City of Portland, M		_			^^^	PERM emit No: M/ 01-0330	AIT ISS		CBL:	
389 Congress Street, (Location of Construction:	)4101 Tel:	<u> </u>	3, Fax:	(207) 874-87	<u> </u>					034001
O White I willed		. C			Addres ()	t Port	LAN	Phone:		
696 Allen Ave L.E. Lydon Jr. Business Name: Contractor Name			uction		Allen Ave			207-799	-5495	
n/a		į.		matian Too		ractor Address:			Phone	
Lessee/Buyer's Name		Phone:	. Construction. Inc			3 Shaw Farm Road Cape Elizabeth Permit Type:		2077995		
n/a		n/a								Zone: 2
						gle Family				
Past Use:  Vacant  New 26 x 30 s attached 14 x Larry Lydon 7		single family with 22 garage. **Call 799-5495			s546.00 E DEPT:	Cost of Wor \$87,0 Approved Denied	00.00 INSPEC	CEO District:  2 CTION: oup 7-3 ANT ISSUED	Type: 5-12	
Proposed Project Description Build New Single Famil					Signal PEDE Action	n: Appro			' /	Denied Denied
Permit Taken By:	Date A	pplied For:		<del></del>	<del></del> _	Zoning	Approva	al		
gg	04/0	5/2001				عالالالا	, ripprovi			
This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.		☐ Sh	cial Zone or Revi	ν,	☐ Varianc	ng Appeal e		Historic Pre		
<ol> <li>Building permits do not include plumbing, septic or electrical work.</li> </ol>		□ Wetland Welling Tell □ Miscellaneous □ Flood Zone p Arel Z □ Conditional Use			Does Not Re	equire Review				
3. Building permits are within six (6) month	s of the date	of issuance.			Conditional Use			Requires Re	view	
False information m permit and stop all v		e a building		bdivision	1	Interpre	tation		Approved	
			Sit	e Plan 生 2001-0	055	Approve	ed		Approved w/	'Conditions
			Maj [ Date:	Minor MM	X.	Denied  Date:		Da	Denied	$\Rightarrow$
		,	<b>.</b>	<del>&gt; 110</del> 1	<del>/0</del>	1			TERMITISSU TH REQUIREM	
I hereby certify that I am I have been authorized by jurisdiction. In addition, shall have the authority to such permit.	the owner to if a permit fo	o make this appli or work described	med pro cation a I in the a	s his authorized application is is	ne prop I agent ssued, I	and I agree (	to conform the code off	to all app ficial's au	plicable laws	of this esentative
SIGNATURE OF APPLICANT				ADDRESS	<u> </u>		DATE	<del></del>	РНО	NE

# THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

## Minor/Minor Site Review for New Detached Single Family Dwelling,

# **All Purpose Building Permit Application**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 696	le Allen Ave.	
Total Square Footage of Proposed Structure	1446 Square Footage of Lot 10	, 446 #
Tax Assessor's Chart, Block & Lot Number  Chart# 398 Block# A Lot# 34	Owner: L. E. Lydon Jr. Const. Inc. Paul Vose Inc.	Telephone#: 799-5495
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:  3 Shaw Form Rd. C.E. ME.	Cost Of 546.  Work: Fee: \$ 87,000. " \$
Current use: Vacant  If the location is currently vacant, what wa Approximately how long has it been vacan  Proposed use: Single family les	.t:	Minor 300.
Project description: 2 story wood One car garage 76	, ,	14 x 22 gas
Contractor's Name, Address & Telephone:  L.E. Lydon Jr. Const. Inc.  3 Show form Red. 94107  Applicants Name, Address & Telephone:  Samc  Who should we contact when the permit is red.  Telephone: 799-5495	,	
If you would like the permit mailed, what may  3 Shaw Farm Rd.  Cape Ehiz. ME. 04107	ailing address should we use:	Rec'd By:

# THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

# SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

# ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: 4-5-01
Signature of applicant:	<i>y butter y</i> = 3 <i>0</i> /

Please note that exact replacement of <u>any structure</u> including decks, stairs and sheds will still need a scaled plot plan.

#### BUILDING PERMIT REPORT

	BULDING FERMIT REPORT
D	ATE: 8 MAY 2 pp / ADDRESS: 696 A/len Ave. CBL: 398-A-034
R	EASON FOR PERMIT: Single Family dulling / 1977. garage
В	UILDING OWNER: 1.E. 14don Jr. ConsT.
	ERMIT APPLICANT: /CONTRACTOR SAO
U	se group: $R-3$ construction type: $5B$ construction cost: $87$ 000 permit fees $546$ -
	he City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments) he City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)
	CONDITION(S) OF APPROVAL
т <u>Х</u>	his permit is being issued with the understanding that the following conditions shall be met: */ *2 *3 *4 *5 *7 *7 *7 *7 *7 *7 *7 *7 *7 *7 *7 *7 *7
1.	This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.  Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
★3.	Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain
بيائي	tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.  Section 1813.5.2
<del>√</del> 4. <del>√</del> 5.	Foundations anchors shall be a minimum of ½" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6° O.C. between bolts. Section 2305.17  Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. 4. 7.	Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.  It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the
<del>√</del> 8.	proper setbacks are maintained.  Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached
	side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)  All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical
<del>/</del> 9.	Code/1993). Chapter 12 & NFPA 211  Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
×III.	Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid
	material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 ¼" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. 13.	Headroom in habitable space is a minimum of 7'6". (Section 1204.0) Stair construction in <u>Use Group R-3 &amp; R-4 is a minimum of 10" tread and 7 %" maximum rise.</u> All other Use Group minimum 11" tread,
¥14.	7" maximum rise. (Section 1014.0)  The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4  The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less then 36".
×16.	Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All
17.	egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4) Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)

(Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.

J.	
<del>1</del> 20.	All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's
•	Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
	In the immediate vicinity of bedrooms
	In all bedrooms
	In each story within a dwelling unit, including basements
21.	A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type,
	(Section 921.0)
22.	The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
	The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24.	All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the
	City's Building Code. (The BOCA National Building Code/1999)
25.	Section 25 – 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any
26	street or sidewalk from the time of November 15 of each year to April 15 of the following year".  The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a
20.	design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection
	Services.
<b>X27.</b>	Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces &
,	attics).
<del>/</del> 28.	All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all
	electrical (min. 72 hours notice) and plumbing inspections have been done.
X 29.	All requirements must be met before a final Certificate of Occupancy is issued.
<del>-</del> 430.	All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
Y 31	Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical
4211	Code/1993). (Chapter M-16)  /Please read and implement the attached Land Use Zoning report requirements. Sife Devel opment The View 25 5h1
(32.	Please read and implement the attached Land Use Zoning report requirements. Sife Development Te view 361
<del>)</del> \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\	Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
£ 34.	Bridging shall comply with Section 2305.16.
	Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
<del>-</del> <del>36.</del>	All flashing shall comply with Section 1406.3.10.
×31.	All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
12	moderny shall compay with section, 1 section
1 VE	
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$\langle \cdot \rangle$	) Atheren and the second of th
8	abus Holkes, Building Inspector
	McDougall, PFD
<u></u>	Marge Schmuckal, Zoning Administrator

