

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 76 Deepwood Dr. Lot 1		Owner: Richard Kelley <i>AKO</i>	Phone: 878-8166	Permit # 950333
Owner Address: 366 Palmer Ave. Portland 04103	Leasee/Buyer's Name:	Phone:	Business Name:	PERMIT ISSUED Permit Issued: APR 13 1995 Site Plan CITY OF PORTLAND
Contractor Name:	Address:	Phone:		
Past Use: vacant lot	Proposed Use: single family as per plans	COST OF WORK: \$ 140,000	PERMIT FEE: \$ 50.00 Minor Minor \$ 95.00	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
Proposed Project Description: to construct single family dwelling as per plan		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	
Permit Taken By: LATINI	Date Applied For: 4/13/95			

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

07 April 1995 - Bldg Permit App

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 4/10/95

CEO DISTRICT

7

COMMENTS

4-14-95 - lot clearing + road cut in progress

4-20-95 - site work still

4-24-95 - Rear lot survey pins in place

5-1-95 - Performed setback check - it appears to be OK / crew installing foundation let me check
Right side from the front of house with transit / looks OK

5-3-95 - forms stripped / + wall water proofed

5-11-95 - Framing started

5-30-95 - No Framing prints so (3rd Fl. Patters 2X10 16"OC) walls 2X6 16"OC (Red OSB) walls OSB
3 member 2X6 Headers Fl. Joist 2X12 16"OC (2nd Fl walls 2X6 16"OC) (1) 2X12 3 member header all other (3) (2X6)
1st Fl. Chimney Head 2 (2X8) 1st Fl. walls 2X6 16"OC (OSB Board sheathing) Garage 8X12 I-Beam
2X12 Fl. Joist 16"OC (Bracing in not yet nailed) 3 mem 2X12 Carry Beam in 1st Fl. Wall (center)
Basement 2X12 Fl Joist 16"OC (Garage door header 5 1/2 wide X 12 LVL and a 3 member 2X10 (1' below
that) Basement 1 carry Beam 2X8 3 mem (1 Carry Beam 3 mem 2X12) Bracing in and nailed
(1 Carry Beam 3 mem 2X12)

6-14-95 - Pb - OK water test. CMU work started chimney

6-26-95 - 2X8 Patters Right side projection 16"OC

8-10-95 - Framing Plan Reviewed (S. Hodges) OK, plans do correspond with above field notes OK pp

8-11-95 - steel I-Beam Garage needs spec. letter

8-17-95 Heating Permit / Smoke Det not yet installed / front stairs / Rear stairs

8-18-95 - rear of garage stairs to
Hand rail riser boards
2nd Fl bath
Kathleen

House #'s / stairs Int. Balist
+ Hand rail OK
4/29/98 Issue Perm.
C/O -
Seigle Family - 2 car attached
garage
- no deck

Inspection Record

Type

Date

Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____

[Signature]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Richard Kelley**

LOCATION **6 Deepwood Dr (Lot 7) 398-A-028**

Date of Issue **22 September 1995**

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. **950333**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions: **TEMPORARY:**

1. City to receive and issue permit for heating system by master oil burner.
2. City to receive letter from design professional re: I-Beam in garage.
3. Rear outside stairs temporary only.

This certificate supersedes certificate issued

Approved:

9.22.95
.....
(Date)

.....
Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy *398-A-028*

LOCATION

Issued to *Richard Kelley*

6 Deepwood Drive

Date of Issue

4/29/98

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PORTION OF BUILDING OR PREMISES

entire

APPROVED OCCUPANCY

*single family dwelling with
attached garage--no rear deck
(33x33 landing w/3 steps only)*

Limiting Conditions:

none

This certificate supersedes
certificate issued

Approved:

4/29/98
.....
(Date)

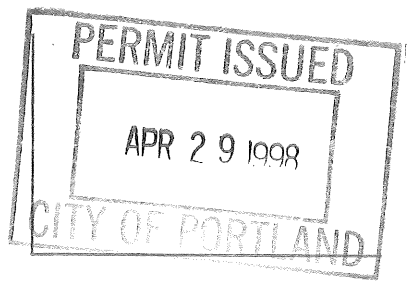
[Signature]
.....
Inspector

[Signature]
.....
Inspector of Buildings

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*File Prep
SB*

980424



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. GNE
Portland, Maine, 4/29/98

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 950333 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 6 Deepwood Drive (394-A-28) Within Fire Limits? _____ Dist. No. _____
Owner's name and address Richard Kelley Telephone 878-8166
Lessee's name and address _____ Telephone _____
Contractor's name and address Dave G Dardano, West Lynn St., Portland Telephone 878-3922
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building no change No. families _____
Last use _____ No. families _____
Increased cost of work 450.00 Additional fee 25.00

