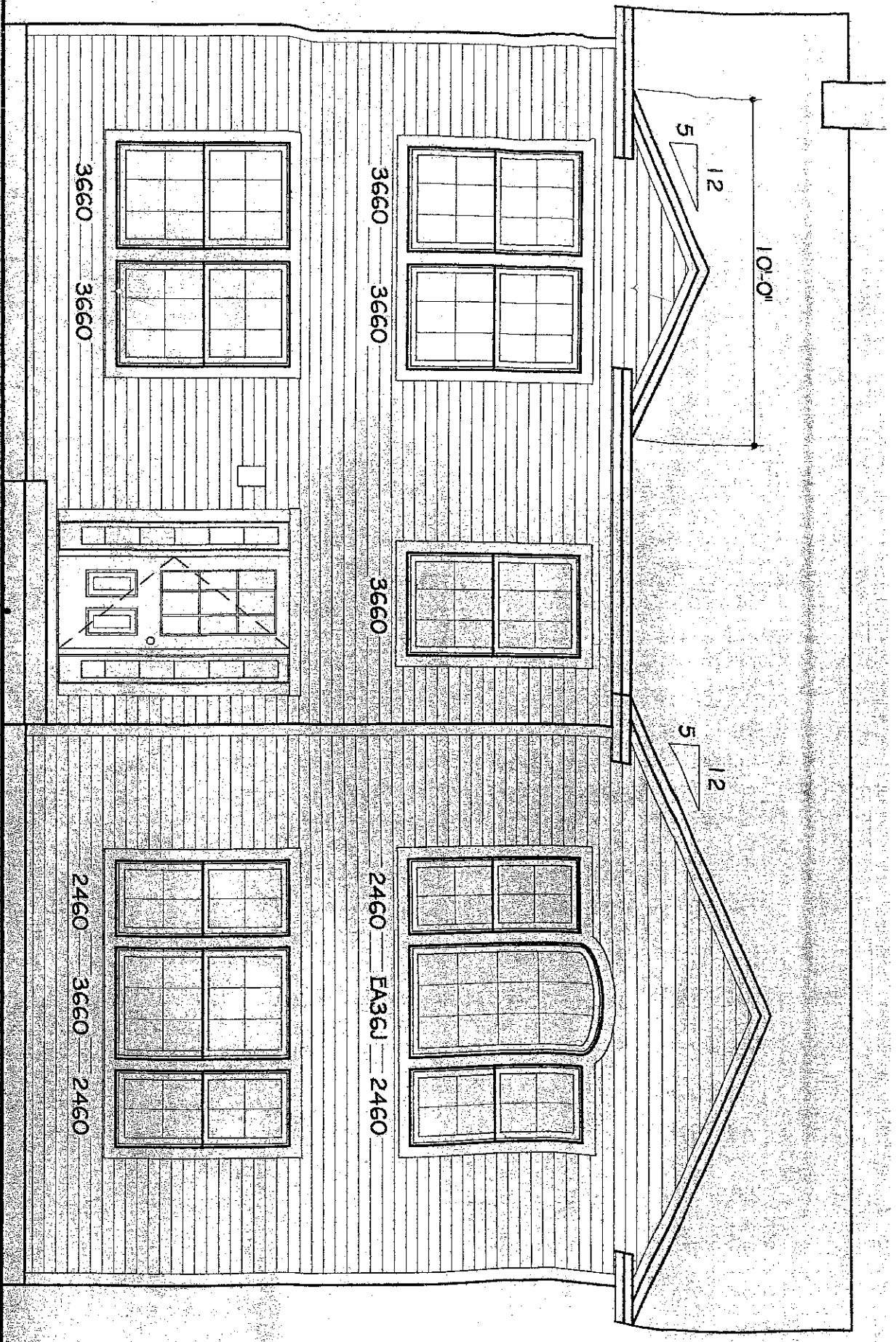
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