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

Michael Nugent, Inspection Service Manager

2001-0055

		Insp Copy	Application I. D. Number
L.E. Lydon Jr. Construction			4/5/01
Applicant		<del></del>	Application Date
S Shaw Farm Road, Cape Eliz	abeth, ME 04107		New Single Family
Applicant's Mailing Address	2 11 -00 -7	2 /	Project Name/Description
	Paul Vose 799-27	5/ 696 - 696 Allen Ave, Por	tland, Maine
Consultant/Agent 54-95		Address of Proposed Site	
Applicant Ph: (207) 799-5459	Agent Fax:	398 A034001	
Applicant or Agent Daytime Tele		Assessor's Reference: Ch	
Proposed Development (check	all that apply): 🕢 New Building	Building Addition Change Of Us	se 📝 Residential 🗌 Office 🦳 Retail
Manufacturing Wareh	iouse/Distribution Parking Lot	t 🗸 Ot	ther (specify) 26 x 30 single family home
,446 sf	10	0,446 sf	
Proposed Building square Feet	or # of Units Ad	creage of Site	Zoning
Check Review Required:			
Site Plan	Subdivision	PAD Review	☐ 14-403 Streets Review
(major/minor)	# of lots		
Flood Hazard	Shoreland	☐ HistoricPreservation	DEP Local Certification
		nistonerreservation	DEP LOCAL Certification
Zoning Conditional	Zoning Variance		Other
Use (ZBA/PB)			
Fees Paid: Site Plan	\$50.00 Subdivision	Engineer Review	\$250.00 Date 4/5/01
nsp Approval Statu	s:	Reviewer	
Approved	Approved w/Condition	ons Denied	
	See Attached	_	
Approval Date	Approval Expiration	Extension to	Additional Sheets
Condition Compliance			Attached
	signature	date	
Performance Guarantee	Required*	Not Required	
No building permit may be issu	ued until a performance quarantee	has been submitted as indicated below	
	-		
Performance Guarantee Acc	date	amount	expiration date
☐ Inapportion Foo Boid	date	amount	expiration date
Inspection Fee Paid	date	amount	
3 Puilding Darmit Inque	date	amount	
Building Permit Issue	date		
- Bartamanaa Oaa Ba			
Performance Guarantee Rec	date	romaining balana	
Tomporoni Cortificate of Oc.		remaining balanc	₹
Temporary Certificate of Occ	date	Conditions (See Attach	
Tirel learnestics	date		expiration date
Final Inspection		_!	
Contificate Of Consumer	date	signature	
Certificate Of Occupancy			
7 Danfarrana O	date		
Performance Guarantee Rel			<u></u>
<b>7 B</b> ( ) <b>6</b>	date .	signature	
Defect Guarantee Submitted			<del></del>
	submitted date	amount	expiration date
Defect Guarantee Released			
	date	signature	

signature

NT PROCESSING FORM 2001-0055
Application I. D. Number

	ıns	вр Сору	, p
L.E. Lydon Jr. Construction			04/05/2001
Applicant	· · · · · ·		Application Date
3 Shaw Farm Road, Cape Elizabeth, ME 04107			Ailen Ave Lot #1
Applicant's Mailing Address			Project Name/Description
, ppiloting / today		682 - 692 Allen Ave, Portland, N	•
Consultant/Agent		Address of Proposed Site	
Applicant Ph: (207) 799-5459 Agent Fax:		398 A034001	
Applicant or Agent Daytime Telephone, Fax		Assessor's Reference: Chart-Bloo	:k-Lot
	ew Building   Buildin	g Addition 🦳 Change Of Use 👨	Residential  Office  Retail
	• 🗇	- Constant	
Manufacturing Warehouse/Distribution	Parking Lot	Other (sp	pecify) 26 x 30 single family home
1,446 sf	10,446 sf		
Proposed Building square Feet or # of Units	Acreage of S	ite	Zoning
Check Review Required:			
✓ Site Plan  ✓ Subdivision  ✓	on.	PAD Review	14-403 Streets Review
(major/minor) # of lots			
		- Historia Duna on astina	□ DED Local Cortification
Flood Hazard Shoreland	l	HistoricPreservation	DEP Local Certification
☐ Zoning Conditional ☐ Zoning Va	ariance		Other
Use (ZBA/PB)			
			04/05/0004
Fees Paid: Site PlanSubdivisi	on	Engineer Review \$250.0	00 Date: 04/05/2001
Insp Approval Status:		Reviewer Marge Schmuckal	
	d w/Conditions	Denled	
See Atta	· ·		
Approval Date 05/10/2001 Approval	Expiration 05/10/2002	Extension to	Additional Sheets
			Attached
<u> </u>	Schmuckal \	05/10/2001	
sig	nature	date	
Performance Guarantee Required	d*	Not Required	
* No building permit may be issued until a performance	quarantee has been subr	mitted as indicated below	
	<b>3</b>		
Performance Guarantee Accepted			emission data
	date	amount	expiration date
Inspection Fee Paid			
	date	amount	
Building Permit Issued			
	date		
Performance Guarantee Reduced			
	date	remaining balance	signature
Temporary Certificate of Occupancy		Conditions (See Attached)	
Temporary Certificate of Occupancy	date	Containent (Coor Macones)	expiration date
	44.0		от <b>р</b>
Final Inspection	4-4-		
	date	signature	
Certificate Of Occupancy			
	date		
Performance Guarantee Released			
	date	signature	
Defect Guarantee Submitted			
	submitted date	amount	expiration date

2001-0055 Application I. D. Number

	ADDENDUM
L.E. Lydon Jr. Construction	04/05/2001
Applicant	Application Date
3 Shaw Farm Road, Cape Elizabeth, ME 04107	Allen Ave Lot #1
Applicant's Mailing Address	Project Name/Description
	682 - 692 Allen Ave, Portland, Maine
Consultant/Agent	Address of Proposed Site
Applicant Ph: (207) 799-5459 Agent Fax:	398 A034001
Applicant or Agent Daytime Telephone, Fax	Assessor's Reference: Chart-Block-Lot
•••	oval Conditions of Insp ny deviations shall require a separate approval before starting that work.
2 Separate permits shall be required for future decks, sheds, pool, a	and/or garage.

