

PERMIT ISSUED

01-0331 MAY 11 2001

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0331	Issue Date: MAY 11 2001	CBL: 398 A035001
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Location of Construction: 696 Allen Ave	Owner Name: L.E. Lydon Jr. Construction, Inc	Owner Address: 696 Allen Ave	Phone: 207-799-5495
Business Name: n/a	Contractor Name: L.E. Lydon Jr. Construction, Inc	Contractor Address: 3 Shaw Farm Road Cape Elizabeth	Phone: 2077995459
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2 used R-3 partial

Past Use: Vacant	Proposed Use: New 31'6" x 21'6" single family with 13'6" x 21'6" garage. Call Larry Lydon @ 799-5495	Permit Fee: \$558.00	Cost of Work: \$89,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>R-3</i> Type: <i>S-2</i> PERMIT ISSUED WITH REQUIREMENTS 7/27/1997

Proposed Project Description: New Single Family	Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____
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Permit Taken By: gg	Date Applied For: 04/05/2001	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>same shown on plans</i> <input type="checkbox"/> Flood Zone <i>panel Z zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2001-0056</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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2001.0056

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling,

All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 696 Allen Ave.

Total Square Footage of Proposed Structure 1482 sq ft Square Footage of Lot 30,371 sq ft

Tax Assessor's Chart, Block & Lot Number: Chart# 398 Block# A Lot# 35. Owner: L.E. Lydon Jr. Const. Inc. Paul Vase Inc. Telephone#: 799-5495

Lessee/Buyer's Name (If Applicable): N/A. Owner's/Purchaser/Lessee Address: 3 Shaw Farm Rd. Cape Elizabeth, ME. 04107. Cost Of Work: \$ 89,000.00 Fee: \$ 558.00

Current use: Vacant. If the location is currently vacant, what was prior use: lawn. Approximately how long has it been vacant: -. Proposed use: Single family residence. Project description: 1 1/2 story High postad Cape 45 x 21 wood frame - one car garage 31.6 x 21.6 garage 13.6 x 21.6. MINOR 300.00 minor. Total \$ 858.00

Contractor's Name, Address & Telephone: L.E. Lydon Jr. Const. Inc. 799-5495 3 Shaw Farm Rd. Cape Elizabeth, ME. 04107. Applicants Name, Address & Telephone: Same. Who should we contact when the permit is ready: Larry Lydon Telephone: 799-5495. If you would like the permit mailed, what mailing address should we use: 3 Shaw Farm Rd. Cape Elizabeth, ME. 04107. Rec'd By:

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 4-5-01
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Please note that exact replacement of any structure including decks, stairs and sheds will still need a scaled plot plan.

BUILDING PERMIT REPORT

DATE: 8 MAY 2001 ADDRESS: 692-696 Allen Ave CBL: 398-19-035

REASON FOR PERMIT: Single Family Dwelling / Attach. garage

BUILDING OWNER: L.E. Lyden Jr. Const. Inc.

PERMIT APPLICANT: CONTRACTOR SAO

USE GROUP: A-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$89,000 PERMIT FEES: \$558.00

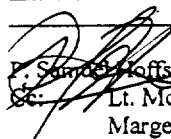
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5, *7, *8, *9, *11, *13, *14, *15, *16, *20, *27, *28, *29, *30, *31, *33, *34, *35, *35, *35, *39

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

- 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 – 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All Requirements And Conditions on The Attached Site Development Review Sheets*
- 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *shall be met.*
- 34. Bridging shall comply with Section 2305.16.
- 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- 38. *Roofing shall comply with Section 1507.0*
- 39. *Let a steel beam or girder shall require a professional engineer design shall be submitted to this office.*


 P. Samuel Hoffes, Building Inspector
 Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

Applicant: L.E. Lydan & Paul Vose Date: 5/7/01

Address: 692-696 Allen Ave

C-B-L: 398-A-35

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2 (where the house is placed) & R-3 (toward Street)

Interior or corner lot -

Proposed Use/Work - construct new single family house with attached

sewage disposal - city

Lot Street Frontage - 50' req - 50' shown

Front Yard - 25' req - 25.5' scaled

Rear Yard - 25' req - 28' shown

Side Yard - 14' req - 19' & 100'+ shown

2 story

Projections - side bulkhead - rear deck 10 x 10 - side deck 6 x 20' ^{perch}

Width of Lot - 80' req - 240'+ shown

Height - 35' max - 28' scaled to the ridge

Lot Area - 10,000 sq ft = 30,371 sq ft

Lot Coverage/Impervious Surface - 20% max or 6074.2 sq ft

Area per Family - 10,000 sq ft

Off-street Parking - 2 required - 1 car garage & 1 drive

Loading Bays - N/A

Site Plan - minor/minor # 2001-6056

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - zone X

10 x 10 = 100

6 x 20 = 120

135' x 21.5' = 290.25

24.5' x 21.5' = 771.75

1282.00

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Insp Copy

2001-0056

Application I. D. Number

L.E. Construction Inc.