Description of Proposed Work

rear steps

Details of New Work

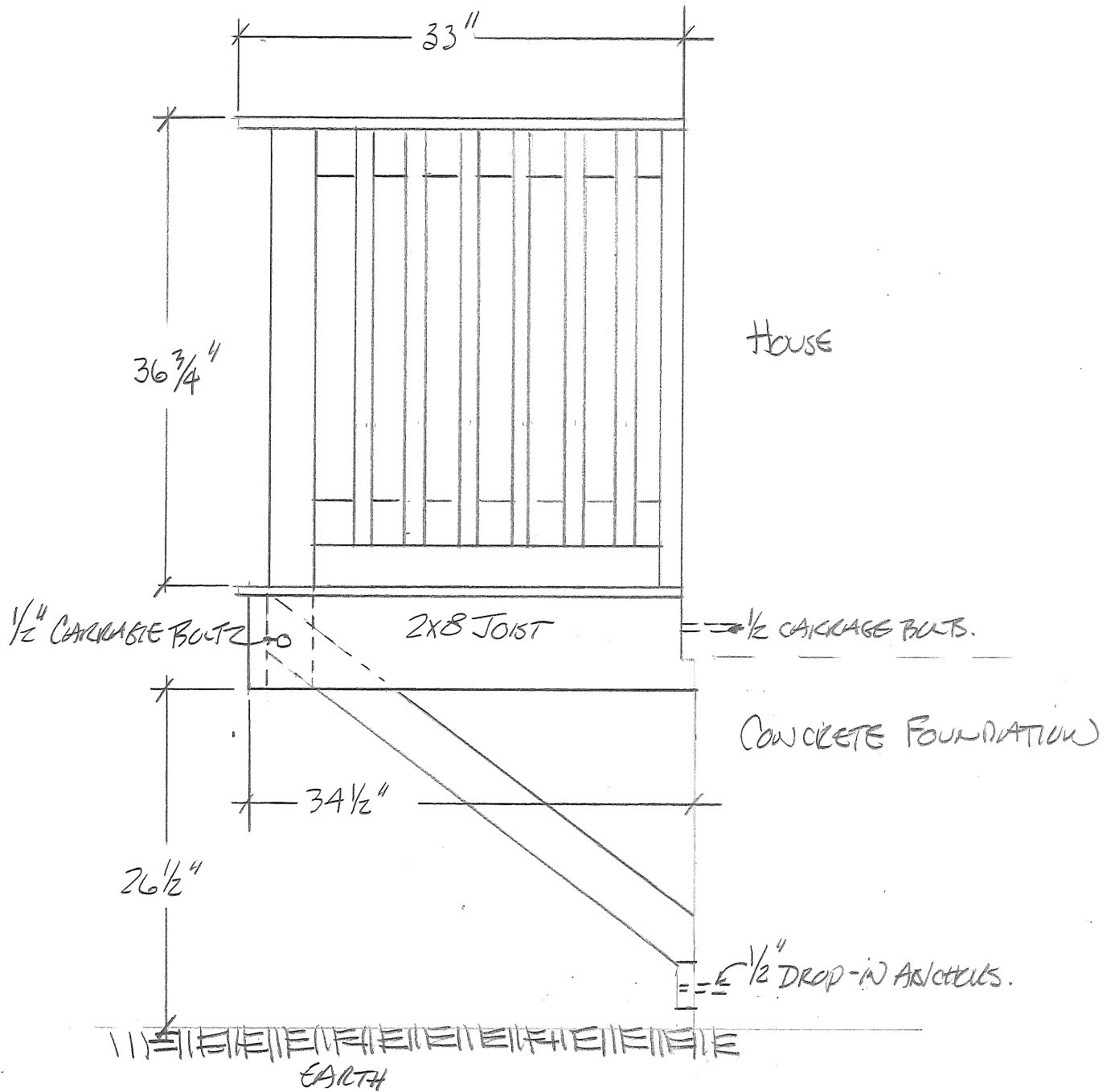
Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber — Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 2-2 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: [Signature] using Sec 14 125 which allows a 2' sill on shoring. A 4/29/98 required yard - This method of construction shows that it is safe.
Signature of Owner _____

INSPECTION COPY — WHITE FILE COPY — PINK Inspector of Buildings
APPLICANT'S COPY — YELLOW ASSESSOR'S COPY — GOLDEN