DRC Copy

2001-0056			
Application I.	D. I	Number	

		DICO	Сору	• •	
L.E. Construction Inc.				04/0	05/2001
Applicant Applicant		<del></del>		Арр	lication Date
183 Mitchell Road, Cape Elizabeth	. ME 04107			Δila	n Ave Lot #2
Applicant's Mailing Address	,				ect Name/Description
.,			692 - 694 Allen Ave	•	•
Consultant/Agent			Address of Proposed		
Applicant Ph: (207) 799-5495	Agent Fax:		398 A035001		
Applicant or Agent Daytime Telepho	ne, Fax		Assessor's Reference	e: Chart-Block-L	ot
Proposed Development (check all th	at apply): 🔽 New Buildi	ng 🖂 Building	Addition 🗍 Change	Of Use 🕡 Re	esidential  Office  Retail
	e/Distribution	_	<del></del>	<del></del>	y) 31'6" x 21'6" Cape w/garag
	"Biotribution" T diffinity	-		ourier (specin	y) 510 X210 Cape Wigalag
1,482sf Proposed Building square Feet or #	of Linits	30,371sf Acreage of Site	<u> </u>	<del></del>	Zoning
roposed building square reet of #	or Office	Acreage or Site	;		Zoning
Check Review Required:					
Site Plan	Subdivision		PAD Review		14-403 Streets Review
(major/minor)	# of lots				
☐ Flood Hazard	Shoreland		☐ HistoricPreservati	ion	DEP Local Certification
	Onorgianu		instanta teservati	···	DET EQUAL CERTIFICATION
Zoning Conditional	Zoning Variance				Other
Use (ZBA/PB)					
Fees Paid: Site Plan \$	50.00 Subdivision	E	Engineer Review	\$250.00	Date <b>04/05/2001</b>
	*****				
DRC Approval Status:			viewer Lay Reynold	5 <b>2 1</b> 3	
Approved	Approved w/Con See Attached	ditions	_ De	nied	
April 2001 April 2001	Approval Expiration	05/10/2002	Extension to		Additional Sheets
The second access to the second	]		~~~	B. (B. (1) - 1) - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	Attached
Condition Compliance	Jay Reynolds signature		05/10/2001 date		
	Signature		uate		
Performance Guarantee	Required*		Not Required		
* No building permit may be issued to	intil a performance quarar	atee has been sub	7	low	•
No building permit may be issued to	inui a periormance guaran	itee ilas beeli sub	milited as indicated be	IUW	
Performance Guarantee Accepte	ed				
	date		amoun	t	expiration date
Inspection Fee Paid					
	date		amoun	t	
Building Permit Issue					
	date	<del></del>			
Performance Guarantee Reduce	d				
	date		remaining ba	alance	signature
Temporary Certificate of Occupa	ncy		Conditions (See A		• • • • •
	date				expiration date
Final Inspection					
	date		signatur	re	
Cartificate Of Coornage	Gale		Signatur	•	
Certificate Of Occupancy	data				
7.0-4	date				
Performance Guarantee Release					
	date		signatur	е	
Defect Guarantee Submitted					
	submitted	date	amoun	t	expiration date
Defect Guarantee Released					
	date		signatur	e	

2001-0056 Application I. D. Number

I. C. Canatavatian Inc.	04/05/2001
L.E. Construction Inc. Applicant	Application Date
183 Mitchell Road, Cape Elizabeth, ME 04107	Allen Ave Lot #2
Applicant's Mailing Address	Project Name/Description
	692 - 694 Allen Ave, Portland, Maine
Consultant/Agent	Address of Proposed Site
Applicant Ph: (207) 799-5495 Agent Fax:	398 A035001
Applicant or Agent Daytime Telephone, Fax	Assessor's Reference: Chart-Block-Lot

#### **Approval Conditions of Insp**

- This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- Separate permits shall be required for future decks, sheds, pool, and/or garage.

#### Approval Conditions of DRC

- APPLICANT SHALL INSTALL CLEANOUTS EVERY 80' ON THE SANITARY SEWER LINE (PER CITY OF PORTLAND STANDARDS).
- All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- Your new street address is now 694 Allen Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

### CITY OF PORTLAND, ME BOCA 1999 Plan Review Record One and Two Family Dwelling

Valua	tion: 4876666 Plan Review # 562	29¢ {
Fee: _	# 546.60 Date: 8MAY 269	b/
Buildi	ng Location: <u>696 Allen Aue</u> CBL: <u>398-12-9</u>	34
Buildi	ng Description: Single Family duelling / garage	Privat
Review	wed By: J- Amuel Affai	
Use or	Occupancy: R-3 Type of Construction: 5	<u>B</u>
*NR:	Not Required NA: Not Applicable SR: See Report X: OK	per plan
	Correction List	
NO:	Description	Code Section
1.	All SiTe Plan and building Code requirements	111.0
	shall be completed be fore a Centification	118.0
	of occupand ( can or will be issued.	/
2.	Before placing Concrete For Foundation	111.0
	You Shall Call The Code ENF. Office For	
	Setback Inspection	
3,	Foundation drains shall comply	18135,2
	with section 1813.5.2	
4.	Foundation anchors Shall Comphywith	2395,17
	SecT101 2305.17	1 - 0 -
_5.	Water proofing and damp proofing Shall	1813-0
	Comply with section 1913,4	1
6.	Private garages Shall comphy with section	497.0
	407.00	1.550
70	All Chinney & VenTS Shall Comphy with	NFPA
	NFPA 211	811
8,	Stain Construction Shall Comply with	1014.0
	Section 1014.6	1011 7
9.	AMINIMUM Convider widty of 36"13	1011.3
,	required	16.64
10.	Steeping room egress or rescue windows	to lot
	Shall Complex with section 10/0rd	18162
REV: PSH	FLashing Shall Comply with Section 1606310	1706.3.90