Applicant

183 Mitchell Road, Cape Elizabeth, ME 04107

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 799-5495 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

692-696

~~698~~

696-698 Allen Ave, Portland, Maine

Address of Proposed Site

398 A035001

Assessor's Reference: Chart-Block-Lot

4/5/01

Application Date

New single Family

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **31'6" x 21'6" Cape w/garage**

1,482sf

Proposed Building square Feet or # of Units

30,371sf

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **4/5/01**

Insp Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0055

Application I. D. Number

04/05/2001

Application Date

Allen Ave Lot #1

Project Name/Description

L.E. Lydon Jr. Construction

Applicant

3 Shaw Farm Road, Cape Elizabeth, ME 04107

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 799-5459 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

682 - 692 Allen Ave, Portland, Maine

Address of Proposed Site

398 A034001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 686 Allen Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$ 89,000.00 Plan Review # 501/2001

Fee: \$ 558.00 Date: 8/MAY/2001

Building Location: 692-696 Allen Ave. CBL: 398-A-035

Building Description: Single Family dwelling/garage Private

Reviewed By: [Signature]

Use or Occupancy: A.3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building code requirements shall be completed before a Certificate of occupancy can or will be issued	111.0 118.0
2.	Before placing concrete for foundation you shall call your code enforcement office to have setback checked	111.0
3.	Foundation drains shall comply with section 1813.5.2	1813.5.2
4.	Foundation anchors shall comply with section 2305.17	2305.17
5.	Water proofing & damp proofing shall comply with section 1813.0	1813.0
6.	Private garages shall comply with section 407.0	407.0
7.	All Chimneys and vents shall comply with NFPA 211	NFPA 211
8.	Stairs shall comply with section 1014.0	1014.0
9.	Guardrails & handrails shall comply with sections 1022.0 & 1021.0	1021.0 1022.0
10.	A minimum width of corridors is 36"	1010.0
11.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
12.	Smoke detectors shall comply with section 920.3.2	920.3.2

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

~~NO~~ Design
~~NA~~ Installation

Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.

~~NA~~ Insulated footing provided

~~X~~ Soil bearing value (table 1804.3)

~~X~~ Footing width

~~X~~ Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

~~X~~ Design (1812.1)

~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)

~~SA~~ Water proofing and damp proofing Section 1813

~~X~~ Sill plate (2305.17)

~~SA~~ Anchorage bolting in concrete (2305.17)

~~SA~~ Columns (1912)

~~SA~~ Crawl space (1210.2) Ventilation

~~SA~~ Crawl opening size (1210.2.1)

~~SA~~ Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)

~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)

~~X~~ Grade

~~X~~ Spacing

~~X~~ Span

~~X~~ Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~NA~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~MA~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~I~~ Approved materials (1404.1)
- ~~I~~ Performance requirement (1505)
- ~~I~~ Fire classification (1506)
- ~~I~~ Material and installation requirements (1507)
- ~~I~~ Roof structures (1510.0)
- ~~I~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~MA~~ Masonry (1206.0)
- ~~I~~ Factory - built (1205.0)
- ~~I~~ Masonry fireplaces (1404)
- ~~I~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>48 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

<u>SA</u>	Labeling (2402.1)
_____	Louvered window or jalousies (2402.5)
_____	Human impact loads (2405.0)
_____	Specific hazardous locations (2405.2)
_____	Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

<u>SA</u>	General (407)
_____	Beneath rooms (407.3)
_____	Attached to rooms (407.4)
_____	Door sills (407.5)
_____	Means of egress (407.8)
_____	Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~X~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) ~~36~~" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~X~~ Stairways (1014.3) 36" W
- ~~X~~ Treads (1014.6) 10" min.
- ~~X~~ Riser (1014.6) 7 3/4" max.
- ~~X~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~II~~ Power source

**Dwelling Unit Separation
Table 602**

~~NA~~

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0056

Application I. D. Number

04/05/2001

Application Date

Allen Ave Lot #2

Project Name/Description

L.E. Construction Inc.

