

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | |
|--|---------------------|
| Permit No: MAY 11 2001 01-0330 | CBL: 398 A034001 |
|--|---------------------|

| | | | |
|---|---|---|-------------------------------|
| Location of Construction: 696 Allen Ave | Owner Name: L.E. Lydon Jr. Construction | Owner Address: 696 Allen Ave | Phone: 207-799-5495 |
| Business Name: n/a | Contractor Name: L.E. Lydon Jr. Construction. Inc | Contractor Address: 3 Shaw Farm Road Cape Elizabeth | Phone: 2077995459 |
| Lessee/Buyer's Name: n/a | Phone: n/a | Permit Type: Single Family | Zone: R-3 |

| | | | | |
|----------------------------|---|---|--|---------------------------|
| Past Use: Vacant | Proposed Use: New 26 x 30 single family with attached 14 x 22 garage. **Call Larry Lydon 799-5495 | Permit Fee: \$546.00 | Cost of Work: \$87,000.00 | CEO District: 2 |
| | | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group R-3 Type: 5-13 | |

| | | |
|---|---|---|
| Proposed Project Description: Build New Single Family | Signature: <i>[Signature]</i> | Signature: <i>[Signature]</i> |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied | | |
| Signature: | | Date: |

| | | | |
|-------------------------------|--|------------------------|--|
| Permit Taken By: gg | Date Applied For: 04/05/2001 | Zoning Approval | |
|-------------------------------|--|------------------------|--|

| | | | |
|---|---|---|--|
| <ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NAA</i> <input type="checkbox"/> Wetland <i>None delineated</i> <input type="checkbox"/> Flood Zone <i>panel 2 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#2001-0055</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>5/10/01</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: |
|---|---|---|--|

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling,

All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 696 Allen Ave.

Total Square Footage of Proposed Structure 1446 # Square Footage of Lot 10,446 #

| | | |
|--|--|-----------------------------|
| Tax Assessor's Chart, Block & Lot Number Chart# <u>398</u> Block# <u>A</u> Lot# <u>34</u> | Owner: <u>L. E. Lydon Jr. Const. Inc.</u> <u>Paul Vasc Inc.</u> | Telephone#: <u>799-5495</u> |
|--|--|-----------------------------|

| | | |
|---|--|--|
| Lessee/Buyer's Name (If Applicable) <u>N/A</u> | Owner's/Purchaser/Lessee Address: <u>3 Shaw Farm Rd. C.E. ME.</u> | Cost Of Work: <u>546.00</u> \$ <u>87,000.</u> Fee: \$ 1,000.00 |
|---|--|--|

Current use: Vacant minor minor 300.00
If the location is currently vacant, what was prior use: lawn
Approximately how long has it been vacant: — 846.00
Proposed use: single family residence
Project description: 2 story wood frame Hiped roof colonial
One car garage 26 X 30 w/ attached 14 x 22 garage

Contractor's Name, Address & Telephone:
L. E. Lydon Jr. Const. Inc. 799-5495
3 Shaw Farm Rd.
Cape Elizabeth, ME. 04107
Applicants Name, Address & Telephone:
SGMC
Who should we contact when the permit is ready: Larry Lydon
Telephone: 799-5495
If you would like the permit mailed, what mailing address should we use:
3 Shaw Farm Rd.
Cape Elizabeth, ME. 04107

Rec'd By:

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

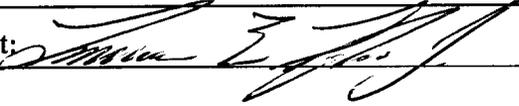
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|--------------|
| Signature of applicant:  | Date: 4-5-01 |
|---|--------------|

Please note that exact replacement of any structure including decks, stairs and sheds will still need a scaled plot plan.

BUILDING PERMIT REPORT

DATE: 2 MAY 2001 ADDRESS: 696 Allen Ave. CBL: 398-A-034

REASON FOR PERMIT: Single Family Dwelling w/ 1st. garage

BUILDING OWNER: L.E. Lydon Jr. Const.