13 Ve 13 Ve 14 B 15 B 15 B 17 B 17 B 17 B	Description  moke ditectors shall comply with sation  20, 3.2  entilation and access of cray affice space  sall camply with sections 1216, of 1211. of  sledge elements shall meet the tastening  schoolale as per Table 2305, 2  Soning Cutting and Not ching shall comply  ith sections 23 95.3 73 ru 2305. 16  Pridging shall comply with section 1305. 16  Rections 13 05.3 73 ru 2305. 16  Rections 53 05.3 73 ru 2305. 16  Rections 54 07 comply with 5 ection 1912.  Rections 5001, 0 5002. e	Code Section 920,3.2 1210,d 1211,d 7611,e 23057, 388, 2305716 15020 111,6
12, 9 9 13, Ve 14, 8 15, 8 15, 8 12, 8 12, 8 12, 8 19, 0 29, 0	moke ditectors shall comply with sation 20,3.2 entilation and access of cray affic space hall camply with sections 1210, of 1211.4 slep elements shall ment the fastening school as per table 2305, 2 foring cutting and not ching shall comply with sections \$3,95.3 Fire 2305.16 enidging shall comply with section 2305.16 gooding shall comply with section 1502.0 go ofing shall comply with section 1502.0 go steel beam is to be used a design a structural lengineer shall be definited to the office and some shall be shall comply with	Section 920,3.2 1210,d 1211,d 7211,e 2305,
13 Ve 13 Ve 14 B 15 B 15 B 17 B 17 B 17 B	20, 3.1 entilation and access of Craw ( attic space hall Camply with sections 1210, of 1211.4 slide elements shall meet The fastening should as per table 23\$5, 2 soning ( Cutting and Not ching shall comply with sections \$ 33 95.3 from \$2305.16 and doing shall Comply with section 1395.16 a steel beam is to be used a design of a structural lengineer shall be should be sharted to the office shall be shall be shall be shall shall comply with	920,3.2 1210,0 1211.0 761.6 2305;7
13 Ve 13 Ve 14 B 15 B 15 B 17 B 17 B 17 B	20, 3.1 entilation and access of Craw ( attic space hall Camply with sections 1210, of 1211.4 slide elements shall meet The fastening should as per table 23\$5, 2 soning ( Cutting and Not ching shall comply with sections \$ 33 95.3 from \$2305.16 and doing shall Comply with section 1395.16 a steel beam is to be used a design of a structural lengineer shall be should be sharted to the office shall be shall be shall be shall shall comply with	1210.d 1211.d 1211.d 2305.7 300.7
13. Ve 5. 14. B. 15. B. 16. B. 12. E. 18. 5. 19. 0. 29. 0.	entilation and access of Cray ( attic space hall camply with sections 1210, of 1211) of sall camply with sections 1210, of 1211) of school cample as per Table 23\$5, 2 converge shall comply with sections \$3,95.3 from \$23\$5.16  Pridging shall comply with section 1395.16  Rections of sall comply with section 1502.0  Rection 15 To be used a design a structural engineer show be about the section 1912.  Shardroids hardroids brall comply with	1211.61 Talle 23057 300 300 300 300 300 300 300 30
2/1 0	Schools 3hall meet The fastening show dule as per Table 23\$5 2  Soring Culting and Notching shoul comply with sections \$395.3 Fra \$23\$5.16  Pridging 5kall Comply with Section 2395.16  Rocfing 5kall Comply with Section 1507.0  Ra Steel Scam is To be used a design a Structural lengineer shoul be should be should be blumitted to This Office blumns shall comply with Section 1912.	1211.61 Talle 23057 300 300 300 300 300 300 300 30
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2/1 0	Poring Cutting and Not ching shall comply with sections 23 95.3 From 2395.16  Pridging shall comply with section 2395.16  Rocting 15 Sail Comply with Section 1507.8  Ra Steel beam is to be used a design a structural lengineer show be be writted to Thes office blums shall comply with section 1912.  Drandrains hardrains brall comply with	sec.
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## Foundations (Chapter 18)

## Wood Foundation (1808)

NA	_ Design _ Installation
	Footings (1807.0)
X X X	Depth below (outside) grade 4' minimum; but below frost line except for insulated footings. Insulated footing provided Soil bearing value (table 1804.3) Footing width Concrete footing (1810.0) .3.1, 3.2
	Foundation Walls
X X X X X X X X X X X X X X X X X X X	Design (1812.1) Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2) Water proofing and damp proofing Section 1813 Sill plate (2305.17) Anchorage bolting in concrete (2305.17) Columns (1912) Crawl space (1210.2) Ventilation Crawl opening size (1210.2.1) Access to crawl and attic space (1211.0)
	Floors (Chapter 16-23)
XXXXX	Joists - Non sleeping area LL40PSF (Table - 1606) Joists - Sleeping area LL30PSF (Table - 1606) Grade Spacing Span Girder 4" bearing 2305.6.1

## Floors (contd.)

Bearing (11/2" minimum on wood or steel 3" on masonry) and lapped (3")2305.2  Bridging (2305.16)  Boring and notching (2305.5.1)  Cutting and notching (2305.3)  Fastening table (2305.2)  Floor trusses (AFPANDS Chapter 35)  Draft stopping (721.7)  X Framing of openings (2305.11) (2305.12)  X Flooring - (2304.4) 1" solid - 1/2" particle board  Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder	
Wall Construction (Chapter 2300)	
V. Darian (1600) wind loads	
Design (1609) wind loads	
Load requirements	
Grade	
Fastening schedule (Table 2305.2)	
Wall framing (2305.4.1)	
$\triangle$ Double top plate (2305.4.2)	
Bottom plates: (2305.4.3)	
Notching and boring: (2305.4.4) studs	
Non load bearing walls (2305.5)	
SY Notching and boring (2305.5.1)	
Wind bracing (2305.7)	
Wall bracing required (2305.8.1)	
$\underline{X}$ Stud walls (2305.8.3)	
Sheathing installation (2305.8.4)	
Minimum thickness of wall sheathing (Table 2305.13)	
Metal construction	
Masonry construction (Chapter 21)	
Exterior wall covering (Chapter 14)	
Performance requirements (1403)	
Materials (1404)	
Va Veneers (1405)	
Roof-Ceiling Construction (Chapter 23)	

	oof rafters - Design (2305.15) spans oof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2)) oof trusses (2313.3.1)
	Roof Coverings (Chapter 15)
Pe Fi	pproved materials (1404.1) erformance requirement (1505) re classification (1506) faterial and installation requirements (1507) poof structures (1510.0) type of covering (1507)
	Chimneys and Fireplaces BOCA Mechanical/1993
Fa M. Fa	asonry (1206.0) actory - built (1205.0) asonry fireplaces (1404) actory - built fireplace (1403) FPA 211  Mechanical 1993 BOCA Mechanical Code

State Plumbing Code
Public Waters
Public Sener
Page 5

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	•
	Load Design Criteria
Floor live load sleeping Floor live load non sleeping Roof live load Roof snow load Seismic Zone Weathering area Frost line depth	30 PSF 40 PSF 42 PSF 46 PSF 2 S 4' MIN
·	Glazing (Chapter 24)
Labeling (2402.1)  Louvered window or jalou  Human impact loads (240  Specific hazardous location  Sloped glazing and skylight	5.0) ons (2405.2)
I	Private Garages (Chapter 4)
General (407) Beneath rooms (407.3) Attached to rooms (407.4) Door sills (407.5) Means of egress (407.8) Floor surface (407.9)	

#### Egress (Chapter 10)

One exit from dwelling unit (1010.2)

Sleeping room window (1010.4)

EXIT DOOR (1017.3) 32" W 80" H

Landings (1014.3.2) stairway

Ramp slope (1016.0)

Stairways (1014.3) 36" W

Treads (1014.6) 10" min.

Riser (1014.6) 7 3/4" max.

Solid riser (1014.6.1)

Winders (1014.6.3)

Spiral and Circular (1014.6.4)

Handrails (1022.2.2.) Ht.

Handrail grip size (1022.2.4) 1 1/4" to 2"

Guards (1012.0) 36" min.

