

924081
Permit # 924081 City of Portland BUILDING PERMIT APPLICATION Fee 320 Zone 50 - mmSP Map # Lot #
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Vesta Corp Phone # 878-2721
Address: Box 1464- Ptld, ME 04104
LOCATION OF CONSTRUCTION 140 Deepwood Dr.
Contractor: owner Sub:
Address: Phone #
Est. Construction Cost: 60,000 Proposed Use: 1-fam dwlg w 2-cr
Pas. Use: vacant lot
of Existing Res. Units # of New Res. Units
Building Dimensions L 38' W 26' Total Sq. Ft.
Stories: 2 # Bedrooms 4 Lot Size: 10,032 sq ft
Is Proposed Use: Seasonal Condominium Conversion
Explain Conversion Construct 1-fam dwlg w 2-car att. garage

For Official Use Only	
Date <u>7/23/92</u>	Subdivision <u> </u>
Inside Fire Limits <u> </u>	Name <u> </u>
Blgd Code <u> </u>	Lot <u> </u>
Time Limit <u> </u>	Ownership <u> </u> Public <u> </u> Private <u> </u>
Estimated Cost <u>60,000</u>	
Street Frontage Provided: <u> </u>	
Provided Setbacks: Front <u> </u> Back <u> </u> Side <u> </u> Side <u> </u>	
Review Required:	
Zoning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>	
Planning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>	
Conditional Use: <u> </u> Variance <u> </u> Site Plan <u> </u> Subdivision <u> </u>	
Shoreland Zoning Yes <u> </u> No <u> </u> Floodplain Yes <u> </u> No <u> </u>	
Special Exception <u> </u>	
Other <u> </u> (Explain) <u> </u>	

Foundations: & MMSP
1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. C'ber

Floor:
1. Sills Size: Sills must be anchored.
2. Gird. Size:
3. Lally Column Spacing: Size
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:
1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:
1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

White - Tax Assessor

Ceiling:
1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings:
4. Insulation Type Size
5. Ceiling Height: Requires Review

Roof:
1. Truss or Rafter Size Span Action
2. Sheathing Type Size
3. Roof Covering Type

Chimneys:
1. pe: Number of Fire Places Date: 7/23/92
Signatures:

Heating:
Type of Heat:

Electrical:
Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:
1. Type:
2. Pool Size: Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By Michael DiMillo Date 7-23-92
Signature of Applicant Michael DiMillo
CEO's District 7

CONTINUED TO REVERSE SIDE
Ivory Tag - CEO MA-METS99X



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date September 18, 1992, 19
Receipt and Permit number 10626

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 140 Deepwood Dr

OWNER'S NAME: Vesta Corp.

ADDRESS: _____

	FEES
OUTLETS:	
Receptacles <u>60</u> Switches <u>30</u> Plugmold _____ ft. TOTAL _____	18.00
FIXTURES: (number of)	
Incandescent <u>20</u> Fluorescent _____ (not strip) TOTAL _____	4.00
Strip Fluorescent _____ ft. _____	
SERVICES:	
Overhead _____ Underground <u>X</u> Temporary _____ TOTAL amperes <u>100</u> ..	15.00
METERS: (number of) <u>1</u> ..	1.00
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ 1 _____	
Cook Tops _____	
Wall Ovens _____	
Dryers _____ 1 _____	
Fans _____	
Water Hea _____	
Disposals _____ 1 _____	
Dishwashers _____ 1 _____	
Compactors _____	
Others (denote) _____	
TOTAL _____	8.00
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE: _____
	TOTAL AMOUNT DUE: <u>46.00</u>

INSPECTION:

Will be ready on _____, 19____; or Will Call XX

CONTRACTOR'S NAME: _____

Place Electric

ADDRESS: _____

166 Summit St

TEL: _____

797-9954

MASTER LICENSE NO.: _____

10626

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: _____

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 140 Deepwood Drive

Date of Issue March 23, 1993

Issued to Vista Corp.

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 924081, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single-family dwelling with
attached 2-car garage

Limiting Conditions:

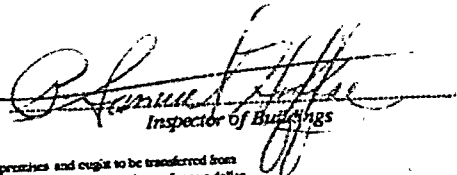
All required site work and work within
the right-of-way be completed by June 30, 1993

This certificate supersedes
certificate issued

Approved:
3-23-93

(Date)

Inspector


Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



924081

Permit # 924081 City of Portland BUILDING PERMIT APPLICATION Fee 320 Zone 50 - 1.15D Map # Lot #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Vesta Corp Phone # 873-2721
 Address: Box 1464- Ptld, 4E 04104
 LOCATION OF CONSTRUCTION 140 Deepwood Dr.
 Contractor: owner Sub:
 Address: Phone #
 Est. Construction Cost: 60,000 Proposed Use: 1-fam dwlg w 2-car
 Past Use: vacant lot
 # of Existing Res. Units # of New Res. Units
 Building Dimensions L 38' W 26' Total Sq. Ft.
 # Bedrooms 4 Lot Size: 10,032 sq ft
 Conversion Construct 1-fam dwlg w 2-car att. gar.