Applicant

183 Mitchell Road, Cape Elizabeth, ME 04107

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 799-5495 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

692 - 694 Allen Ave, Portland, Maine

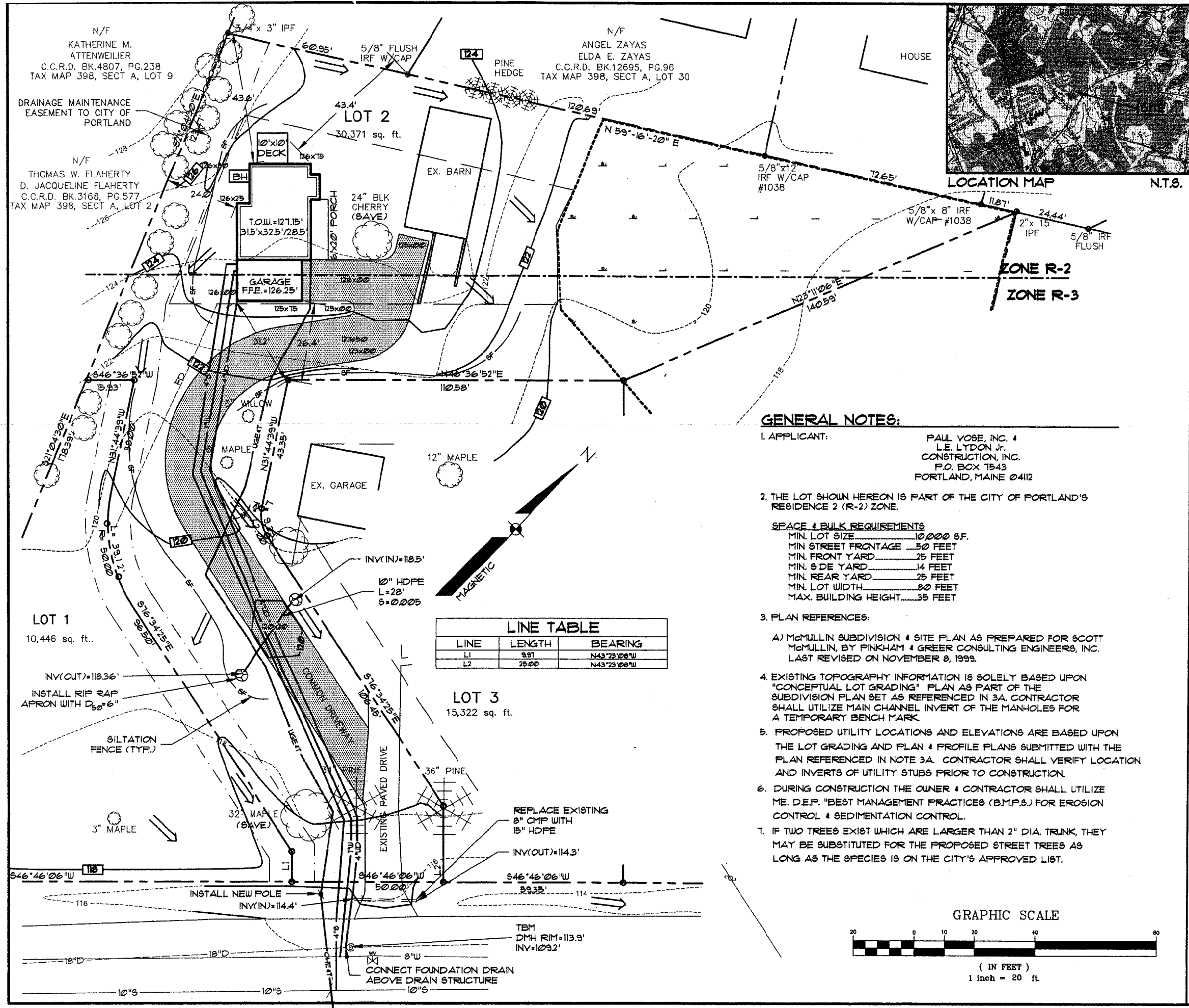
Address of Proposed Site

398 A035001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
 - 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.
-



N/F
KATHERINE M. ATTENWELLER
C.C.R.D. BK.4807, PG.238
TAX MAP 398, SECT A, LOT 9

N/F
THOMAS W. FLAHERTY
D. JACQUELINE FLAHERTY
C.C.R.D. BK.3168, PG.577
TAX MAP 398, SECT A, LOT 2

N/F
ANGEL ZAYAS
ELDA E. ZAYAS
C.C.R.D. BK.12695, PG.96
TAX MAP 398, SECT A, LOT 30

LOT 1
10,446 sq. ft.