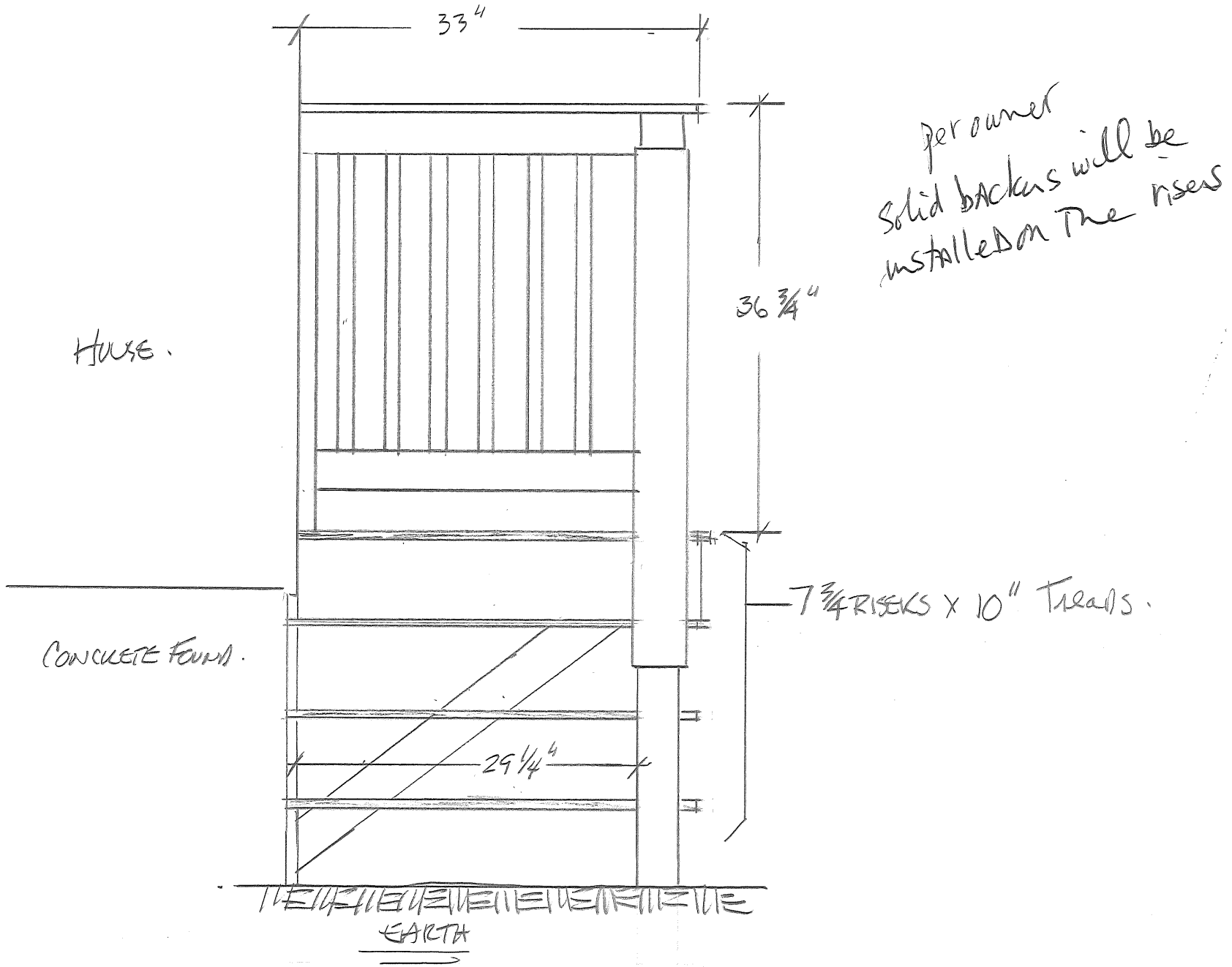
REAR PLAN VIEW

SCALE: 1" = 1'-0"



FRONT PLAN ELEVATION

SCALE: 1" = 1'-0"



HOUSE.

CONCRETE FOUND.

EARTH

per owner
solid backers will be
installed on the risers

7 3/4 RISERS X 10" Treads.

SIDE PLAN View

SCALE: 1" = 1'-0"

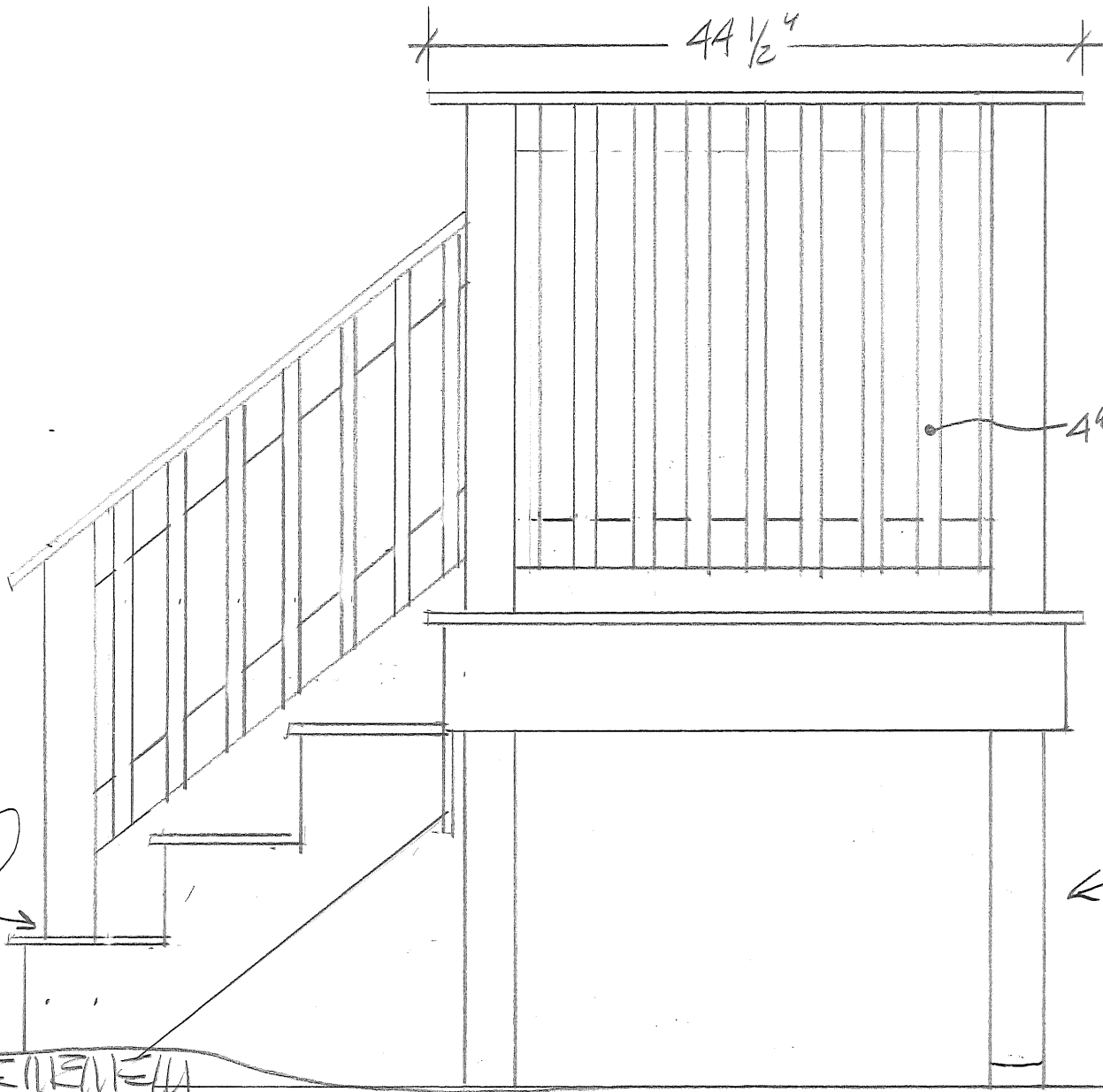
44 1/2"