For Official Use Only	
Date <u>7/23/92</u>	Subdivision: <u> </u>
Inside Fire Limits <u> </u>	Name <u> </u>
Bldg Code <u> </u>	City of <u>Portland</u>
Time Limit <u> </u>	Ownership: <u> </u>
Estimated Cost <u>60,000</u>	Permit Issued <u>Aug 31 1992</u>
Review Required:	
Zoning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>	
Planning Board Approval: Yes <u> </u> No <u> </u> Date: <u> </u>	
Condition 1 Use: <u> </u> Variance: <u> </u> Site Plan <u> </u> Subdivision <u> </u>	
Shoreland Zoning Yes <u> </u> No <u> </u> Floodplain Yes <u> </u> No <u> </u>	
Special Exception <u> </u>	
Other (Explain) <u> </u>	

Additional: 2 MMSP
 1. Type of Soil:
 2. Set Backs - Front Rear Side(s)
 3. Footings Size:
 4. Foundation Size:
 5. Other

Floors:
 1. Sills Size: Sills must be anchored.
 2. Girder Size:
 3. Lally Column Spacing: Size:
 4. Joists Size: Spacing 16" O.C.
 5. Bridging Type: Size:
 6. Floor Sheathing Type: Size:
 7. Other Material:

Exterior Walls:
 1. Studding Size: Spacing
 2. No. windows
 3. No. Doors
 4. Header Sizes Span(s)
 5. Bracing: Yes No
 6. Corner Posts Size Size
 7. Insulation Type Size
 8. Sheathing Type Size
 9. Siding Type Weather Exposure
 10. Masonry Materials
 11. Metal Materials

Interior Walls:
 1. Studding Size: Spacing
 2. Header Sizes Span(s)
 3. Wall Covering Type
 4. Fire Wall if required
 5. Other Materials

White - Tax Assessor

Ceiling:
 1. Ceiling Joists Size:
 2. Ceiling Strapping Size Spacing
 3. Type Ceilings: Size
 4. Insulation Type
 5. Ceiling Height:
 Roof:
 1. Truss or Rafter Size Span
 2. Sheathing Type Size
 3. Roof Covering Type
 Chimneys:
 Type: Number of Fire Places Date
 Heating:
 Type of Heat:
 Electrical:
 Service Entrance Size Smoke Detector Required Yes No
 Plumbing:
 1. Approval of soil test if required Yes No
 2. No. of Tubs or Showers
 3. No. of Flushes
 4. No. of Lavatories
 5. No. of Other Fixtures
 Swimming Pools:
 1. Type:
 2. Pool Size: x Square Footage
 3. Must conform to National Electrical Code and State Law.

Permit Received By Lo. R. Ghase Date 7-23-92
 Signature of Applicant
 Signature of Official
 PERMIT ISSUED WITH LETTER
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO
 [Signature]

PLOT PLAN

N

FEES (Breakdown From Front)
 Base Fee \$ 320 -
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ 50 -
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

excavation
 Foundation

Inspection Record

Type	Date
Excavation	9/8/92
Foundation	9/17/92
Intermediate	11/4/92
Final	3/23/93

COMMENTS

OK 3-23-93, ~~awaiting~~ site plan approval.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

PHONE NO.

PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 31, 1992

RE: 140 Deepwood Dr., Portland

Vesta Corp.
Box 1464
Portland, ME 04104

Dear Sir:

Your application to construct a single family dwelling with attached two car garage has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

Site Plan Review Requirements

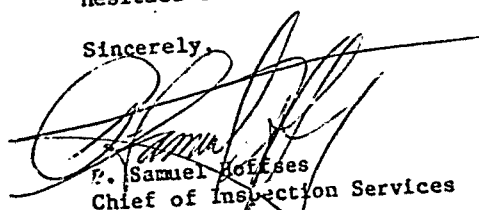
Inspection Services Approved William Giroux
Public Works See attached condition Melodie Esterberg

Building Code Requirements

1. Please read and implement items 1, 7, 8 and 9 of the attached building permit report.
2. Perimeter drain must be installed.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


S. Samuel Hoffses
Chief of Inspection Services

/el

cc: William D. Giroux, Zoning Administrator

BUILDING PERMIT REPORT

ADDRESS: 140 Deepwood DR. DATE: 31 Aug/92
 REASON FOR PERMIT: To construct a family dwelling
with 2-car attached garage. 26'x33' - 22'x24'
 BUILDING OWNER: Vesta Corp.
 CONTRACTOR: 11
 PERMIT APPLICANT: 17
 APPROVED: *1, *6, *7, *8, *9

CONDITION OF APPROVAL:

*1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.

2.) Precaution must be taken to protect concrete from freezing.

3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.

4.) Each apartment shall have access to two(2) separate, remote, and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.

5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.

*6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).

*7.) All single and multiple-station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code (BOCA National Building Code 1990, and N.F.P.A. 74).

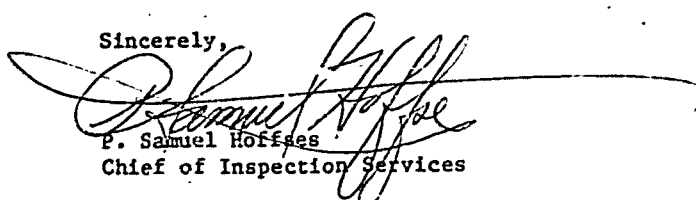
X 8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fireresistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

X 9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 4 inches cannot pass through any opening. Handrails on stairs shall be no less than 34 inches nor more than 38 inches. Handrails within individual dwelling units shall not be less than 30 inches nor more than 38 inches.

10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year."

11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

Sincerely,


P. Samuel Hoffes
Chief of Inspection Services

/el
11/16/88
11/27/90
8/14/91

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant Vesta Corp
Box 1464- Ptld, ME 04104
 Mailing Address 1-fam dwlg w 2-car garage
 Proposed Use of Site 10,032 sq ft / 26'x38' & 22'x24'
 Acreage of Site / Ground Floor Coverage house garage

140 Date 7/23/92
138-144 Deepwood Dr.
 Address of Proposed Site
 Site Identifier(s) from Assessors Maps
R-2
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors
 Total Floor Area

Other Comments: contact person - Michael DiMillo 878-2721

Date Dept. Review Due: _____

MINOR MINOR SITE PLAN REVIEW

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- ☐ Use does NOT comply with Zoning Ordinance
☐ Requires Board of Appeals Action
☐ Requires Planning Board/City Council Action

Explanation _____

☒ Use complies with Zoning Ordinance — Staff Review Below

Zoning:
 SPACE & BULK,
 as applicable

COMPLIES

COMPLIES
 CONDITIONALLY

DOES NOT
 COMPLY

DATE	ZONL LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA NET FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS
 SPECIFIED
 BELOW

REASONS
 SPECIFIED
 BELOW

REASONS: WDA 8-31-92

SIGNATURE OF REVIEWING STAFF/DATE
 BUILDING DEPARTMENT—ORIGINAL

92-00-MM

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing FormMelodie Esterberg
- Planning Dept -