LOT 3
15,322 sq. ft.

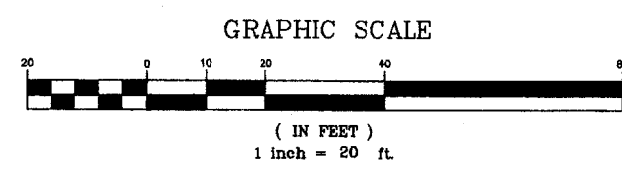
LINE	LENGTH	BEARING
L1	9.97	N43°23'20"W
L2	25.00	N43°23'20"W

GENERAL NOTES:

1. APPLICANT: PAUL VOSE, INC. & L.E. LYDON JR. CONSTRUCTION, INC.
P.O. BOX 1543
PORTLAND, MAINE 04112
2. THE LOT SHOWN HEREON IS PART OF THE CITY OF PORTLAND'S RESIDENCE 2 (R-2) ZONE.
3. PLAN REFERENCES: A) McMULLIN SUBDIVISION & SITE PLAN AS PREPARED FOR SCOTT McMULLIN, BY PINKHAM & GREER CONSULTING ENGINEERS, INC. LAST REVISED ON NOVEMBER 8, 1999.
4. EXISTING TOPOGRAPHY INFORMATION IS SOLELY BASED UPON "CONCEPTUAL LOT GRADING" PLAN AS PART OF THE SUBDIVISION PLAN SET AS REFERENCED IN 3A. CONTRACTOR SHALL UTILIZE MAIN CHANNEL INVERT OF THE MANHOLES FOR A TEMPORARY BENCH MARK.
5. PROPOSED UTILITY LOCATIONS AND ELEVATIONS ARE BASED UPON THE LOT GRADING AND PLAN & PROFILE PLANS SUBMITTED WITH THE PLAN REFERENCED IN NOTE 3A. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF UTILITY STUBS PRIOR TO CONSTRUCTION.
6. DURING CONSTRUCTION THE OWNER & CONTRACTOR SHALL UTILIZE ME. D.E.P. "BEST MANAGEMENT PRACTICES (B.M.P.S.) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
7. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES AS LONG AS THE SPECIES IS ON THE CITY'S APPROVED LIST.

SPACE & BULK REQUIREMENTS

MIN. LOT SIZE	10,000 SF.
MIN. STREET FRONTAGE	50 FEET
MIN. FRONT YARD	25 FEET
MIN. SIDE YARD	14 FEET
MIN. REAR YARD	25 FEET
MIN. LOT WIDTH	80 FEET
MAX. BUILDING HEIGHT	35 FEET