PERMIT APPLICANT: /CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 87000 PERMIT FEES: 6546.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5, *7, *8, *9, *11, *13, *14, *15, *16, *20, *32

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6" O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

- *20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *29. All requirements must be met before a final Certificate of Occupancy is issued.
- *30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review sheets shall be met*
- *33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- *34. Bridging shall comply with Section 2305.16.
- *35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- *38. *Roofing shall comply with section 1507.0*

[Signature]
 P. Samuel Hobbes, Building Inspector
 Cc: M. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

****** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2001-0055
Application I. D. Number
4/5/01
Application Date
New Single Family
Project Name/Description

L.E. Lydon Jr. Construction
Applicant

3 Shaw Farm Road, Cape Elizabeth, ME 04107
Applicant's Mailing Address

Consultant/Agent **5495**
Applicant Ph: (207) 799-5498 **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

696 - 696 Allen Ave, Portland, Maine
Address of Proposed Site
398 A034001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **26 x 30 single family home**

1,446 sf **10,446 sf**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **4/5/01**

Insp Approval Status:

Reviewer _____

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

L.E. Lydon Jr. Construction
Applicant
3 Shaw Farm Road, Cape Elizabeth, ME 04107
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 799-5459 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

2001-0055
Application I. D. Number
04/05/2001
Application Date
Allen Ave Lot #1
Project Name/Description
682 - 692 Allen Ave, Portland, Maine
Address of Proposed Site
398 A034001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0056
Application I. D. Number

04/05/2001
Application Date

Allen Ave Lot #2
Project Name/Description

L.E. Construction Inc.
Applicant
183 Mitchell Road, Cape Elizabeth, ME 04107
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 799-5495 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

692 - 694 Allen Ave, Portland, Maine
Address of Proposed Site
398 A035001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **31'6" x 21'6" Cape w/garage**

1,482sf Proposed Building square Feet or # of Units 30,371sf Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 04/05/2001

DRC Approval Status:

- Approved **Approved w/Conditions** See Attached Denied

Approval Date 05/10/2001 Approval Expiration 05/10/2002 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds signature 05/10/2001 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0056

Application I. D. Number

04/05/2001

Application Date

Allen Ave Lot #2

Project Name/Description

L.E. Construction Inc.

Applicant

183 Mitchell Road, Cape Elizabeth, ME 04107

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 799-5495 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

692 - 694 Allen Ave, Portland, Maine

Address of Proposed Site

398 A035001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.

Approval Conditions of DRC

- 1 APPLICANT SHALL INSTALL CLEANOUTS EVERY 80' ON THE SANITARY SEWER LINE (PER CITY OF PORTLAND STANDARDS).
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now 694 Allen Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- 8 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 9 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$87,000.00 Plan Review # 502/2001

Fee: \$546.00 Date: 8 MAY 2001

Building Location: 696 Allen Ave. CBL: 398-A-034

Building Description: Single Family dwelling / garage Private.

Reviewed By: J. Samuel Hayes

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

| Correction List | | |
|-----------------|--|----------------|
| NO: | Description | Code Section |
| 1. | All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued. | 111.0 118.0 |
| 2. | Before placing concrete for foundation you shall call the code enforcement office for setback inspection | 111.0 |
| 3. | Foundation drains shall comply with section 1813.5.2 | 1813.5.2 |
| 4. | Foundation anchors shall comply with section 2305.17 | 2305.17 |
| 5. | Water proofing and damp proofing shall comply with section 1813.0 | 1813.0 |
| 6. | Private garages shall comply with section 407.0 | 407.0 |
| 7. | All chimney vents shall comply with NFPA 211 | NFPA 211 |
| 8. | Stair construction shall comply with section 1014.0 | 1014.0 |
| 9. | A minimum corridor width of 36" is required | 1011.3 |
| 10. | Sleeping room egress or rescue windows shall comply with section 1010.4 | 1010.4 |
| 11. | Flashing shall comply with section 1606.3.10 | 1606.3.10 |

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
~~NA~~ Insulated footing provided
~~X~~ Soil bearing value (table 1804.3)
~~X~~ Footing width
~~X~~ Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

~~X~~ Design (1812.1)
~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
~~SI~~ Water proofing and damp proofing Section 1813
~~X~~ Sill plate (2305.17)
~~SI~~ Anchorage bolting in concrete (2305.17)
~~SI~~ Columns (1912)
~~SI~~ Crawl space (1210.2) Ventilation
~~SI~~ Crawl opening size (1210.2.1)
~~SI~~ Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
~~X~~ Grade
~~X~~ Spacing
~~X~~ Span
~~X~~ Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NA~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~SA~~ Approved materials (1404.1)
- ~~|~~ Performance requirement (1505)
- ~~|~~ Fire classification (1506)
- ~~|~~ Material and installation requirements (1507)
- ~~NA~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~NA~~ Masonry (1206.0)
- ~~|~~ Factory - built (1205.0)
- ~~|~~ Masonry fireplaces (1404)
- ~~|~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) ~~36"~~ W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~X~~ Stairways (1014.3) 36" W
- ~~X~~ Treads (1014.6) 10" min.
- ~~X~~ Riser (1014.6) 7 3/4" max.
- ~~X~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation

Table 602

~~NA~~

Electrical

NFPA # ~~90~~

Applicant: L.E. Lydan Jr. Const
Address: ⁶⁸² 696 Allen Ave

Date: 5/7/01
C-B-L: 390-A-34

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - New single family 26' x 30' ~~single family~~ with 11' x 22' garage

Sewage Disposal - City with rear deck

Lot Street Frontage - 50' req - 135.93' shown 11' x 14' 21'

Front Yard - 25' req - 27' shown

revised ~~W~~ Rear Yard - 25' req - ^{25.9'} 25' shown

Side Yard - 14' req - 17' ^{19'} shown

2 story Projections - side bulkhead - rear deck 11' x 14' 21'

is moved ~~be~~ ~~width~~ Width of Lot - 75' req - \approx 80' scaled (from principal structure) not the deck
Height - 35' MAX - \approx 24' shown

Lot Area - 6,500 sq ft 10,446 sq ft shown

Lot Coverage/Impervious Surface - MAX 25% = 2,611.5 sq ft

Area per Family - 6,500 sq ft

Off-street Parking - 2 req - 1 car garage in rear drive

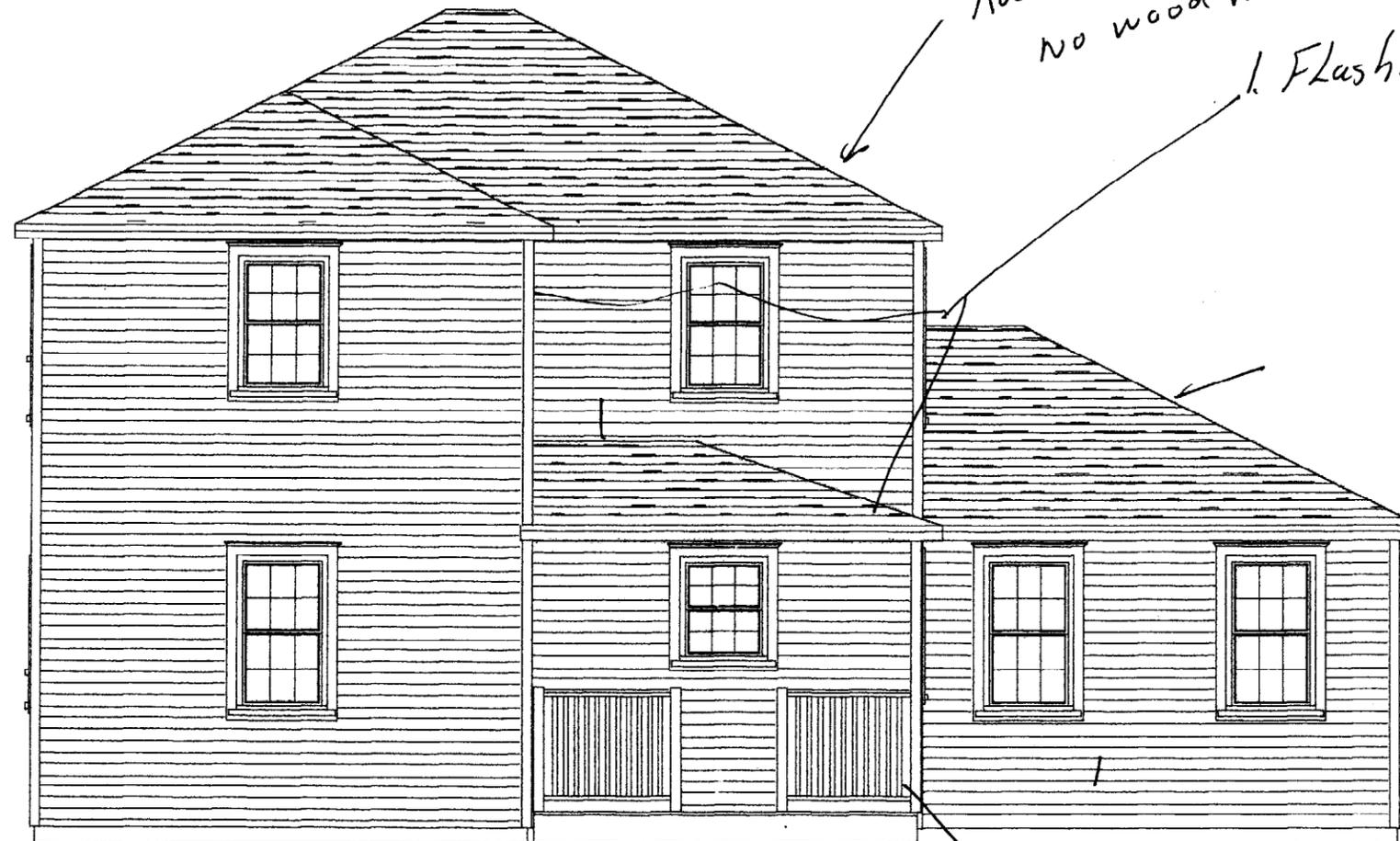
Loading Bays - N/A

Site Plan - minor/minor # 2001-0055

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - Zone X

11 x 21 = 231
14 x 22 = 308
26 x 30 = 780
~~16,887~~
13,194



Roofing sec 15 ϕ 7.0
 No wood shingles, C.T. amend.