#### Smoke Detectors (920.3.2)

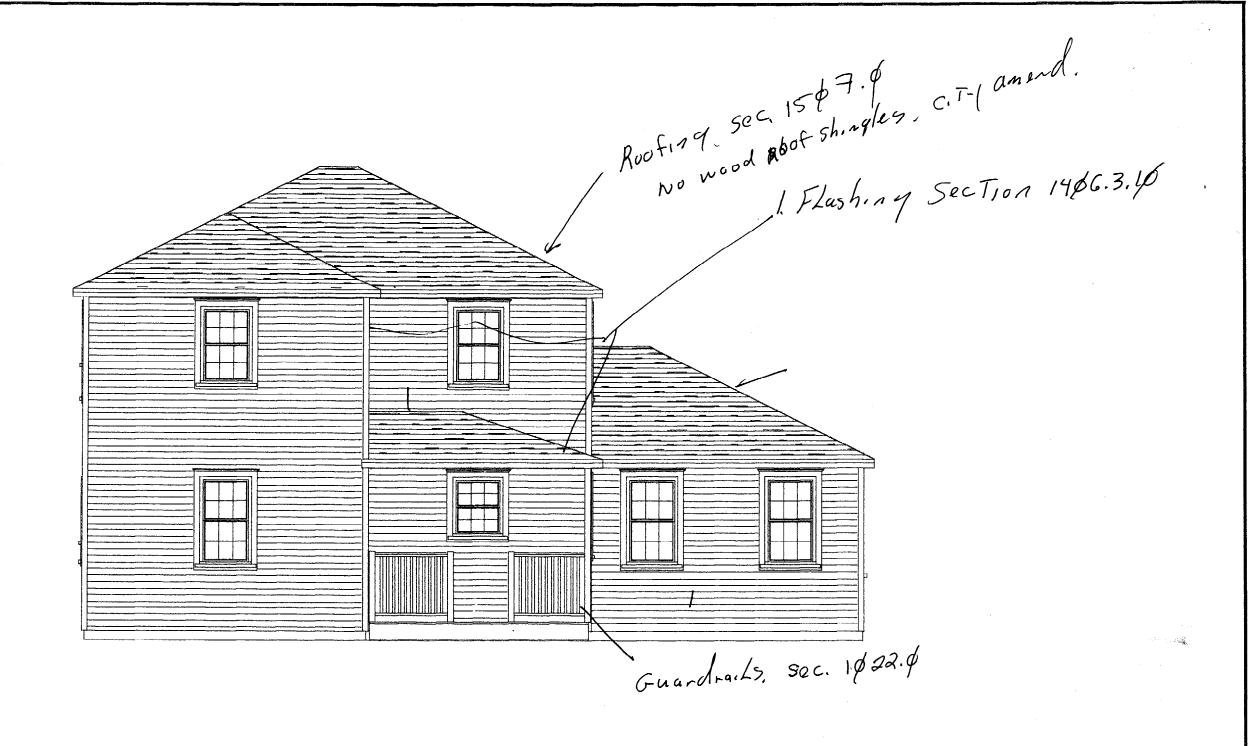
Location and interconnection
Power source

Dwelling Unit Separation

Table 602

Electrical NFPA#

Applicant: L.E. Lydan Jr. Cast Date: 5/7/01 Address: 696 Allen AVE C-B-L: 398 -1-34 CHECK-LIST AGAINST ZONING ORDINANCE Date - New Zone Location - R - 3 Interior or corner lot -Proposed Use/Work - New S 26 × 30 5 Servage Disposal - Ch Lot Street Frontage - 50 reg ensed Front Yard - 25' Teg May Rear Yard - 25 reg Side Yard - 14' reg - 17' i Shown Projections - Side bulkheado - (LAY Deck 11'X14/21' Width of Lot - 75' reg - = 80' scalad (The principal - 5 2+'Sh Lot Aren - 6,500tim 10,446# Show Lot Coverage Impervious Surface - WAX 25% 7 2611,5# 11421 Area per Family - 6,500 \$ Off-street Parking - 2 (cy / cm gmaga 780 Loading Bays - NA Site Plan - must 2001 - 0055 Shoreland Zoning/Stream Protection -Flood Plains - Parel Z - 7