4" - MIN SPACING ON BALUSTER

7 3/4" RISERS X
10" TREADS.

← Angled toward bldg
see REAR PLAN view

EARTH





CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Dave Jordan, Code Enforcement Officer

FROM: Michael O'Sullivan, Development Review Coordinator

DATE: September 14, 1995

SUBJECT: Permanent Certificate of Occupancy for 6 Deepwood Drive

I have reviewed the site construction at 6 Deepwood Drive and believe it would be acceptable to issue a permanent Certificate of Occupancy.

cc: Kathi Staples, City Engineer



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Dave Jordan, Code Enforcement Officer

FROM: Michael O'Sullivan, Development Review Coordinator

DATE: September 14, 1995

SUBJECT: Permanent Certificate of Occupancy for 6 Deepwood Drive

I have reviewed the site construction at 6 Deepwood Drive and believe it would be acceptable to issue a permanent Certificate of Occupancy.

cc: Kathi Staples, City Engineer



Certificate of Occupancy

LOCATION 6 Deepwood Dr (Lot 7) 398-A-028

Issued to Richard Kelley

Date of Issue 22 September 1995

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950333, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions: TEMPORARY:

Done {
①

1. City to receive and issue permit for heating system by master oil burner.
2. City to receive letter from design professional re: I-Beam in garage.
3. Rear outside stairs temporary only.

This certificate supersedes certificate issued

Approved:

9-22-95 *[Signature]*

(Date) Inspector

[Signature]

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

*Issue Permanent C of O -
No limitations* ①

*Linu @ Clark Assoc.
774-6257
(878-8166)*

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: Richard Kelley
ADDRESS: 366 PALMER AVE PORTLAND
SITE ADDRESS/LOCATION: #6 Deepwood DRIVE
DATE: 06 APRIL 1995

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

X

All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.

X

Two(2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

X

Your new street address is now #6 Deepwood DRIVE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

X

The Development Review Coordinator (874-8300, ext. 8722) must be notified five(5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300, ext. 8838. The Sewer Division of Parks and Public works (Jackie Wurslin at 797-5302) must be notified five(5) working days prior to sewer connection to schedule an inspector for your site.

X

As-built record information for sewer and storm service connections must be submitted to Parks and Public Works engineering Division (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

X

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvement as necessary due to field conditions.

X

The site contractor shall establish finish grades at the building foundation to provide positive drainage. Finish grades at front of foundation (street side) shall be set above finish street/curb elevation to provide positive drainage.

X

The Development Review Coordinator (874-8300, ext. 8722) must be notified at the time the building foundation forms have been installed to perform an inspection.

X

MTG ON SITE BETWEEN MR. RICH DONATELE AND DIEL ON 06 APR 1995.
APPLICANT AGREES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE
FOOT PRINT OF HOUSE AND PLACE SWALES ALONG PROPERTY
LINE ALONG LOT 7 AND LOT 5

cc: Paul Niehoff, Materials Engineer

10 Sept 1995

FM: MIKE O'SULLIVAN
TO: DAVE JORDAN.