Vesta Corp
Applicant
30A 1404- 3110, ME 04104
Mailing Address
Farm with 2 2-car garage
Proposed Use of Site:
10,032 sq ft / 26'x25' & 22'x21'
Acreage of Site / Ground Floor Coverage
house garage
Site Location Review (DEP) Required: () Yes () No
Board of Appeals Action Required: () Yes () No
Planning Board Action Required: () Yes () No
Other Comments: contact person - Michael DiMillo 878-2721
Date Dept. Review Due: 7/23/92
Date 7/23/92
Address of Proposed Site
Site Identifier(s) from Assessors Maps
Zoning of Proposed Site
Proposed Number of Floors
Total Floor Area

MINOR MINOR SITE PLAN REVIEW

PUBLIC WORKS DEPARTMENT REVIEW

7/24/92
(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED																
APPROVED CONDITIONALLY																
DISAPPROVED																
																CONDITIONS SPECIFIED BELOW
																REASONS SPECIFIED BELOW

REASONS: please see attached conditions

(Attach Separate Sheet if Necessary)

PUBLIC WORKS DEPARTMENT COPY

Melodie Esterberg 7/29/92
SIGNATURE OF REVIEWING STAFF/DATE

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: Vista Corp
ADDRESS: PO Box 14104 Portland ME 04104
SITE ADDRESS/LOCATION: _____
DATE: 7/29/92

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

- ☒ All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.
- ☒ Two (2) City of Portland approved species and size trees must be planted ^{or retained} on your street frontage prior to issuance of a Certificate of Occupancy.
- ☒ Your new street address is now 140 Deepwood Drive, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- ☒ The Development Review Coordinator (874-8300, ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closings with these requirements in mind.
- ☒ A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300 ext 8838. The Sewer Division of Parks and Public Works (Jackie Wurslin at 797-5302) must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- ☐ As-built record information for sewer and storm service connections must be submitted to Parks & Public Works Engineering Division (55 Portland St.) and approved prior to issuance of a Certificate of Occupancy.
- ☐ A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible).
- ☐ _____

cc: P. Niehoff

PLUMBING APPLICATION

PROPERTY ADDRESS

Town Or Plantation: Portland

Street Subdivision Lot #: 140 Deepwoods Dr.

PROPERTY OWNERS NAME

Last: VESTA CORP.

Applicant Name:

Mailing Address of Owner/Applicant (if different):

PORTLAND

Date: 10/19/93

4612

TOWN COPY

38

10124

Local Plumbing Inspector Signature: [Signature]

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature]

Date:

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: Burt MacInnes

3-23-93

Pls. Approved

PERMIT INFORMATION

This Application is for:

1. ☒ NEW PLUMBING

2. ☐ RELOCATED PLUMBING

Type Of Structure To Be Served:

1. ☒ SINGLE FAMILY DWELLING

2. ☐ MODULAR OR MOBILE HOME

3. ☐ MULTIPLE FAMILY DWELLING

4. ☐ OTHER - SPECIFY

Plumbing To Be Installed By:

1. ☒ MASTER PLUMBER

2. ☐ J.L. BURNERMAN

3. ☐ G.D. HOUSING DEALER/MECHANIC

4. ☐ PUBLIC UTILITY EMPLOYEE

5. ☐ PROPERTY OWNER

LICENSE #

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease/Oil Separator		Dish Washer
		Dental/Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: <u></u>		Water Heater
Number of Hook-Ups & Relocations		Fixtures (Subtotal) Column 2	1, 2	Fixtures (Subtotal) Column 1
Hook-Up & Relocation Fee				Fixtures (Subtotal) Column 2
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				Total Fixtures
				Fixture Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)



VESTA CORP.

GENERAL CONTRACTING

27 PILOT POINT ROAD, CAPE ELIZABETH, MAINE 04107

(207) 767-2007

PLOT PLAN DATA

Lot # 69 PINELOCH WOODS
397-E-9 138 to 144 Deepwoods Dr.

2½ Story Colonial House 36' x 28'

1½ Story Garage 22' x 24'

Front Set Back 30'0"

Left Set Back 26'0"

Right Set Back 20'0"

Rear Set Back 38'0"

Sewer 30'0" from Left Line

Water 36'0" from Left Line

Storm 33'0" from Left Line

Sill Elevation of House 2'5" Above Street

Sill Elevation of Garage 1'5" Above Street

95% to 97% of lot Sloping from
Rear to Front

Rear Elevation of lot 4' to 5' Above
Street, Sloping Forward to 1' to 6"
Above Street.