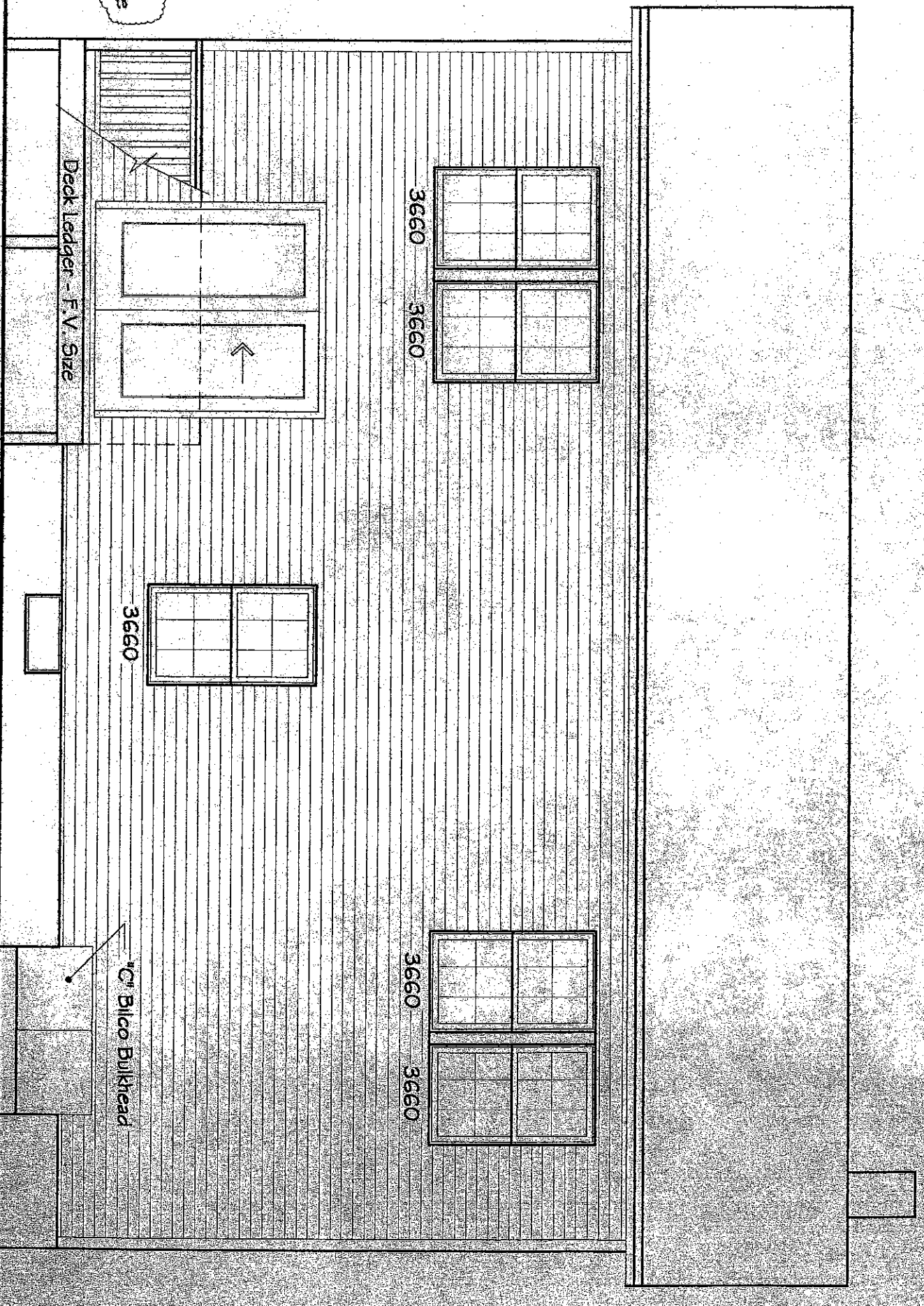
13328
32