1. Flashing Section 14 ϕ 6.3.4 ϕ

Guardrails, sec. 1 ϕ 22.0

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L. E. LYDON JR. CONSTRUCTION INC.
 PAUL VOSE INC.

| | | |
|-----------------|--------|----------|
| SCALE 1/4" = 1' | PLAN * | DRAWN BY |
| DATE | | REVISED |

Lot 1 ALLEN AVE

DRAWING NUMBER



Private
Garage
Sec. 1007.0

glazing
sec. 2406.

Handrails
sec. 1021.0

STAIRWAY CONST.
sec. 1014.0

Guardrails
sec. 1022.0

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PAUL YOSE INC.

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| DATE | | REVISED |
| Lot 1 ALLEN AVE | | |
| | | DRAWING NUMBER |

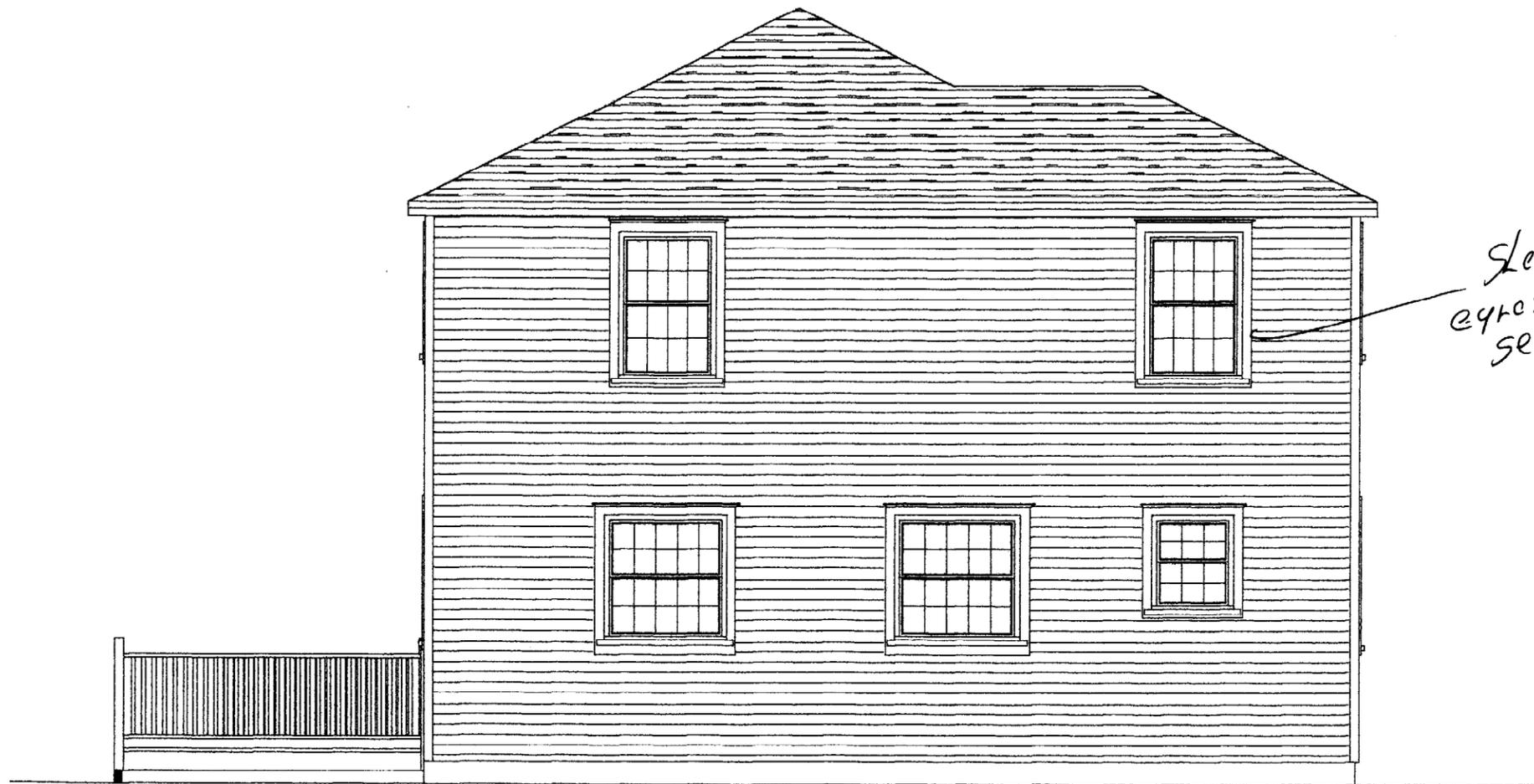


RIGHT ELEVATION

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| Lot 1 ALLEN AVE | | |
| | | DRAWING NUMBER |