RECEIVED

JUL 23 1992

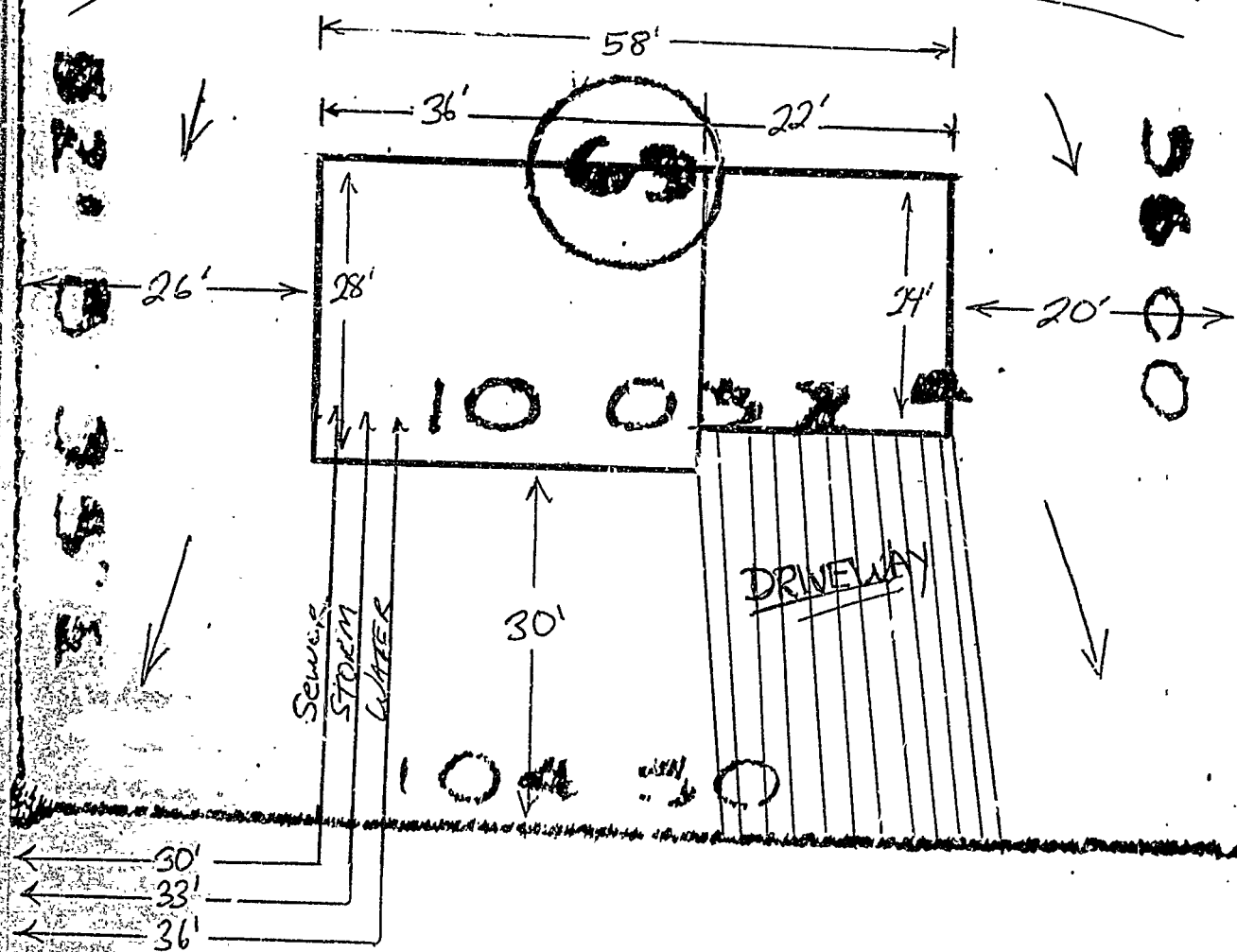
DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

123 62

104 50

37° 31' 23" W

Z



Applicant: Vesta Corp
Address: 140 Deepwood Dr.
Assessors No.:

Date: 8-6-92

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R2

Interior or corner lot -

Use - single

Sewage Disposal - city

Rear Yards - ~~35'~~ 25' 25' req.

Side Yards - 20' and 26' 16' req.

Front Yards - 30' 25' req.

Projections - none

Height - 2 1/2 story

Lot Area - 10,032#

Building Area - 26 x 38 = 988#

22 x 24 = 528# 96# 160#
1772# coverage

Area per Family - entire

Width of Lot - 104'

Lot Frontage - 104'

Off-street Parking - 2 cars

Loading Bays - N/A

Site Plan -

Shoreland Zoning -

Flood Plains -



VESTA CORP.

GENERAL CONTRACTING

P.O. 1464, PORTLAND, MAINE 04104

Bill

PLEASE BE ADVISED THAT, BLUE PRINT
OF House is to be REVERSED. DRIVEWAY
& GARAGE will be LEFT OF House NOT
RIGHT OF HOUSE.

ALSO PLEASE SEE JUNE D PLOT PLAN
SHOWING THE 10' X 16" DECK, STARTING 4'
OFF BACK LEFT CORNER TO 20' OFF BACK
LEFT. AND EXTENDING 10' AWAY FROM
HOUSE.

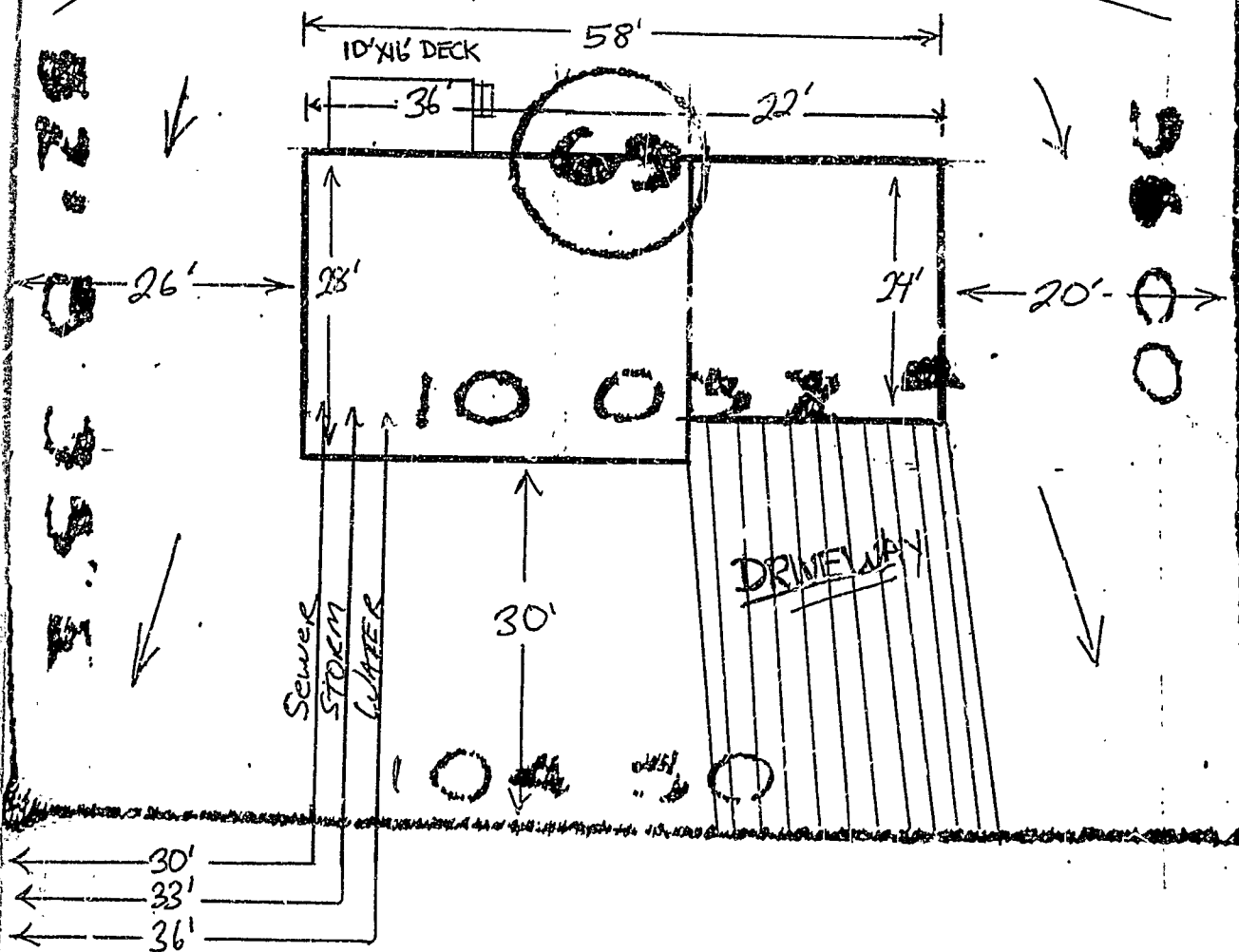
THANK YOU.