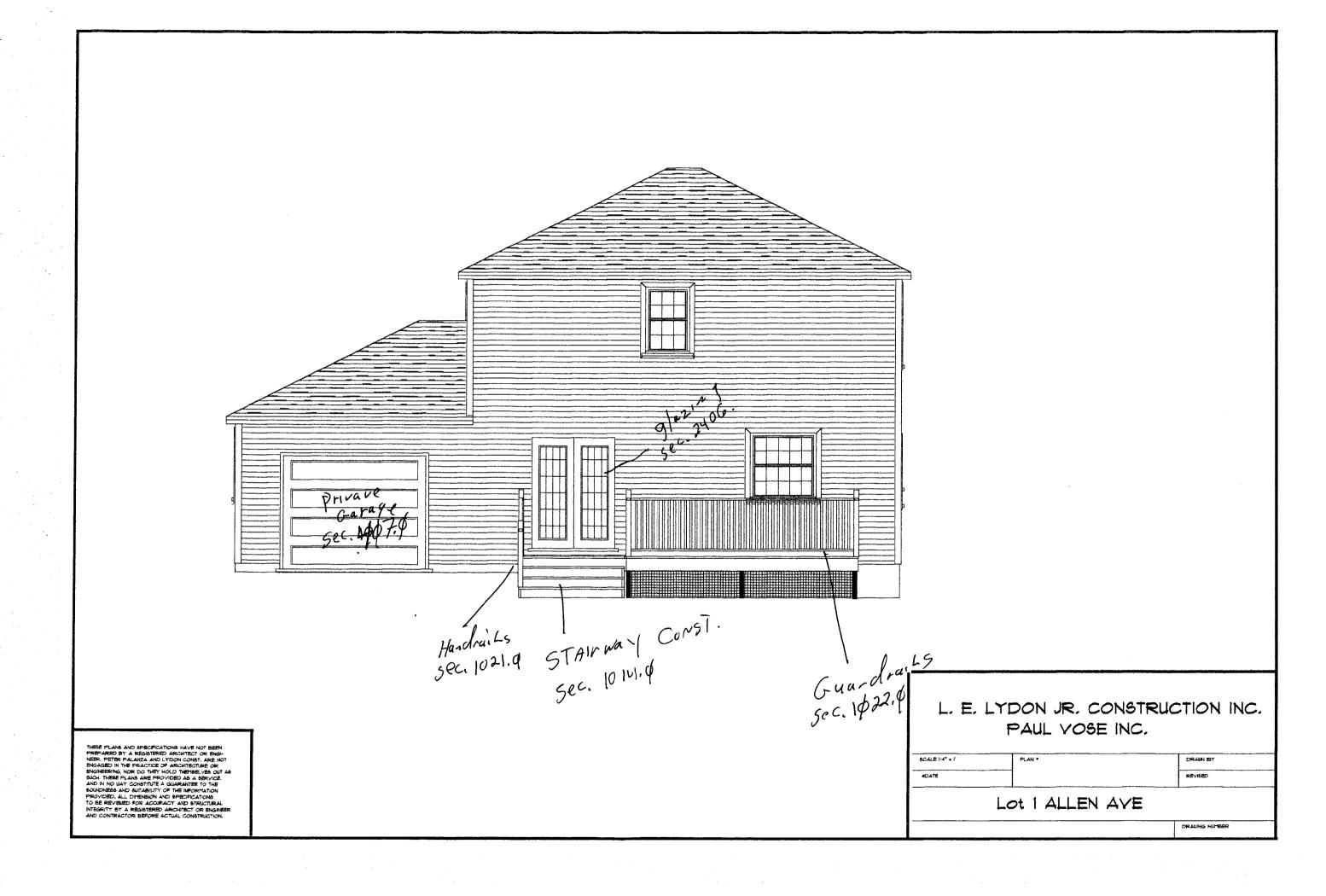


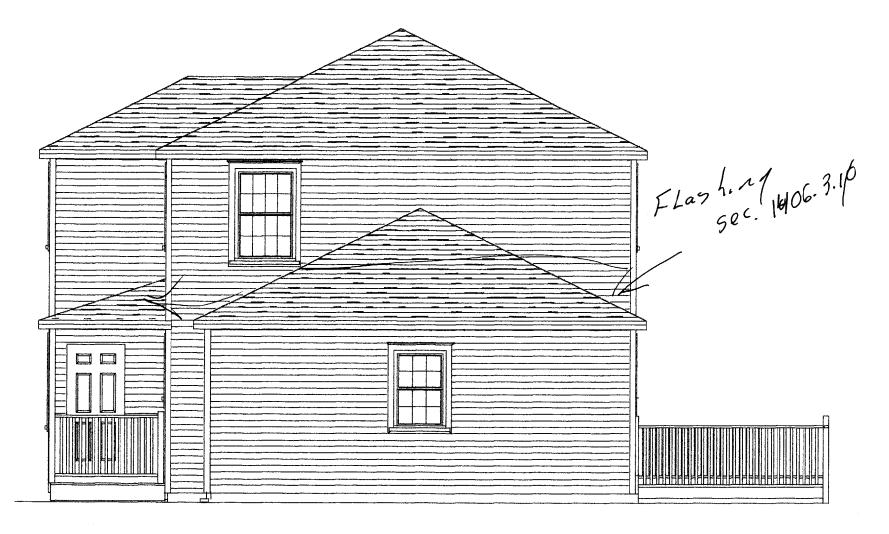
THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR SHGINER, PETER PALANZA AND LYTON CONST. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THAT HOLD THERELY BO JUT AS SICH, THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SCUNDIES AND SUITABILITY OF THE NORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS FROM THE PROVIDED AND ADDITIONAL THE RESULT OF THE NORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS INTEGRITY BY A REGISTERED ARCHITECT OR BIGGINEER AND CONTRACT ON STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR BIGGINEER AND CONTRACT ON SOMETIMETOR.

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RIGHT ELEVATION

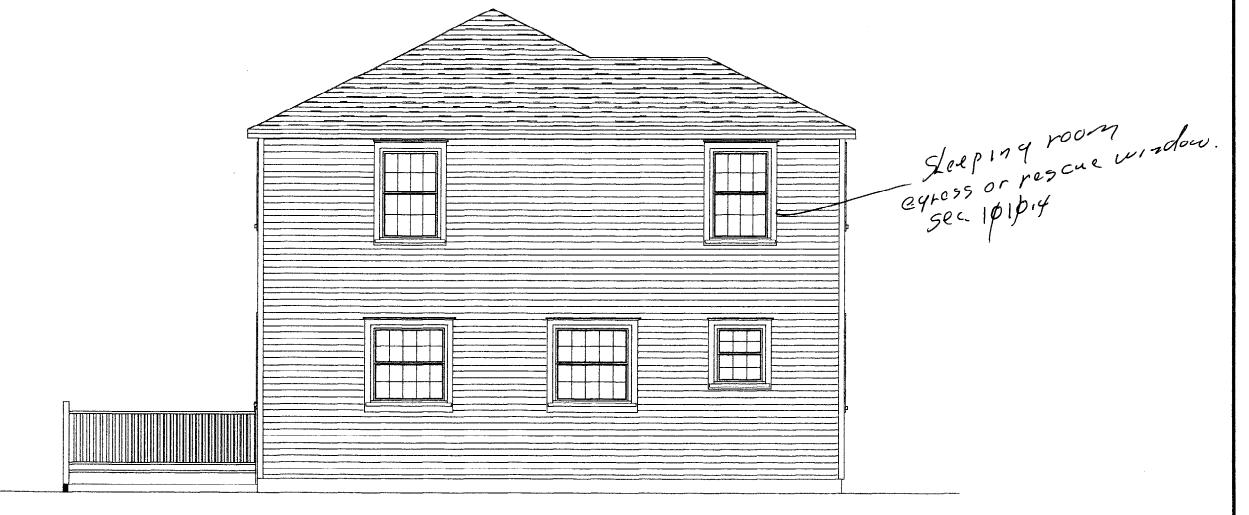
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L. E. LYDON JR. CONSTRUCTION INC. PAUL YOSE INC.