SUBS: #6 Deepwood DRIVE

Ref (a) my memo to you dated 17 Aug 1995

I) I have made ^{another} site inspection at the #6 Deepwoods DRIVE @ the request of Mrs. TINA KELLY today Monday 10 Sept. SHE STATED MR. RICHARD DONATELLI would meet me on site @ 8:30 AM to REVIEW all outstanding site issues to be resolved. HE DID NOT SHOW UP! I MADE my site inspection and the followings still remains to be done.

- a) installation of drainage swales along property lines of Lot # 7 ad Lot # 5. SEE Ref(A)
- B) One (1) City of Portland street tree. SEE Ref(A)
- C) site must be seeded and mulched. SEE Ref(A)
- D) complete Final Landscaping SEE Ref(A)
- E) clean gutter and street public right of way SEE Ref(A)
- F) clean up of site of construction debris.

My O'Sullivan

DAVE J.

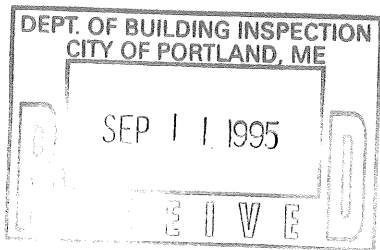
FM : MIKE
TO : ALEX

SUBJ: #6 Deepwoods Drive



1. I did a site inspection today @ #6 Deepwoods Drive. This was requested by Mrs. Gina Kelly. It was arranged that I would meet Mr Rich Donatelli on site to review all site issues today. When I went out to the site Mr Donatelli was not there, so I did my site inspection by myself.
2. I put together a memo to Dave Jordan with all the still existing site issue outstanding
3. I call Mrs. Gina Kelly (774-6257) to inform her that I was at site for pre-arranged meeting and her representative did not show up.
4. She got highly irate and told me she would work with the nice gentleman she talked to before(??) and I guess BLDG Inspections.

cc: Sam
D. Jordan.



10 Sept 1995

FM: Mike O'Sullivan
TO: Dave Jordan.

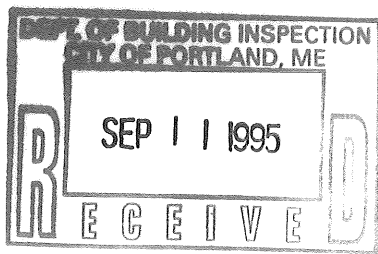
SUBJ: #6 Deepwood Drive

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I have made ^{another} site inspection at the #6 Deepwoods Drive @ the request of Mrs. Tina Kelly today Monday 10 Sept. She stated Mr. Richard D'Amore would meet me on site @ 8:30 AM to review all outstanding site issues to be resolved. We did not show up! I made my site inspection and the followings still remains to be done.

- a) installation of drainage swales along property lines of Lot # 7 and Lot # 5. see ref (a)
- b) One (1) City of Portland street tree. see ref (a)
- c) site must be seeded and mulched. see ref (a)
- d) complete Final Landscaping see ref (a)
- e) clean gutter and street public right of way see ref (a)
- f) cleanup of site of construction debris.

my O'Sullivan



DAVE J.

10 Sept 95

FM : MIKE

TO : ALEX

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4. She got highly irate and told me she would work with the nice gentleman she talked to before(??) and I guess Bldg Inspections.

cc: Sam
D. Jordan.



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Richard Kelley

March 31, 1995

Applicant _____

Application Date _____

366 Palmer Ave. Portland 04103

Single family dwelling

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent _____

#6 Deepwood Dr.
Address of Proposed Site

Lot # 7/6

Applicant or Agent Daytime Telephone, Fax _____

398-A-28

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

3,000 sq. ft.

10,064 sq. ft.

Proposed Building Square Feet or # of Units _____

Acreage of Site _____

Zoning _____

Check Review Required:

- | | | | |
|---|--|---|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan \$50.00 subdivision _____

Approval Status:

Reviewer M. O. Sullivan 06 APR 95

- Approved Approved w/Conditions listed below Denied

- SEE ATTACHED MEMO
- _____
- _____
- _____

Approval Date 06 APR 95 Approval Expiration 06 APR 96 Extension to _____ date date

Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: _____

Aug 10 1995

6 Deepwoods Dr.

TO : Dave Jordan
From JOE CHALAT

RE KELLEY RESIDENCE

Dear Mr Jordan,

Please call me if you
have any questions

Thanks

Joe

WRK	772	6022
hm	773	2984

17 Aug 95

FM: MIKE O'SULLIVAN

TO: DAVE JORDAN.

SUBJ: # 6 Deepwood Drive.

1. I made a site inspection on 17 Aug 95 of the single family residence at # 6 Deepwoods Drive.
2. Based upon my review and the site inspection, it is not acceptable to issue a Temp or Perm C of O.
A
3. A C of O should not be issued until the following conditions have been met:
 - A) installation of drainages/water along property line of lot # 7 ad lot # 5. This condition was agreed upon with the applicant's agent, MR Richard Donatelle on site on 06 APR 95 prior to issuance of a Bldg permit. Soil is washing out along the property line with lot # 7 onto lot # 7 property (see approval memo)
 - B) One (1) C of P approved street tree is required on the street frontage. The second tree is waived because the applicant saved a tree at the south-east corner of the street front lot.