FRONT ELEVATION

Scale: N.T.S.

Field verify access to ground level
(Meet stair codes)

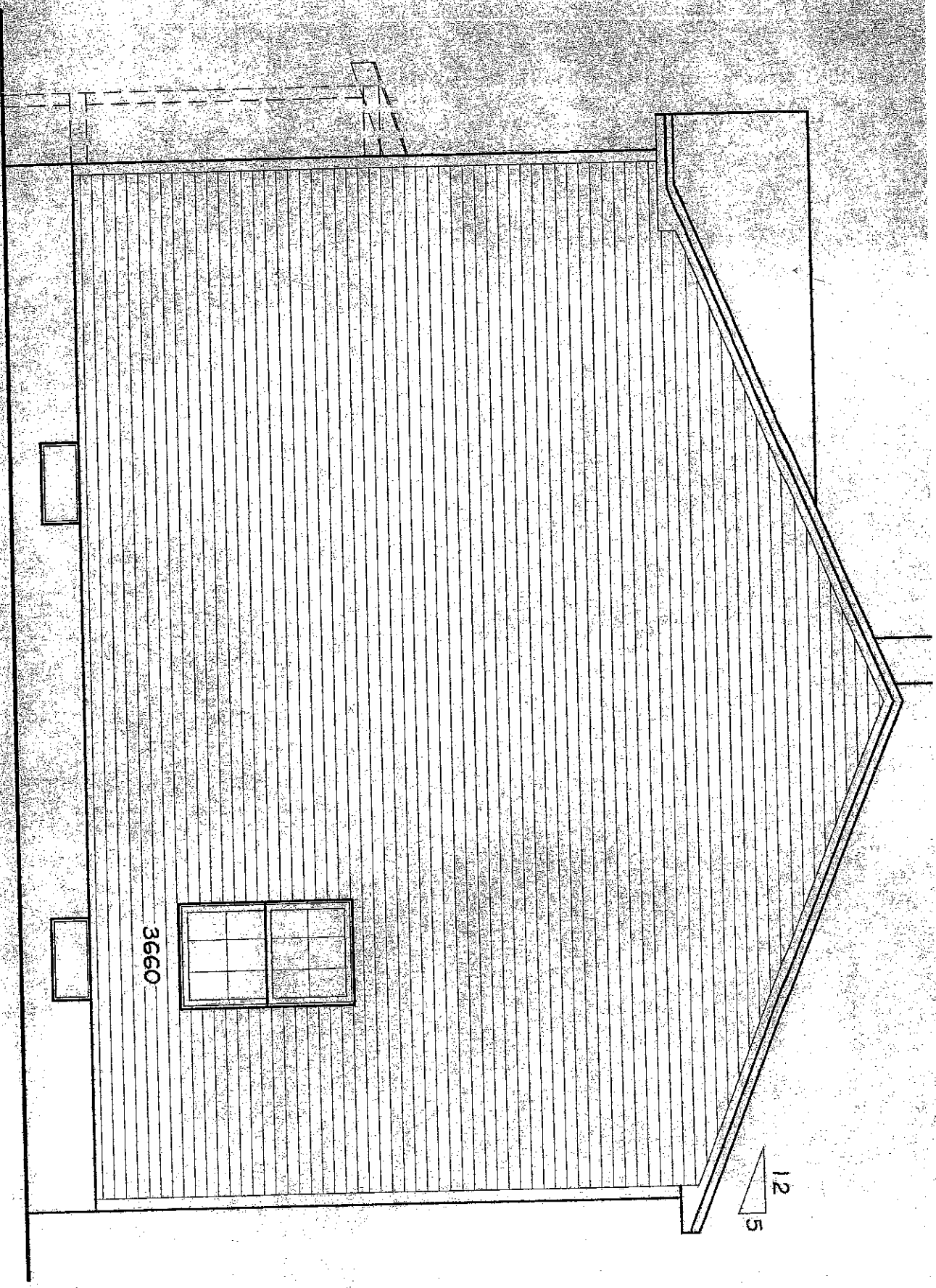


REAR ELEVATION

(P.)