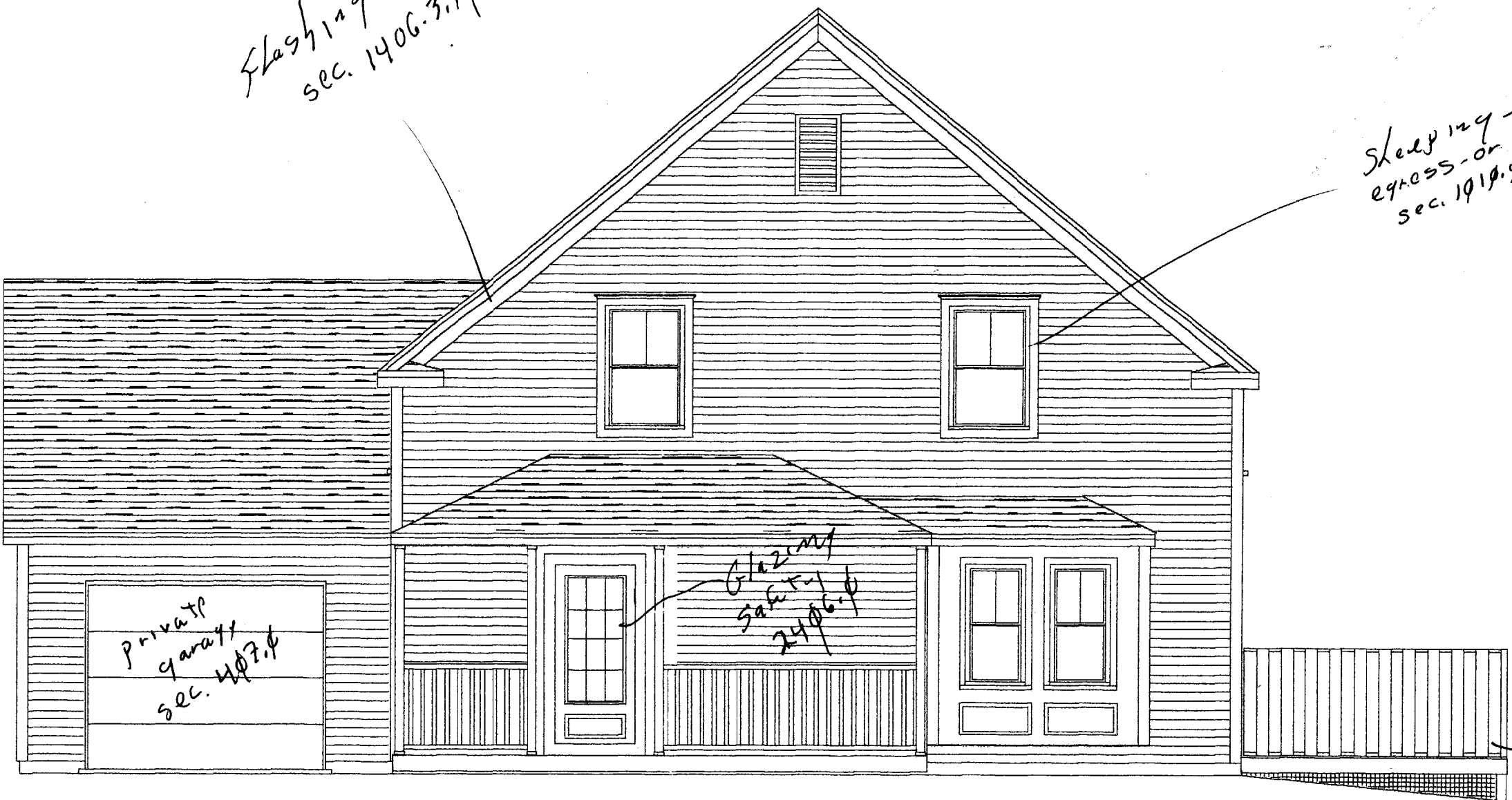
DESIGN BY: JRS
DRAWN BY: MEJ
CHECKED BY: JRS
DATE: 3/28/01
SCALE: 1"=20'
FIELD BK:
PROJ. NO: 01115
DRAWING: 0115L12

SINGLE FAMILY RESIDENCE PLOT PLAN
OF:
LOT 2—McMULLIN SUBDIVISION
696 ALLEN AVENUE
PORTLAND, MAINE
FOR:
PAUL VOSE, INC. & L.E. LYDON JR. CONSTRUCTION, INC.
P.O. BOX 7543
PORTLAND, MAINE 04112

Sebago Technics
Engineering & Planning for the Future
One Chabot Street
Westbrook, Me 04098-1339
Tel. (207) 856-0277