- c) The disturbed soil surrounding the house has not been seeded or mulched.
- d) Final Landscaping has yet to be completed.
- e) Deepwood Drive's gutter and Street must be cleaned of soil material that washed out into the Public Right of Way.
- f) A House number has not been placed on the House front for Police/Fire/Medic response.

4 If you or the applicant has questions regarding this memo, contact me.

V/R
My O'Fall

cc:

Alex J. Chief Planner



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number _____

Richard Kelley
Applicant

March 31,
Application Date

366 Palmer Ave. Portland 04103
Applicant's Mailing Address

Single fami
Project Name/Desc

Consultant/Agent

#6 Deepwood Dr.
Address of Proposed Site

Applicant or Agent Daytime Telephone, Fax

398-A-28
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

3,000 sq. ft. Proposed Building Square Feet or # of Units 10,064 sq. ft. Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|---|---------------------------------|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-40 |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other: |

Fees paid: site plan \$50.00 subdivision _____

Approval Status:

Reviewer *M. O. Sullivan*

- Approved Approved w/Conditions listed below Denied

1. SEE ATTACHED MEMO
2. _____
3. _____
4. _____

Approval Date 06 APR 95 Approval Expiration 06 APR 96 Extension to _____ date _____ date Add: Attach

Condition Compliance _____ signature _____ date _____

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- | | | | |
|---|----------------------------|-------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ exp _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | |
| Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | |
| Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: Richard KELLEY
ADDRESS: 366 PALMER AVE Portland
SITE ADDRESS/LOCATION: #6 Deepwood DRIVE
DATE: 06 APRIL 1995

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CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

X

All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.

X

Two(2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

X

Your new street address is now #6 Deepwood DRIVE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

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X

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X

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X

MTG ON SITE BETWEEN MR RICH DOMATELE AND DREL ON 06 APR 1995.
APPLICANT AGREED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE
FOOT PRINT OF HOUSE AND PLACE SWALES ALONG PROPERTY
LINE ALONG LOT 7 AND LOT 5

cc: Paul Niehoff, Materials Engineer

BUILDING PERMIT REPORT

DATE: 12/APR/95 ADDRESS: 6 Deepwood Drive

REASON FOR PERMIT: To Construct a single Family dwelling

BUILDING OWNER: Richard Kelley

CONTRACTOR: 11 10 APPROVED: 1*3*7*9*11*10

PERMIT APPLICANT: _____ ~~PERMIT~~ *13*14*15*16

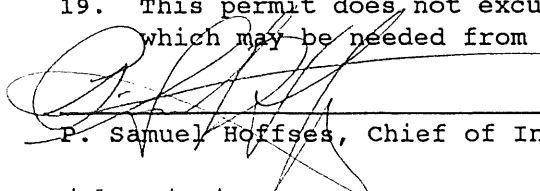
CONDITION OF APPROVAL OR DENIAL

- X 1. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
- X 3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
- X 7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- X 9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

- X 10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
- X 11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
- X 13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
- X 14. Headroom in habitable space is a minimum of 7'6".
- X 15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- X 16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Hoffses, Chief of Inspection Services

/el 3/16/95



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Richard Kelley

March 31, 1995

Applicant _____

Application Date _____

366 Palmer Ave. Portland 04103

Single family dwelling
Project Name/Description

Applicant's Mailing Address _____

#6 Deepwood Dr.
Address of Proposed Site

Lot # 6

Consultant/Agent _____

398-A-28

Assessor's Reference: Chart-Block-Lot

Applicant or Agent Daytime Telephone, Fax _____

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

3,000 sq. ft.

10,064 sq. ft.

Proposed Building Square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|---|--|---|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan \$50.00 subdivision _____

Approval Status:

Reviewer Marya Schmiedel

- Approved Approved w/Conditions listed below Denied

- All Bay windows, bulkheads & such shall meet all setback requirements
- Notification Statement of existing poorly drained areas (attached)
- Required sill heights refer to all areas of the foundation including garage and bulkheads
- _____

Approval Date 4/12/95 Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted _____ amount _____

Inspection Fee Paid _____
Performance Guarantee Reduced _____
Performance Guarantee Released _____
Defect Guarantee Submitted _____
Defect Guarantee Released _____

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an area that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

Address: _____

Applicant: Richard Kelley
Address: 6 Deepwood Drive (lot # 6) Date: 4/12/95
Assessors No.: 398-A-28

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-2

Interior or corner lot -

Use - Single family with garage

Sewage Disposal - City

Rear Yards - 25' req. - 25' shown

Side Yards - 2 stories \rightarrow 14' req. / 1/2 story \rightarrow 12' req. - 14' shown

Front Yards - 25' req. - 25' + shown

Projections - bay window \rightarrow must & shall meet rear setbacks

Height - 2 story shown

Lot Area - 10,000[#] req. - 10,064[#] shown

Building Area - 20% MAX lot coverage - or $10,064 \times 20\% = 2,012.8$ MAX[#] Allowed
1,993[#] shown -