*Sleeping room
egress or rescue window.
Sec. 1010.4*

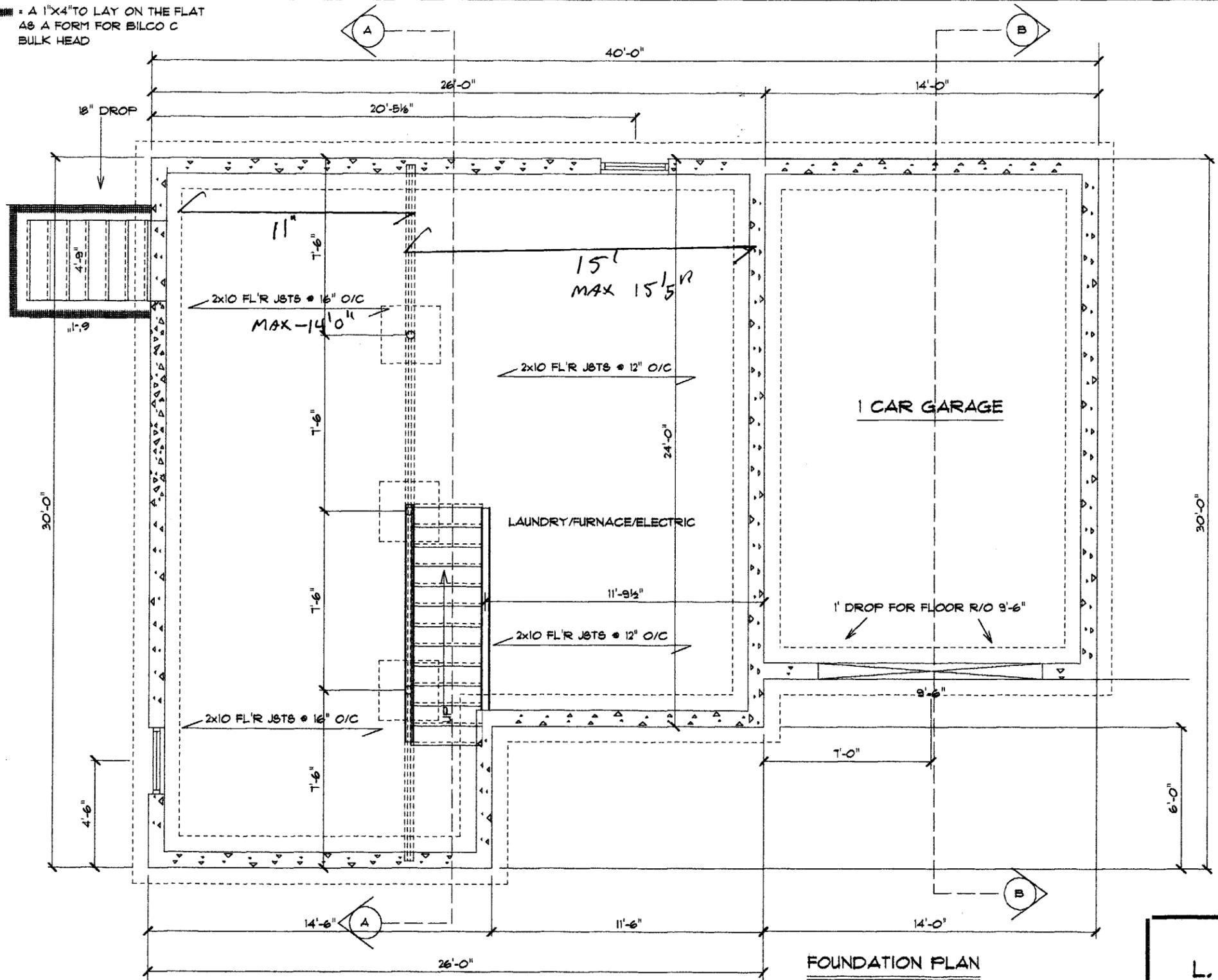
LEFT ELEVATION

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■ = A 1"X4" TO LAY ON THE FLAT AS A FORM FOR BILCO C BULK HEAD

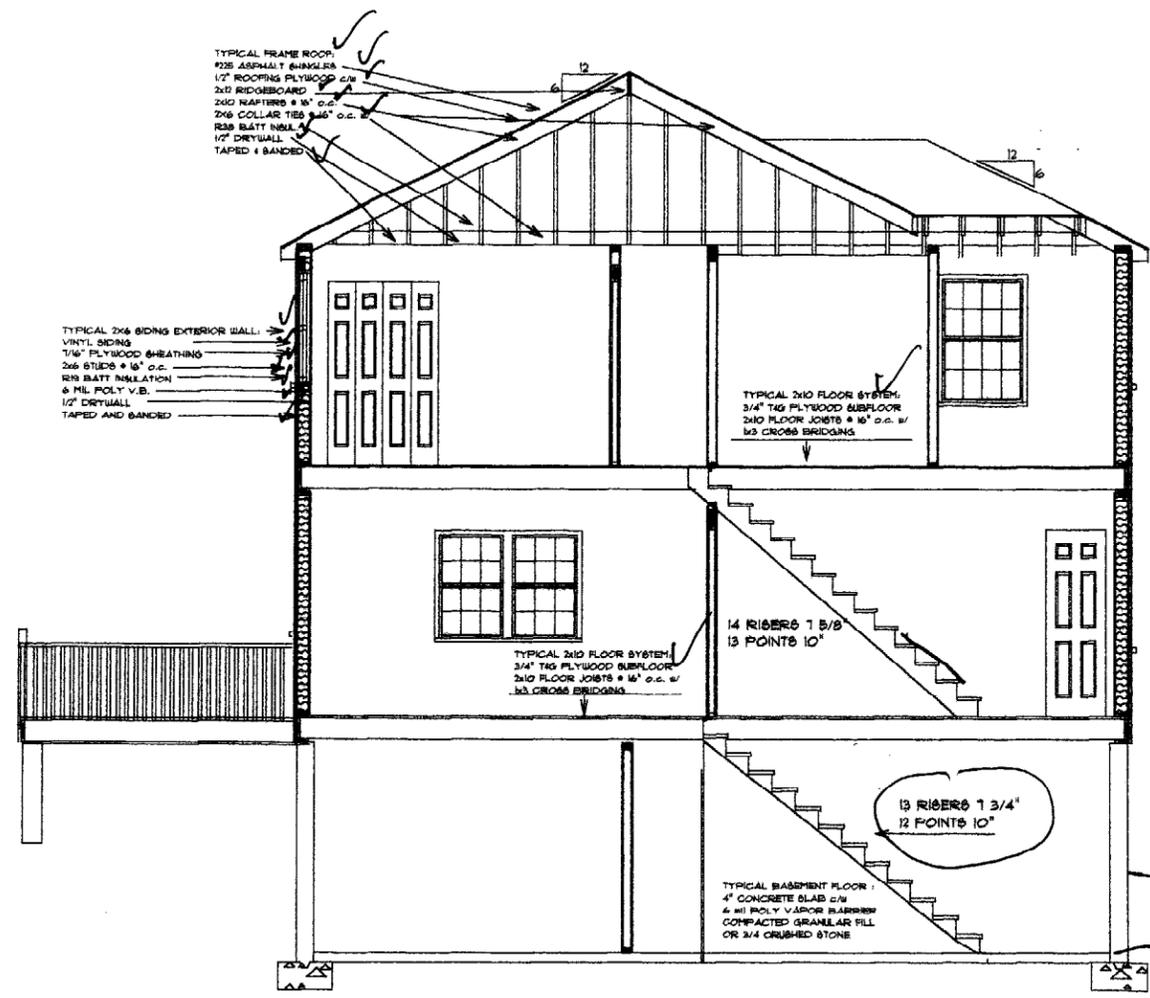


FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

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L. E. LYDON JR. CONSTRUCTION INC.
PAUL YOSE INC.

| | | |
|-----------------|--------|----------------|
| SCALE 1/4" = 1' | PLAN # | DRAWN BY |
| #DATE | | REVISED |
| Lot 1 ALLEN AVE | | |
| | | DRAWING NUMBER |



TYPICAL FRAME ROOF:
 #25 ASPHALT SHINGLES
 1/2" ROOFING PLYWOOD ON
 2x12 RIDGEBEARD
 2x10 RAFTERS @ 16" O.C.
 2x6 COLLAR TIES @ 16" O.C.
 R38 BATT INSUL.
 1/2" DRYWALL
 TAPED & BANDED