Mark A. DiValle

123 62

104.30

N 37° S 26' W



COR-A-VENT

b/b

8

12

WATL SHINGLES

SOFFIT V/
WALLS VENT

IX

IX

IX

SH

A

1/2 X 6 CLAP BDS

CONC STOOP

FRONT ELEVATION

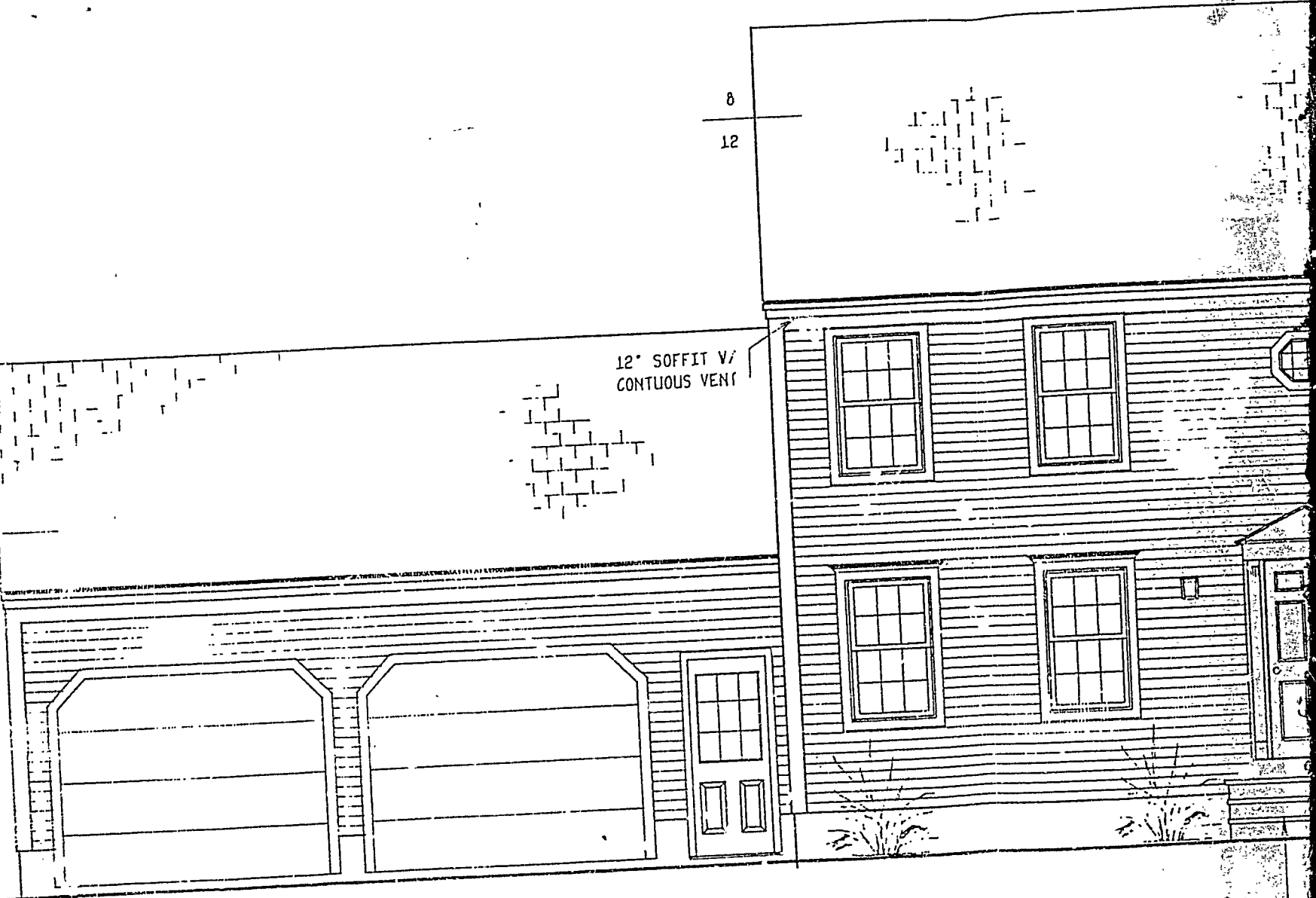
1/4" = 1'-0"