Flashing
sec. 1406.3.1φ

Sleeping - room
egress - or rescue window.
sec. 1010.4



Private
garage
sec. 407.0

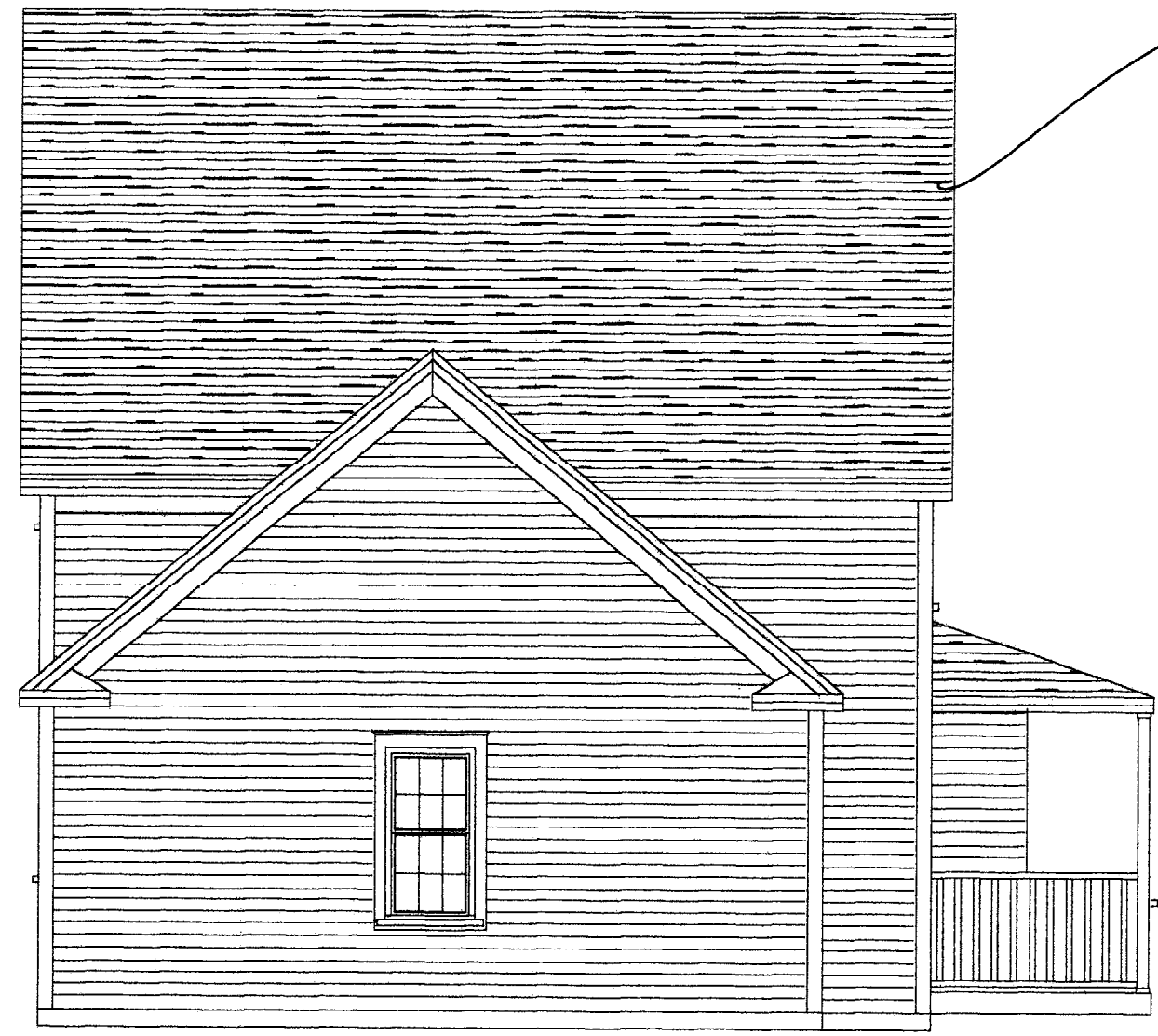
Glazing
safety
24φ6.0

Guardrails
sec. 1021.0

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANZA AND LYDON CONST. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

L. E. LYDON JR. CONSTRUCTION INC. PAUL VOSE INC.		
SCALE 1/4" = 1'	PLAN #	DRAWN BY
DATE		REVISED
Lot 2 ALLEN AVE		
		DRAWING NUMBER

Roofing
sec. 1507



LEFT ELEVATION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANZA AND LYDON CONST. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

L. E. LYDON JR. CONSTRUCTION INC. PAUL YOSE INC.		
SCALE 1/4" = 1'	PLAN #	DRAWN BY
DATE		REVISED
Lot 2 ALLEN AVE		
		DRAWING NUMBER



RIGHT ELEVATION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANZA AND LYDON CONST. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

L. E. LYDON JR. CONSTRUCTION INC.
PAUL VOSE INC.

SCALE 1/4" = 1'	PLAN #	DRAWN BY
DATE		REVISED
<i>Lot 2 ALLEN AVE</i>		
		DRAWING NUMBER



REAR ELEVATION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANZA AND LYDON CONST. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