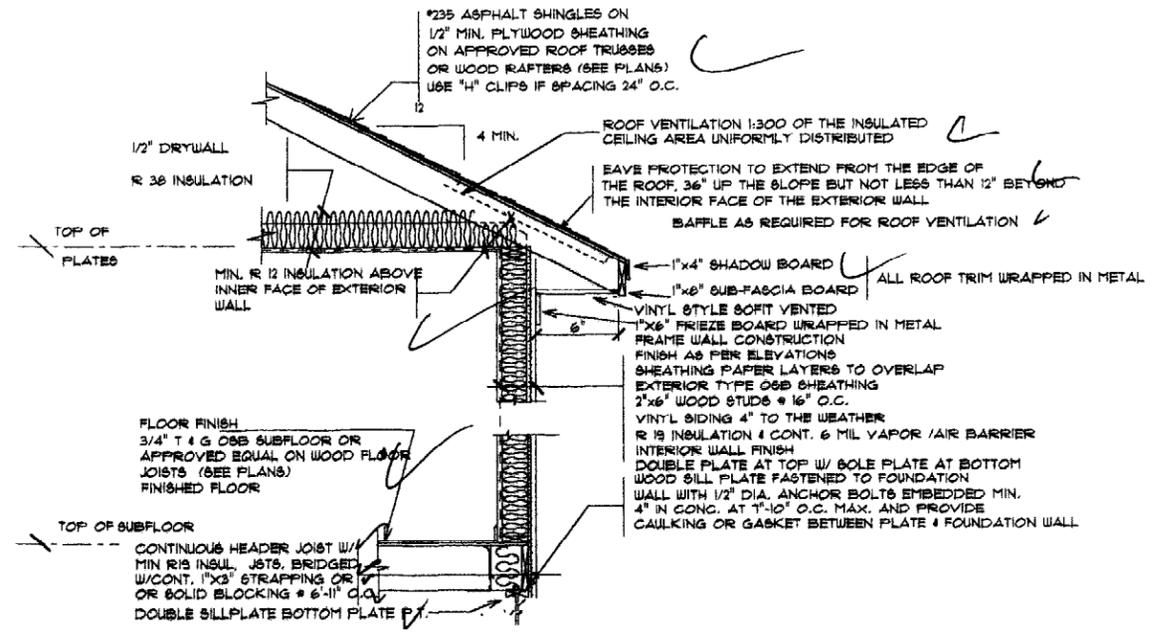
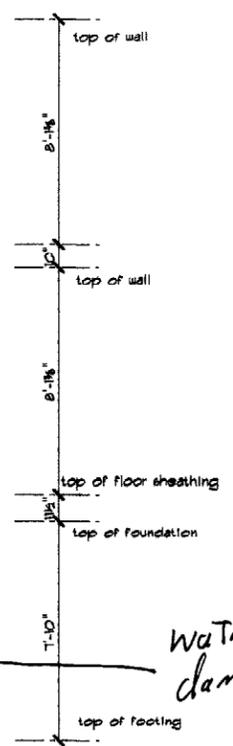
TYPICAL 2x6 SIDING EXTERIOR WALL:
 VINYL SIDING
 7/16" PLYWOOD SHEATHING
 2x6 STUDS @ 16" O.C.
 R19 BATT INSULATION
 6 MIL POLY V.B.
 1/2" DRYWALL
 TAPED AND BANDED

TYPICAL 2ND FLOOR SYSTEM:
 3/4" TAG PLYWOOD SUBFLOOR
 2x10 FLOOR JOISTS @ 16" O.C. w/
 1/2" CROSS BRIDGING

TYPICAL 2ND FLOOR SYSTEM:
 3/4" TAG PLYWOOD SUBFLOOR
 2x10 FLOOR JOISTS @ 16" O.C. w/
 1/2" CROSS BRIDGING

TYPICAL BASEMENT FLOOR:
 4" CONCRETE SLAB ON
 4" 6 MIL POLY VAPOR BARRIER
 COMPACTED GRANULAR FILL
 OR 3/4" CRUSHED STONE

CROSS SECTION A



#25 ASPHALT SHINGLES ON
 1/2" MIN. PLYWOOD SHEATHING
 ON APPROVED ROOF TRUSSES
 OR WOOD RAFTERS (SEE PLANS)
 USE "H" CLIPS IF SPACING 24" O.C.