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LEFT ELEVATION

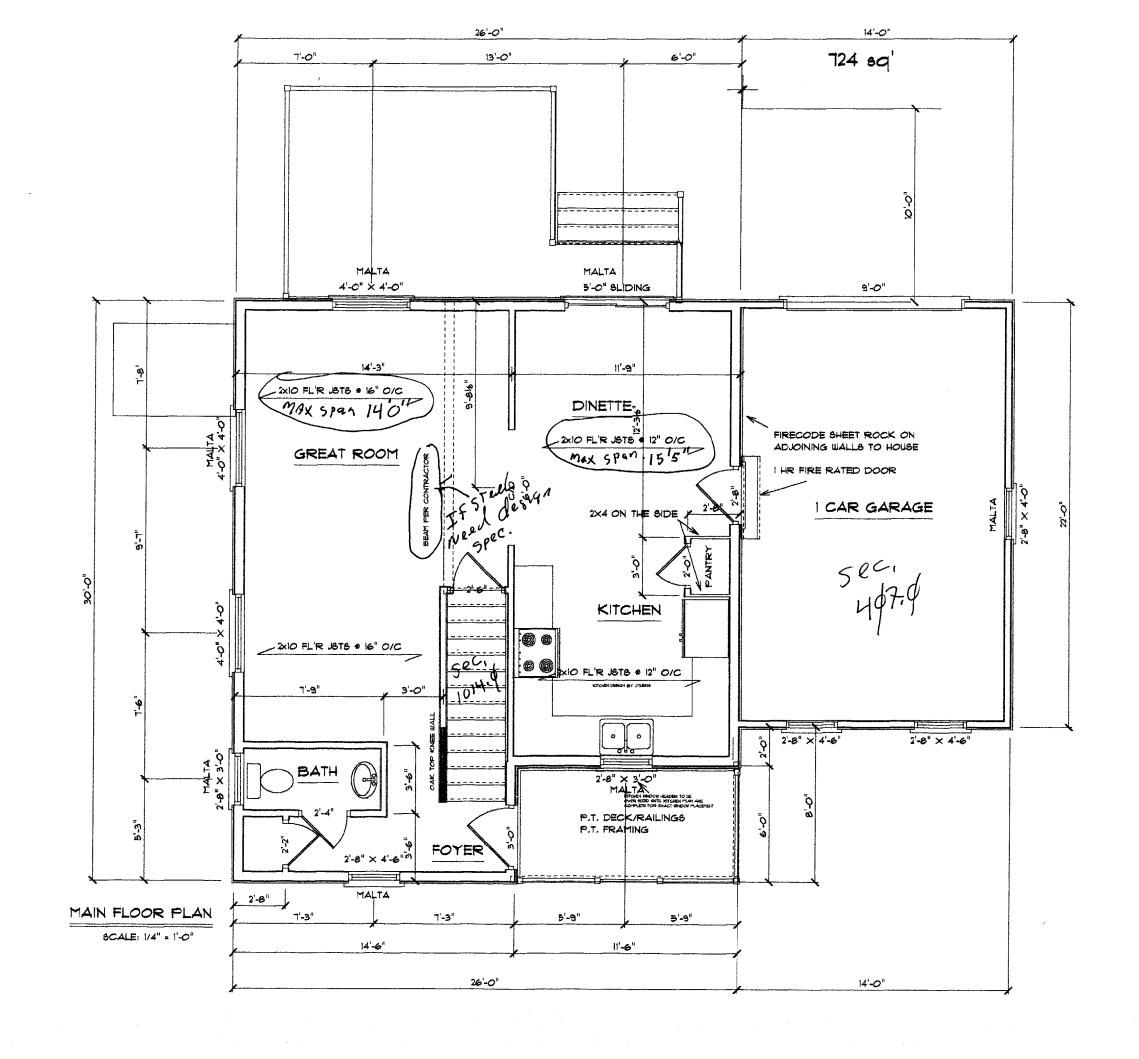
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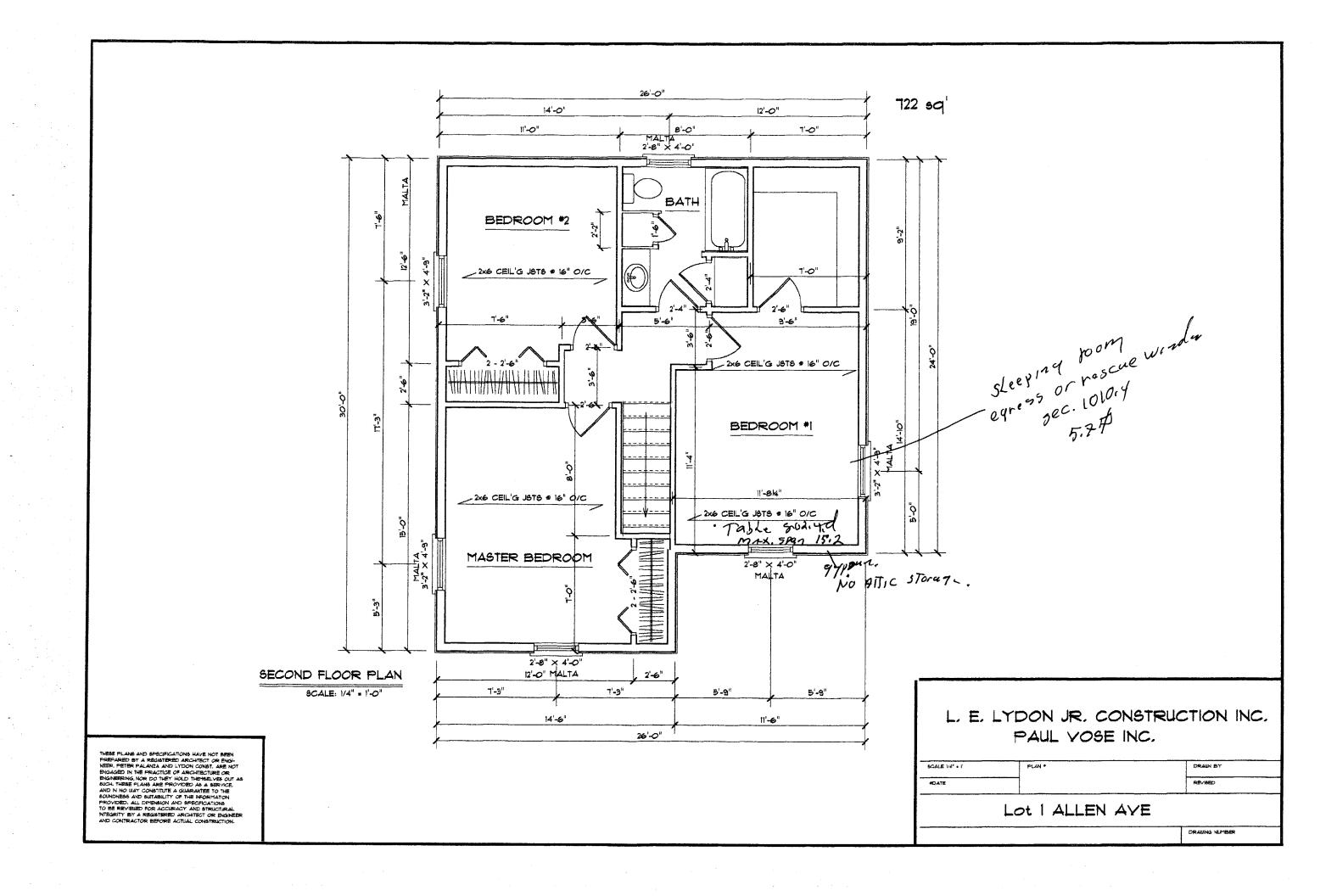
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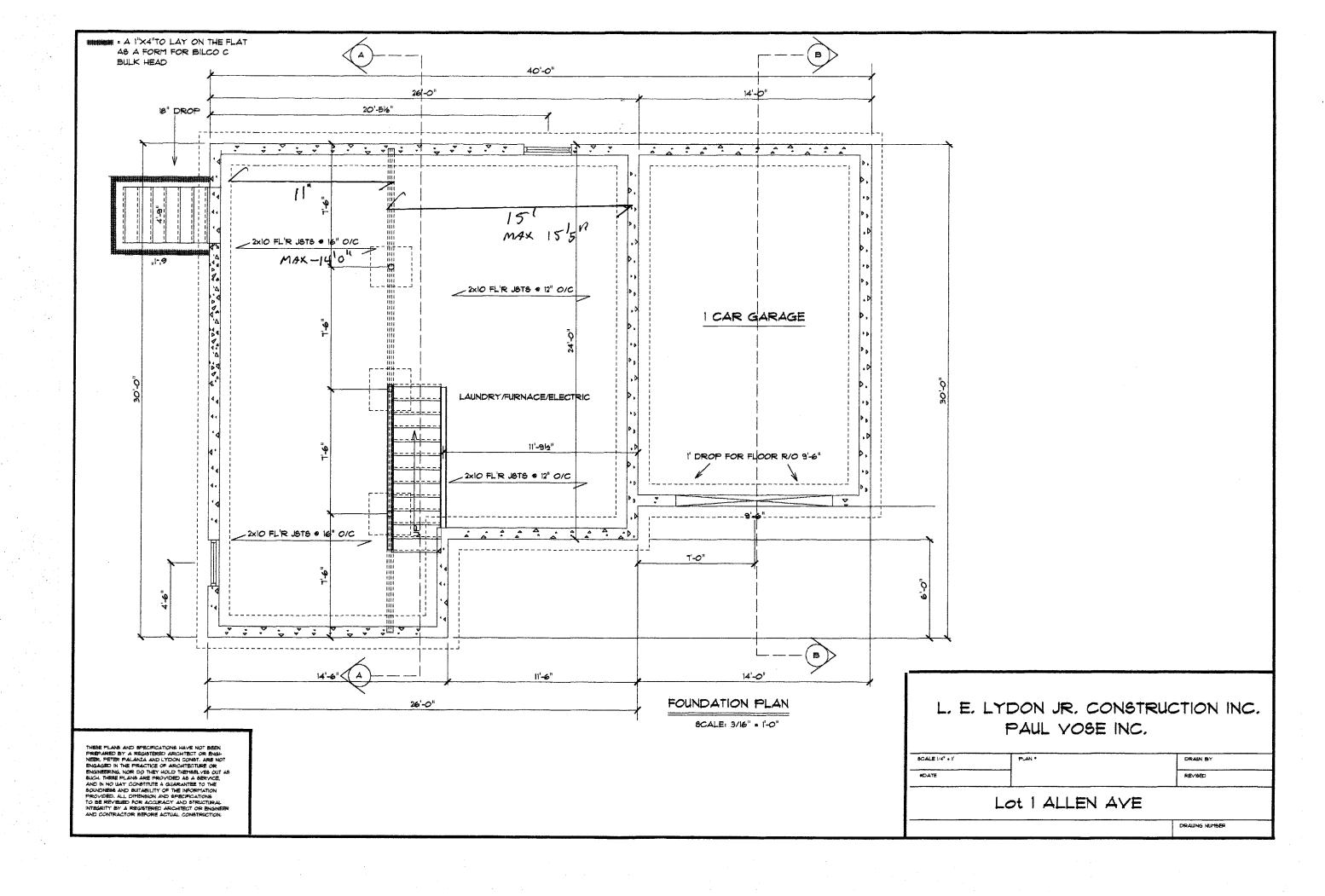