COR-A-VENT

8

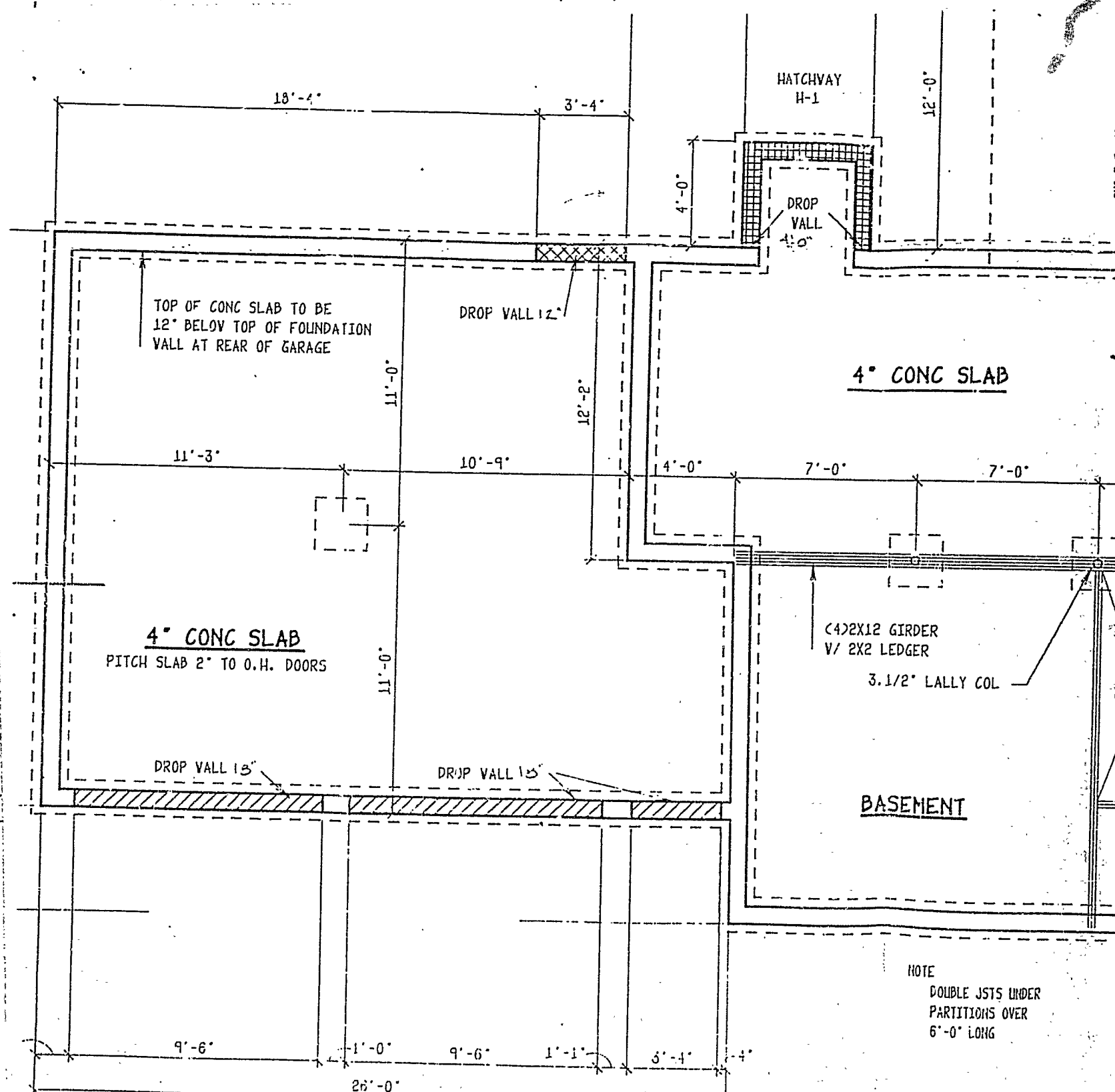
12

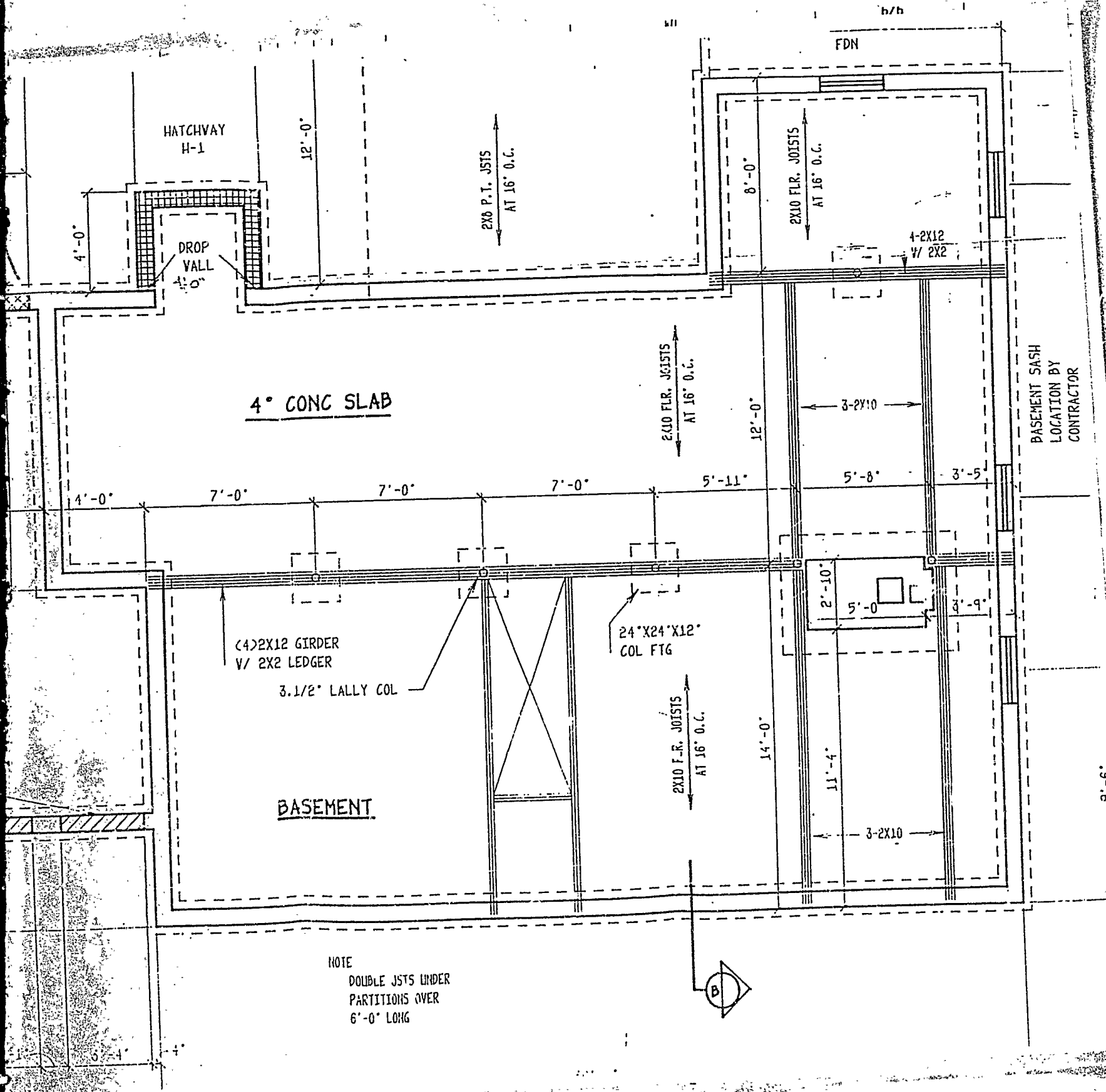