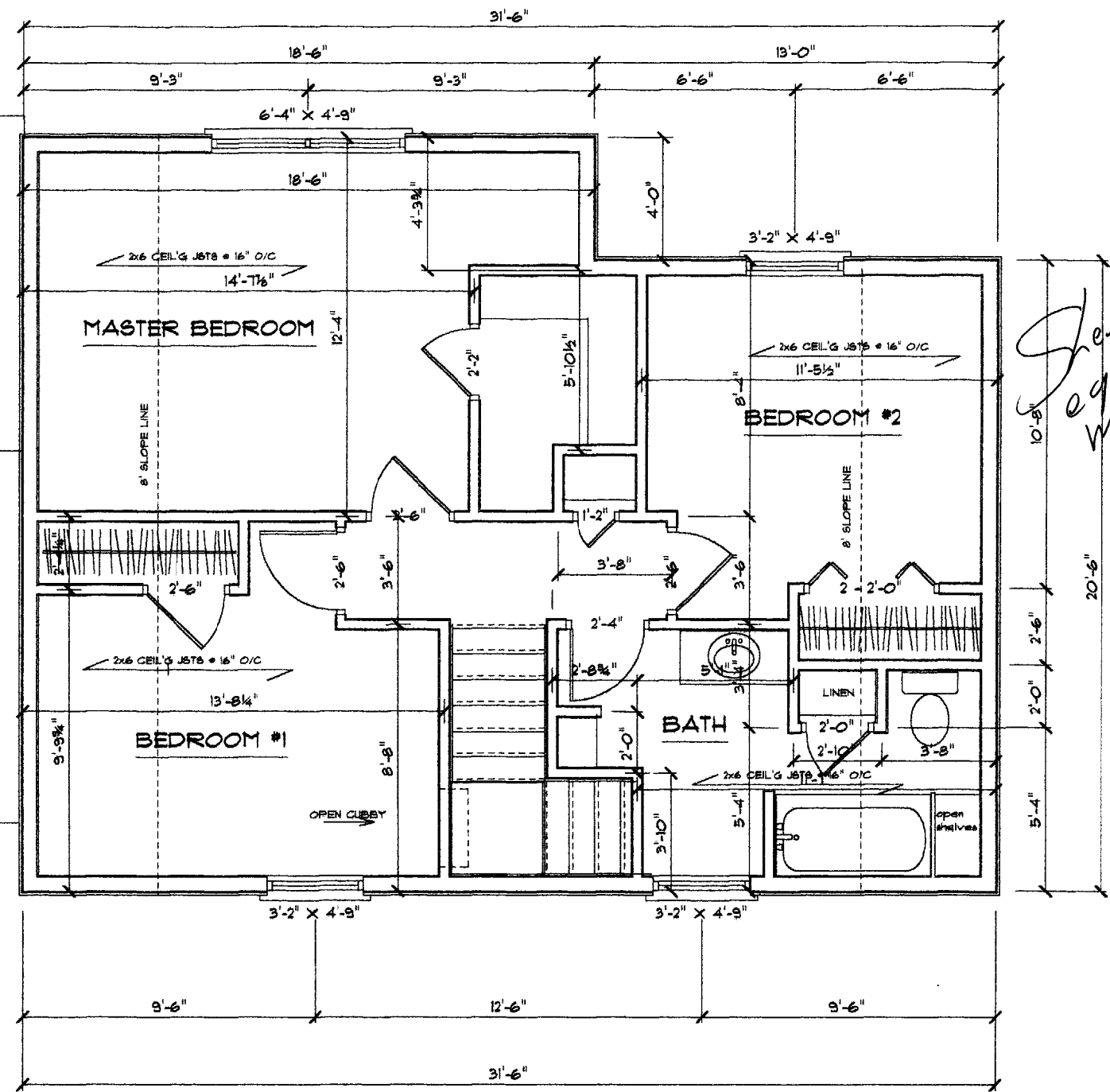
L. E. LYDON JR. CONSTRUCTION INC.
PAUL YOSE INC.