Area per Family - 20

Width of Lot - 80' req. \approx 90' shown at ~~front~~ narrowest

Lot Frontage - 50' req. 50' shown

Off-street Parking - N/A

Loading Bays -

Site Plan - minor/minor

Shoreland Zoning - N/A

Flood Plains - N/A



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Applicant Richard Kelley

March 31, 1995

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Project Name/Description Single family dwelling

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Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
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Proposed Building Square Feet or # of Units 3,000 sq. ft. Acreage of Site 10,064 sq. ft. Zoning _____

Check Review Required:

- | | | | |
|---|--|---|--|
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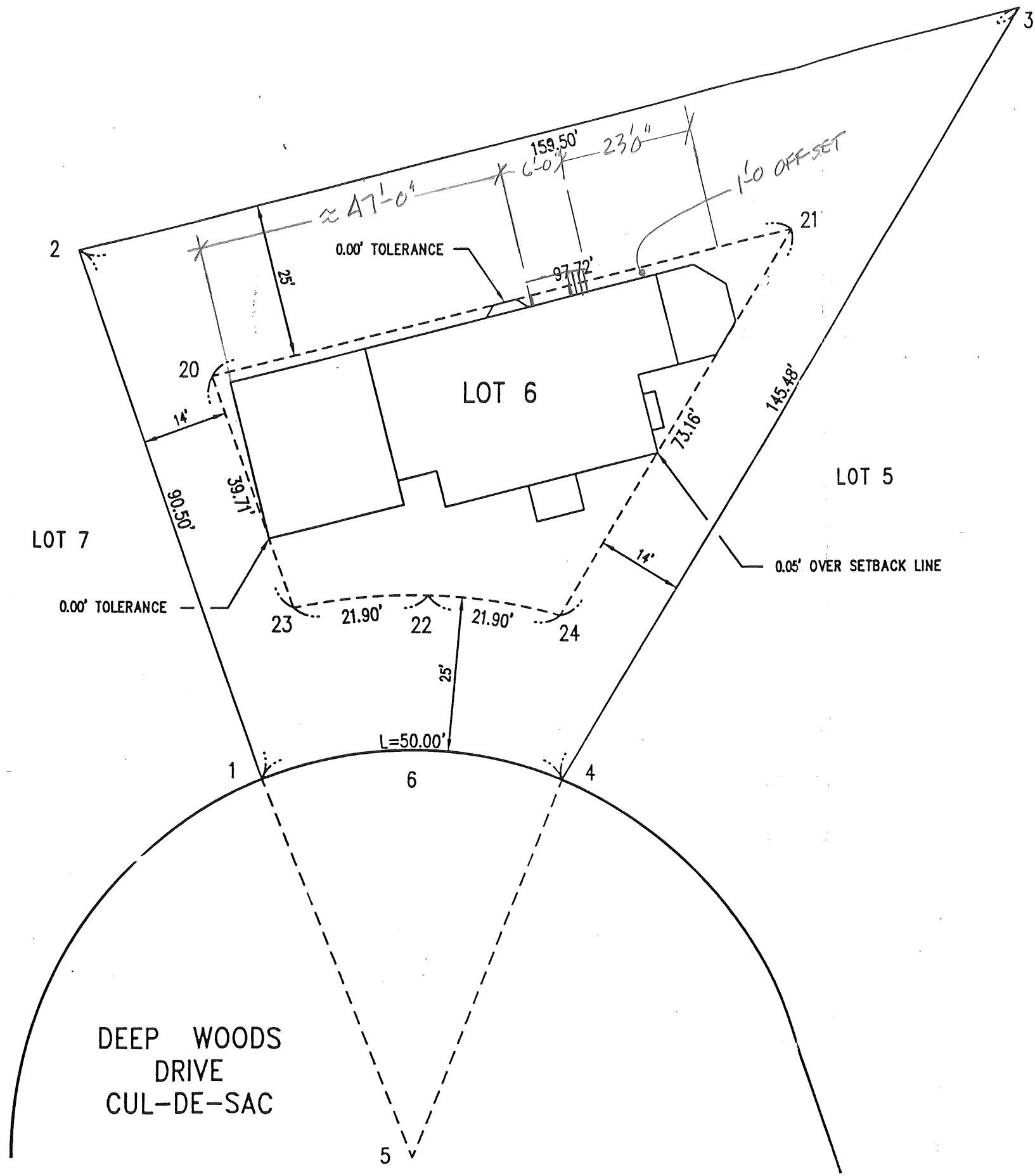
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- Performance Guarantee Reduced
Performance Guarantee Released
Defect Guarantee Submitted
Defect Guarantee Released



SITE PLAN OF LAND
 N
 PORTLAND
 MAINE

SCALE: 1"=20' 01/19/95
 PREPARED FOR: GINA KELLY
 366 PALMER AVENUE
 PORTLAND, MAINE 04101

JOB NUMBER: 12101 ACAD FILE: 12101.dwg

 DES LAURIERS & ASSOCIATES
 OF NEW ENGLAND, INC.