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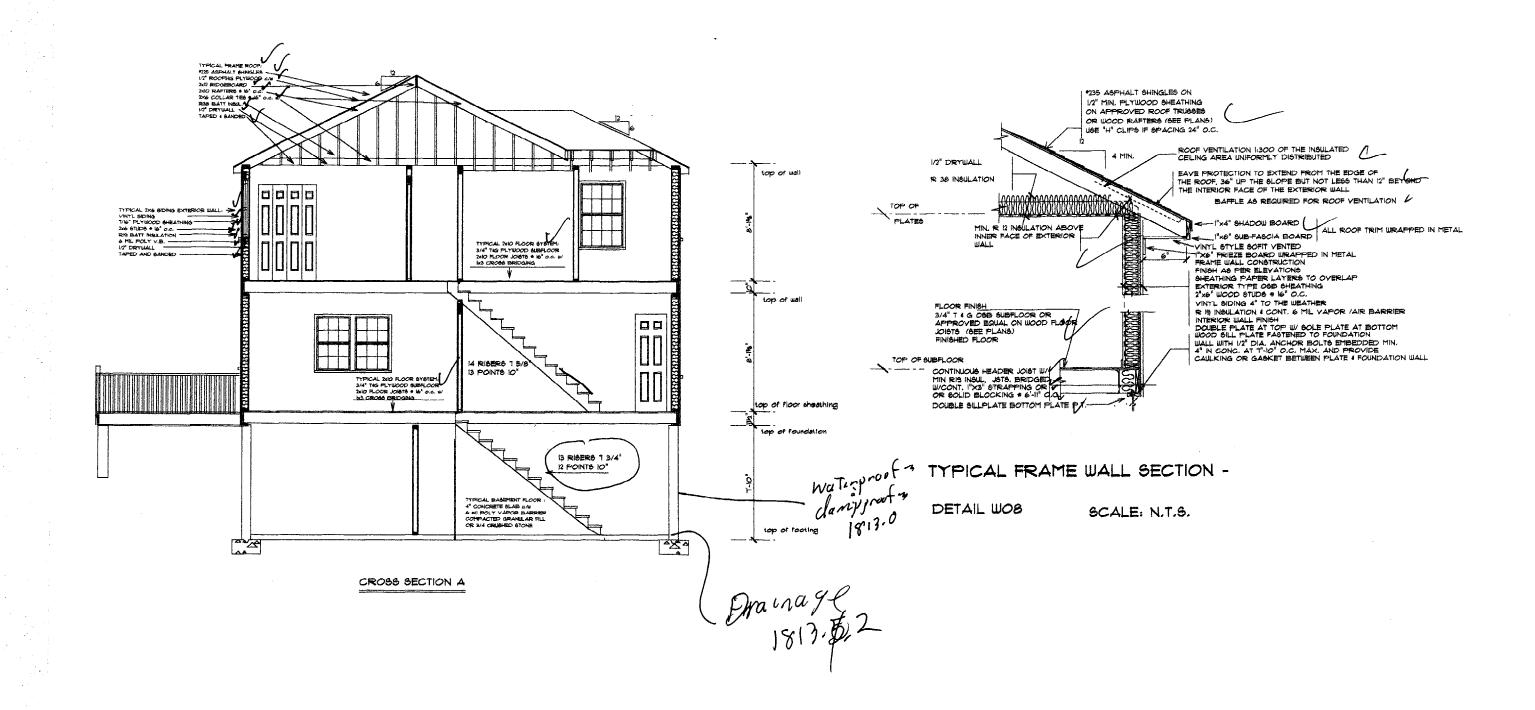
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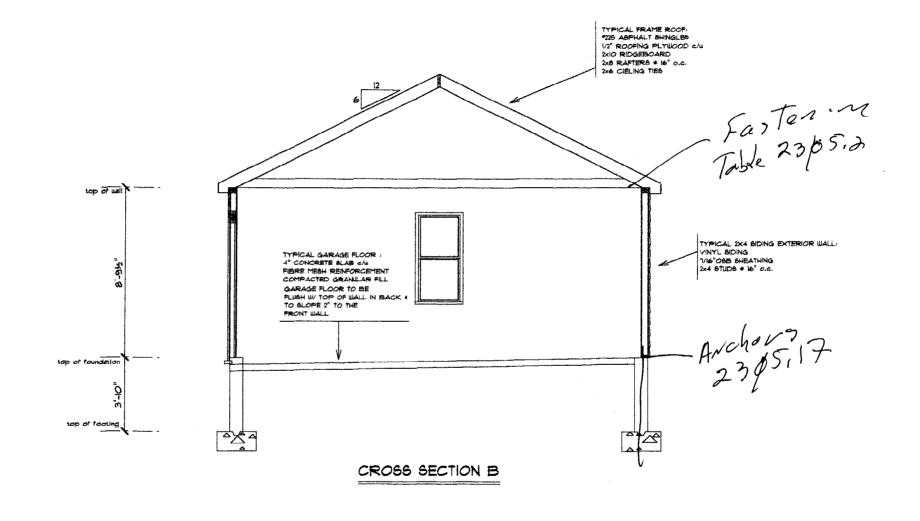
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