ROOF VENTILATION 1:300 OF THE INSULATED
 CEILING AREA UNIFORMLY DISTRIBUTED

EAVE PROTECTION TO EXTEND FROM THE EDGE OF
 THE ROOF, 36" UP THE SLOPE BUT NOT LESS THAN 12" BEYOND
 THE INTERIOR FACE OF THE EXTERIOR WALL
 Baffle AS REQUIRED FOR ROOF VENTILATION

FLOOR FINISH:
 3/4" T & G OSB SUBFLOOR OR
 APPROVED EQUAL ON WOOD FLOOR
 JOISTS (SEE PLANS)
 FINISHED FLOOR

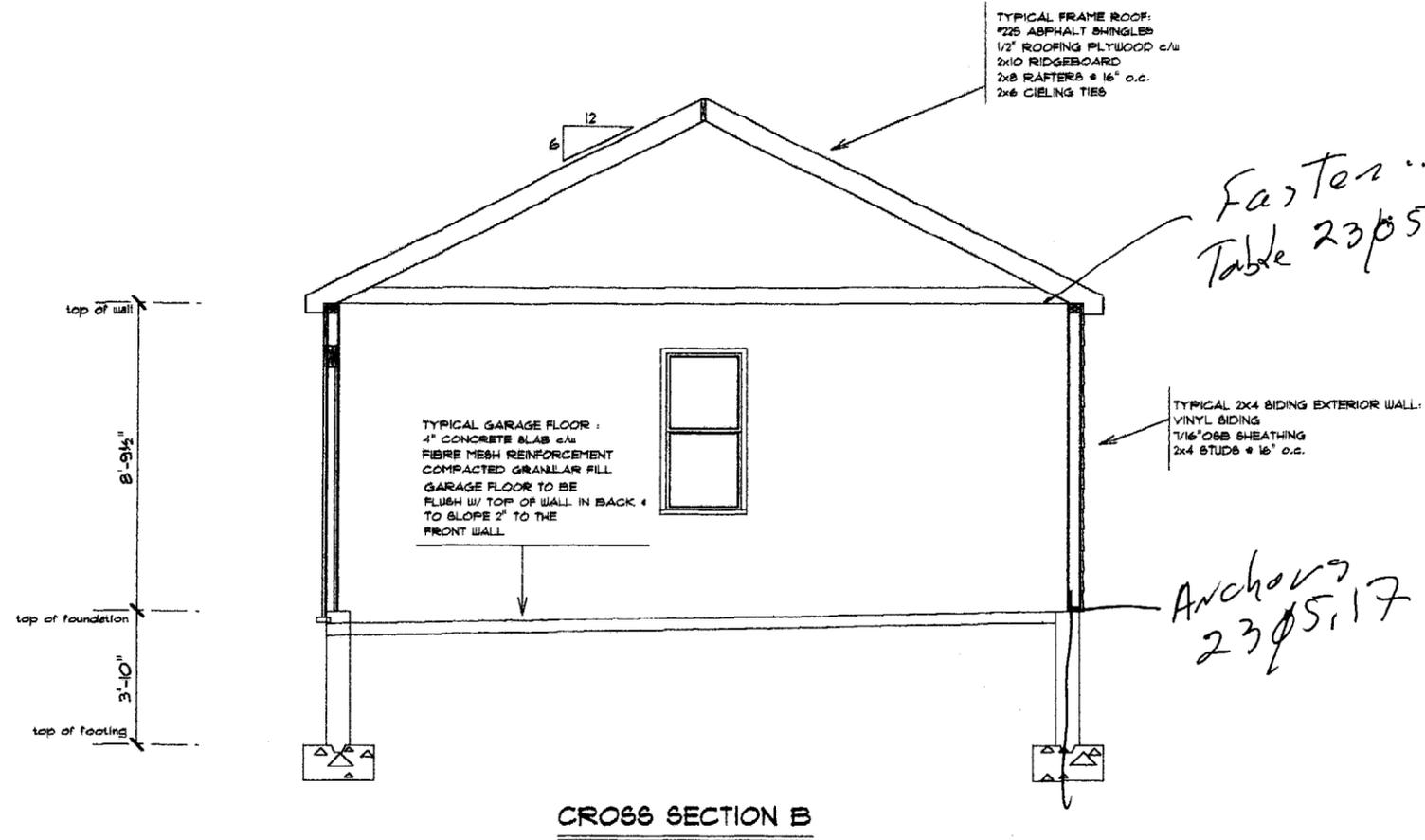
TOP OF SUBFLOOR:
 CONTINUOUS HEADER JOIST w/
 MIN R19 INSUL. JOISTS BRIDGED
 w/CONT. 1"x3" STRAPPING OR
 OR SOLID BLOCKING @ 6-11" O.C.
 DOUBLE SILLPLATE BOTTOM PLATE

TYPICAL FRAME WALL SECTION -

DETAIL W08 SCALE: N.T.S.

*Waterproof &
 damp proof
 1813.0*

*Drainage
 1813.0 #2*



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