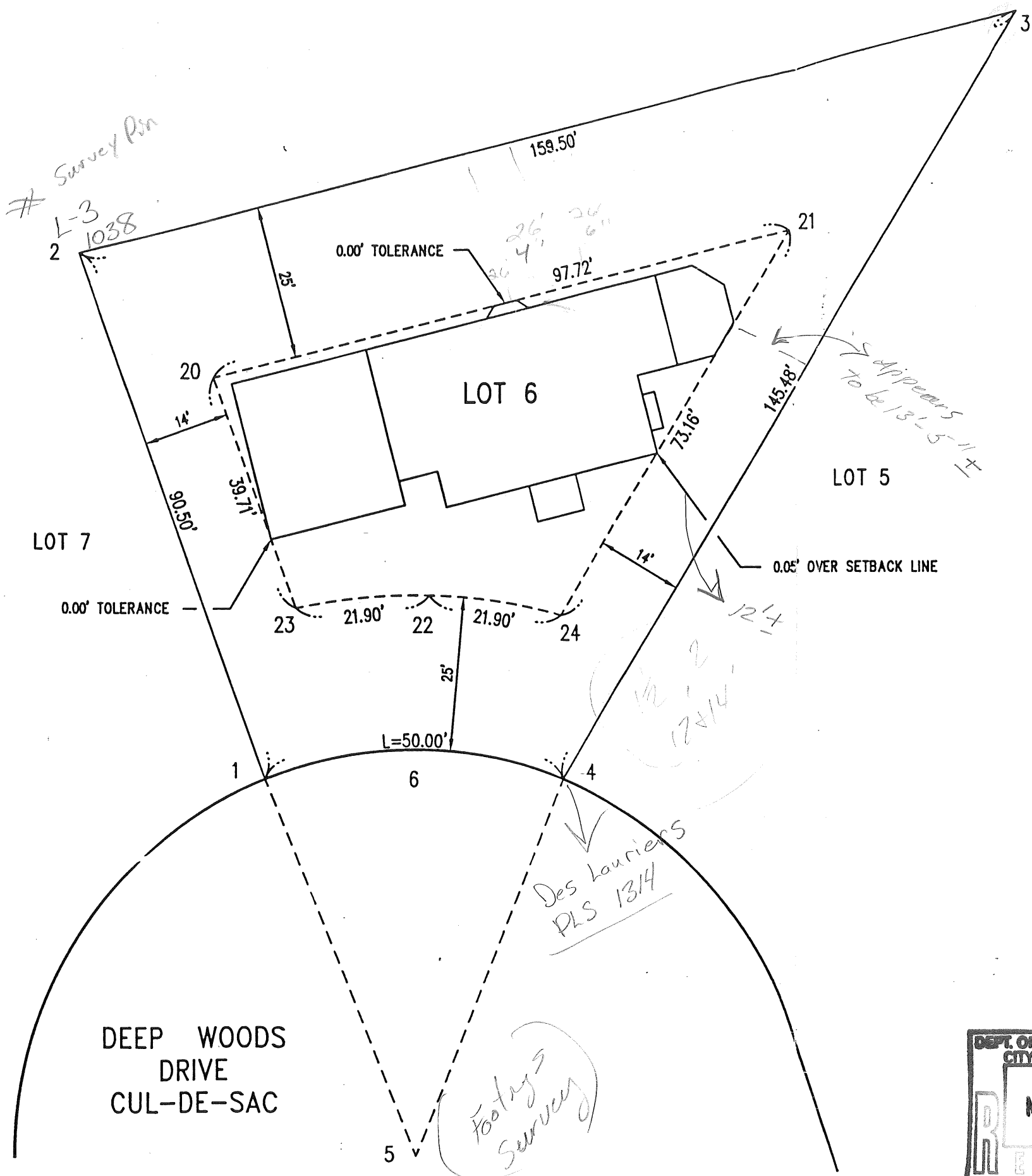


153 RT. 1, SCARBOROUGH COMMON
 SCARBOROUGH, ME 04074
 TEL: (800)882-2227 (207)883-1000
 FAX: (207)883-1001
 PROFESSIONAL LAND SURVEYORS

DEEP WOODS
 DRIVE
 CUL-DE-SAC

6 Deepwood Dr.

Survey Pts
L-3
1038



Owens McCleughy
856-2377
Jim Wendell
775-1121

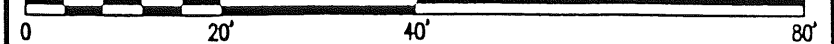


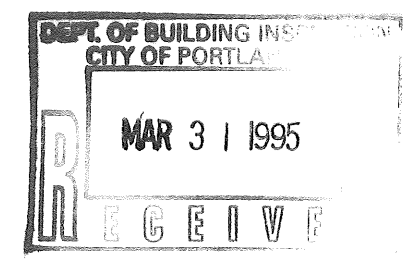
SITE PLAN OF LAND
IN
PORTLAND
MAINE

SCALE: 1"=20' 01/19/95
PREPARED FOR: GINA KELLY
366 PALMER AVENUE
PORTLAND, MAINE 04101

JOB NUMBER: 12101 ACAD FILE: 12101.dwg

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