(R) Rise
(H) Head
(M) Meet code

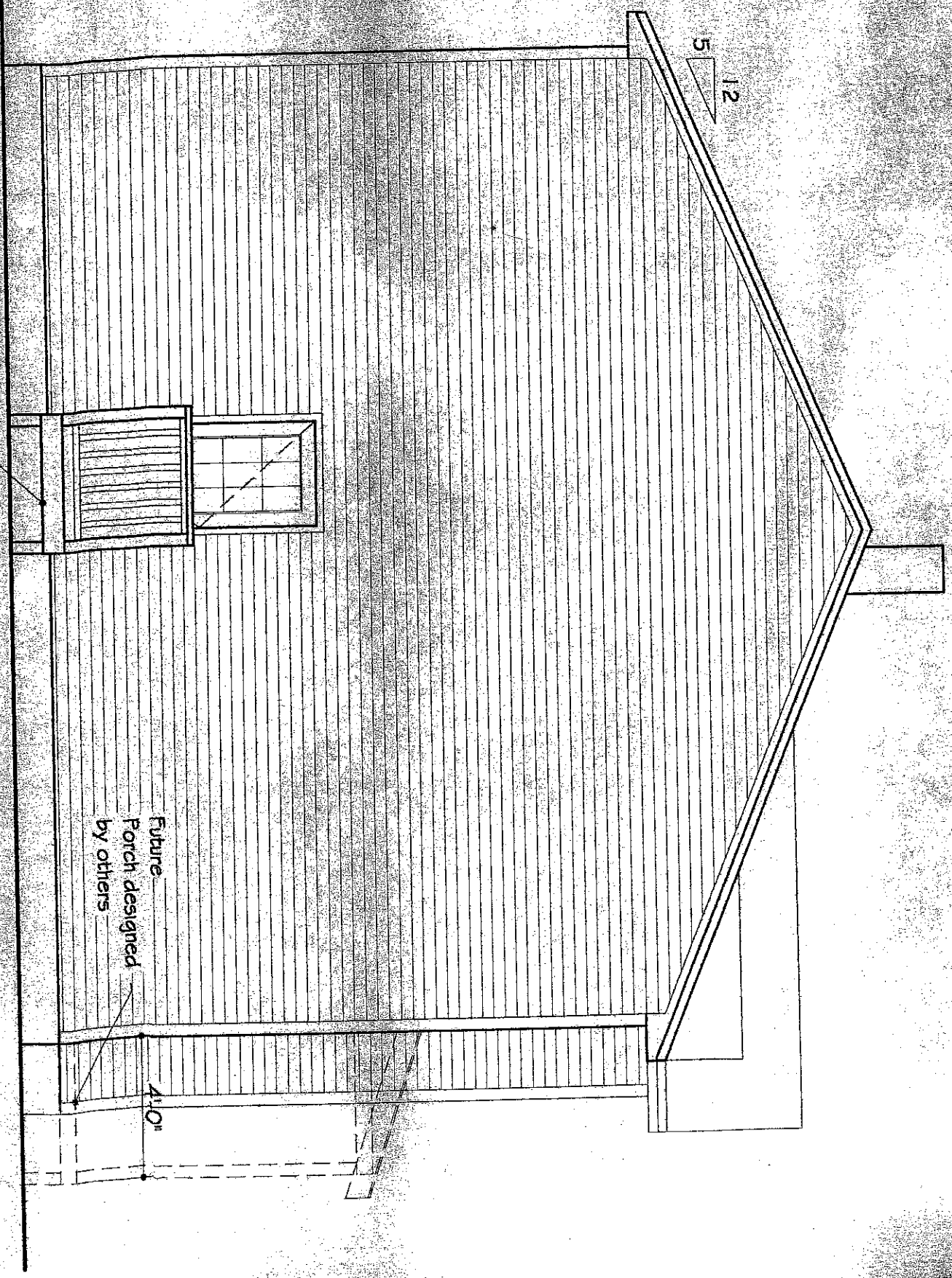
Deck Ladder - F.V. Size

C' Bilco Bulkhead



RIGHT ELEVATION

Scale: N.T.S.