12" SOFFIT V/
CONTUOUS VENT

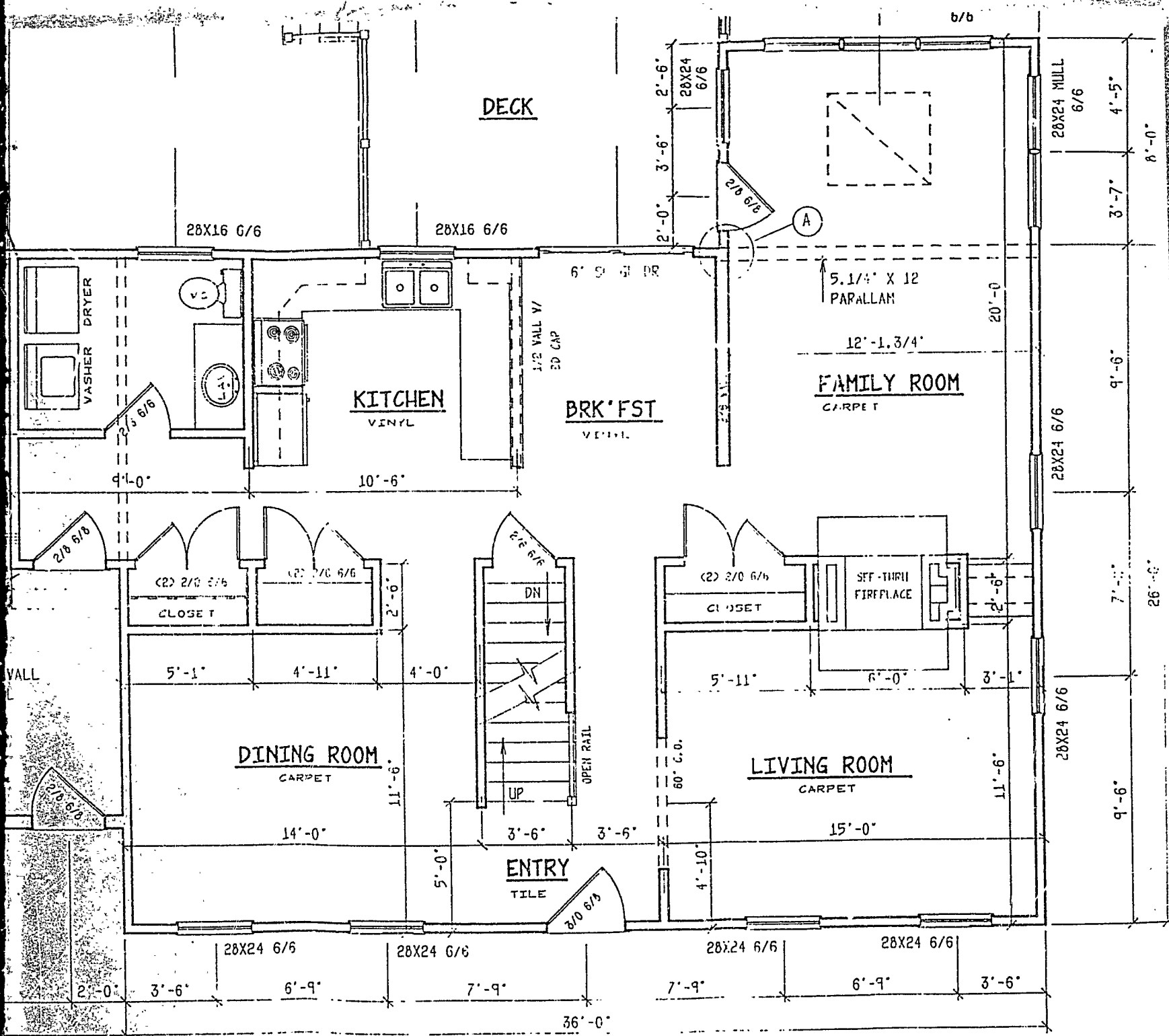


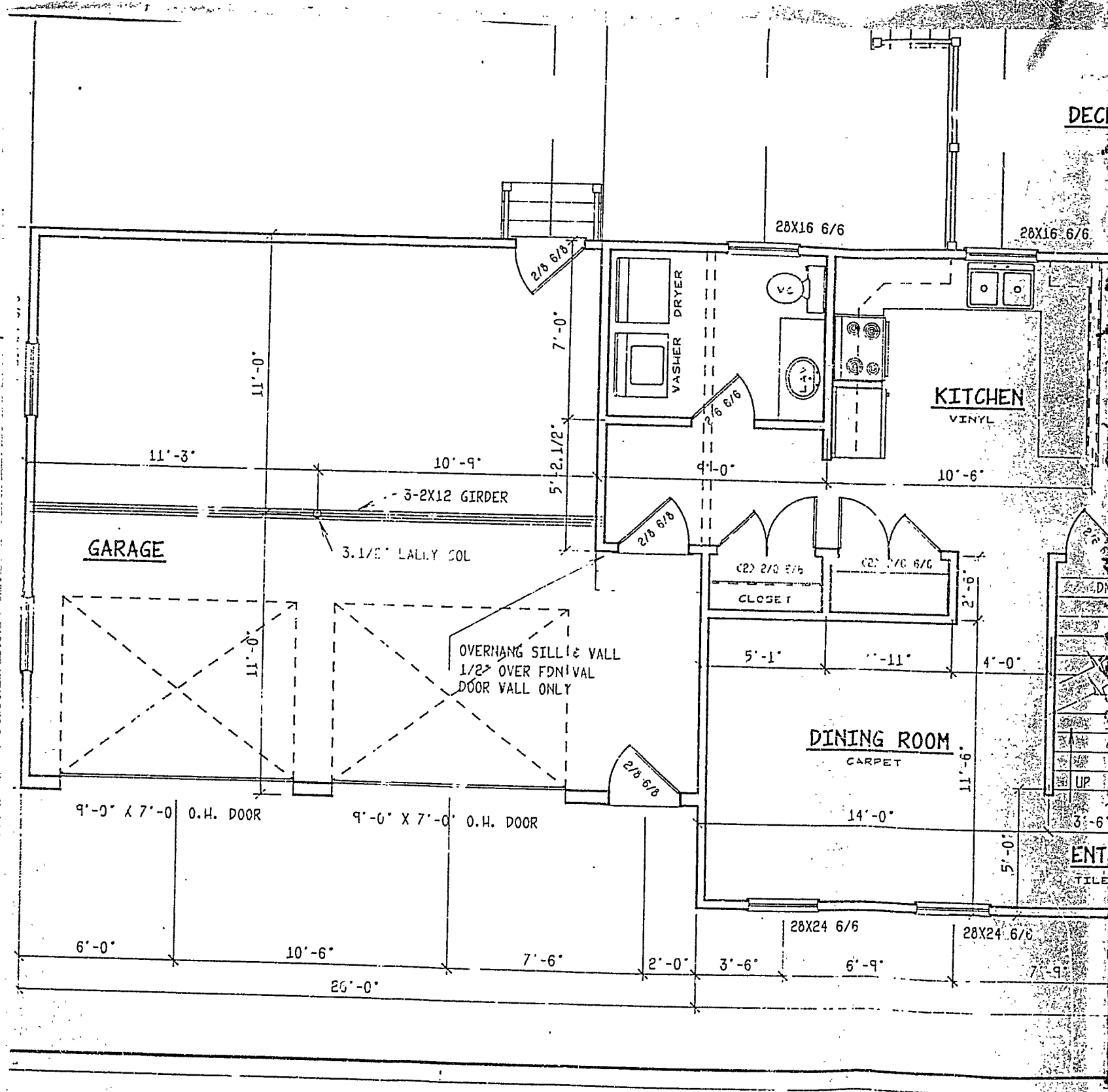