SCALE 1/4" = 1'	PLAN #	DRAWN BY
DATE		REVISED

Lot 2 ALLEN AVE

DRAWING NUMBER

729 sf

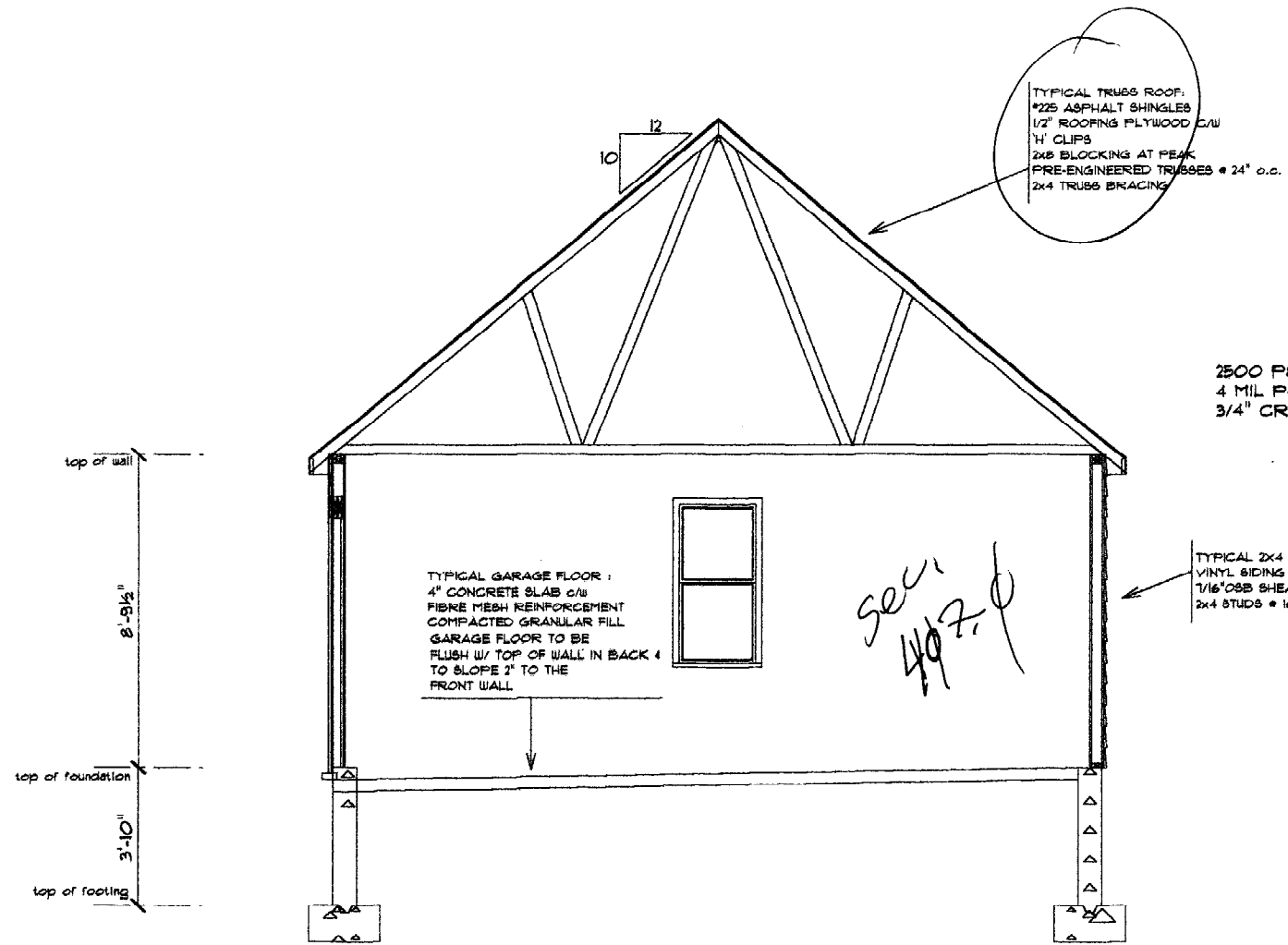


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANZA AND LYDON CONST. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

L. E. LYDON JR. CONSTRUCTION INC.
PAUL VOSE INC.

SCALE 1/4" = 1'	PLAN #	DRAWN BY
DATE		REVISED
Lot 2 ALLEN AVE		
		DRAWING NUMBER



CROSS SECTION B

2500 PSI PORTLAND CEMENT CONCRETE FLOOR 4" THICK
 4 MIL POLY MIN 4" OVERLAP AT JOINTS
 3/4" CRUSHED ROCK UNDER CONCRETE FLOOR

TYPICAL 2x4 SIDING EXTERIOR WALL:
 VINYL SIDING
 1/16" OSB SHEATHING
 2x4 STUDS @ 16" o.c.

16"x10" MINIMUM CONC. FTG.
 FOOTING TO BEAR ON
 UNDISTURBED SOIL

SLOPE GRADE AWAY FROM BLDG. GRADE

BITUMINOUS DAMPROOFING ON
 8" CONCRETE WALL
 FORM TIES TO BE PLUGGED W/ CEMENT

4" DIA. PREFORATED PIPE
 6" CRUSHED STONE COVER
 DRAINS TO BE INSIDE AND OUT

TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE

3000 PSI FIBERMESH
 PORTLAND CEMENT
 CONCRETE FLOOR 4" THICK

COMPACTED SAND UNDER FLOOR

SLOPE GRADE AWAY FROM BLDG.

8" CONCRETE WALL

16"x10" MINIMUM CONC. FTG.
 FOOTING TO BEAR ON
 UNDISTURBED SOIL

TYPICAL FROSTWALL SECTION - GARAGE