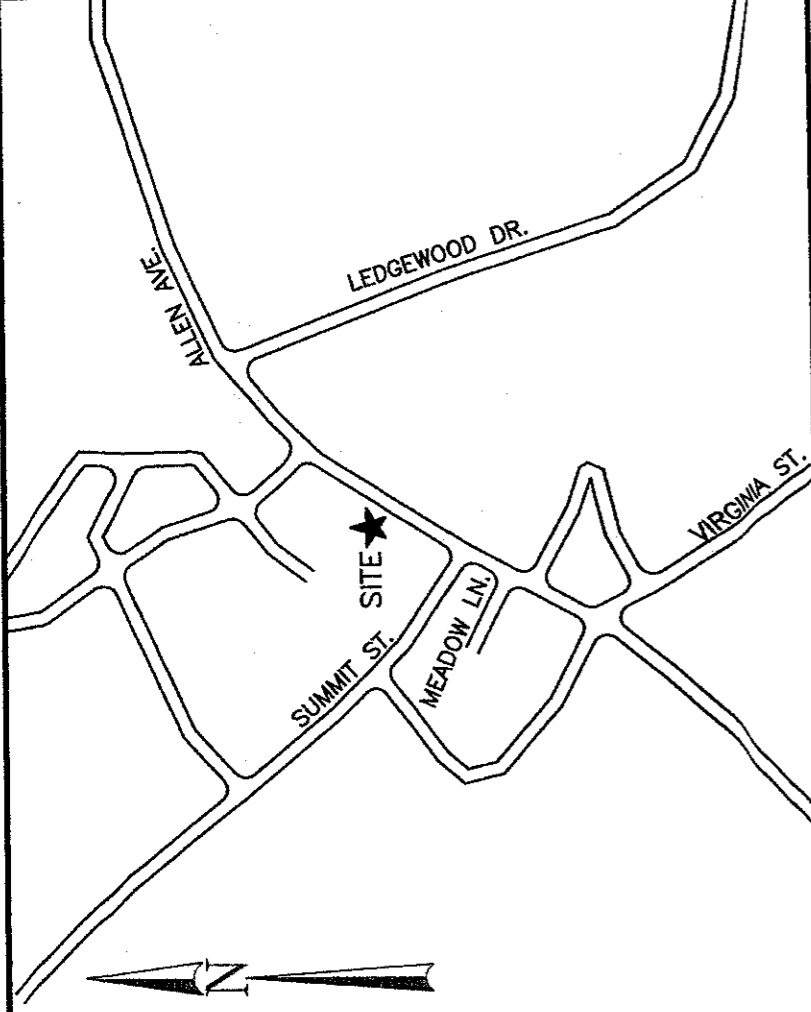
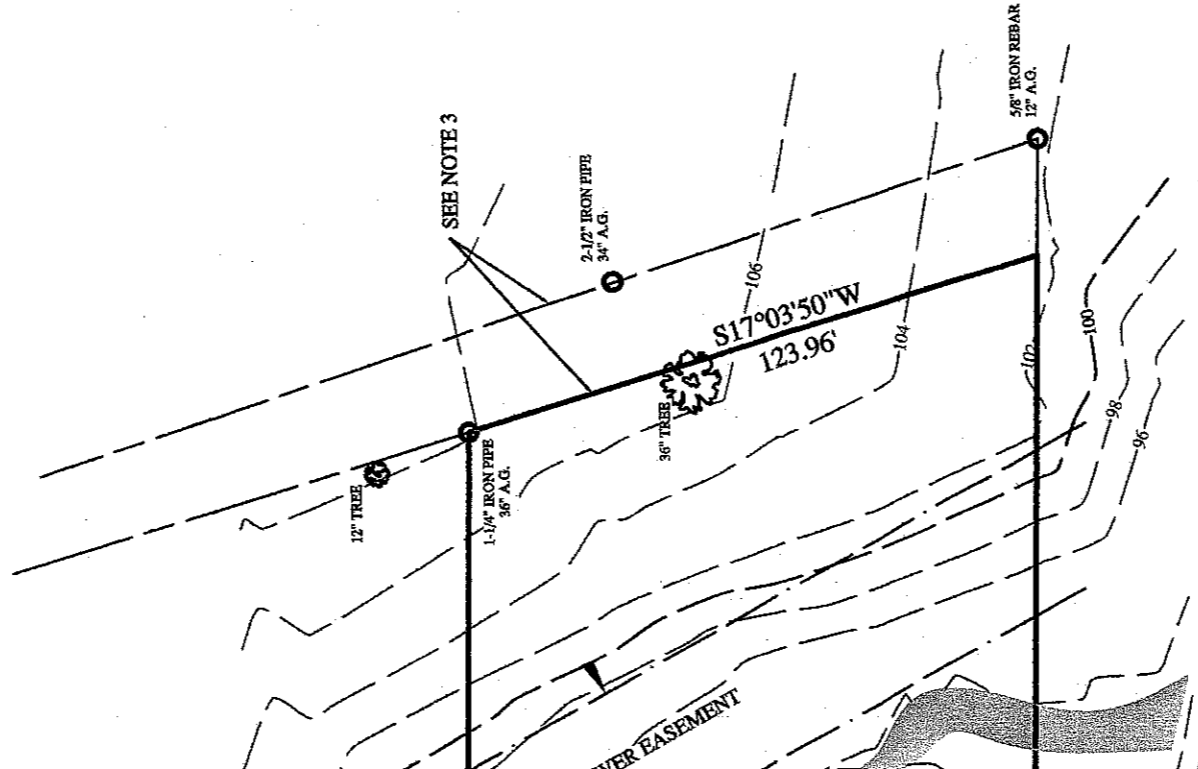
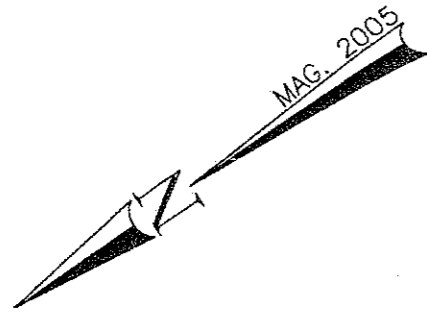


LEFT ELEVATION

Field verify access to ground level
Meet code.

Future
Porch designed
by others

4'-0"



LOCATION MAP
(NOT TO SCALE)

NOTES:

- (1) TAX MAP REFERENCE:
PORTION OF TAX MAP 398, BLOCK B, LOT 2
- (2) PLAN REFERENCES:
(A) STANDARD BOUNDARY SURVEY
FOR: DAVID E. WILKINSON
BY: BOUNDARY POINTS, PLS. 2282
DATED: SEPTEMBER 19, 2005
- (3) PROPERTY BOUNDARY INFORMATION SHOWN HEREON IS BASED SOLELY ON PLAN REF. 3(A). TWO DIFFERENT LINES OF PHYSICAL EVIDENCE WERE FOUND ALONG THE REAR LINE OF THE PROPERTY SURVEYED. MORE EXTENSIVE RESEARCH AND FIELDWORK SHOULD BE COMPLETED TO DETERMINE RECORD LINE.
- (4) LAND USE: DIMENSIONAL REQUIREMENTS REFERENCED FROM THE CODE OF ORDINANCES OF THE CITY OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1999.

ZONING DISTRICT: R-3
MINIMUM BUILDING SETBACKS
FRONT & REAR: 25'
SIDE: 1 STORY-8'
1 1/2 STORIES-8'
2 STORIES-14'
2 1/2 STORIES-16'

FOR: **SITE PLAN**

**CUSTOM BUILT HOMES OF
MAINE, INC.**

27 MAIN STREET
WINDHAM, MAINE

SURVEY BY: **SURVEY, INC.**

P.O. BOX 210
WINDHAM, ME 04062
(207) 892-2556 (207) 892-2557 FAX
SURVEY.INC@VERIZON.NET

I CERTIFY THAT THIS SURVEY CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL OPINION.