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



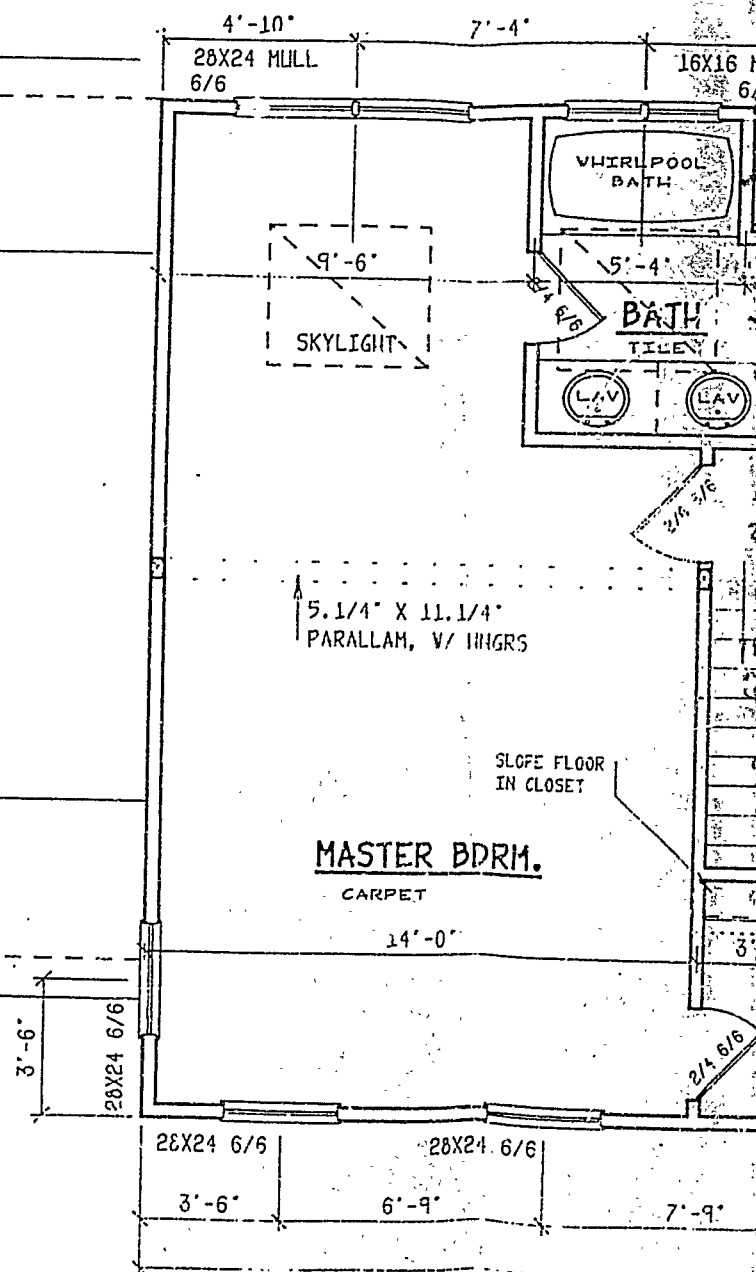






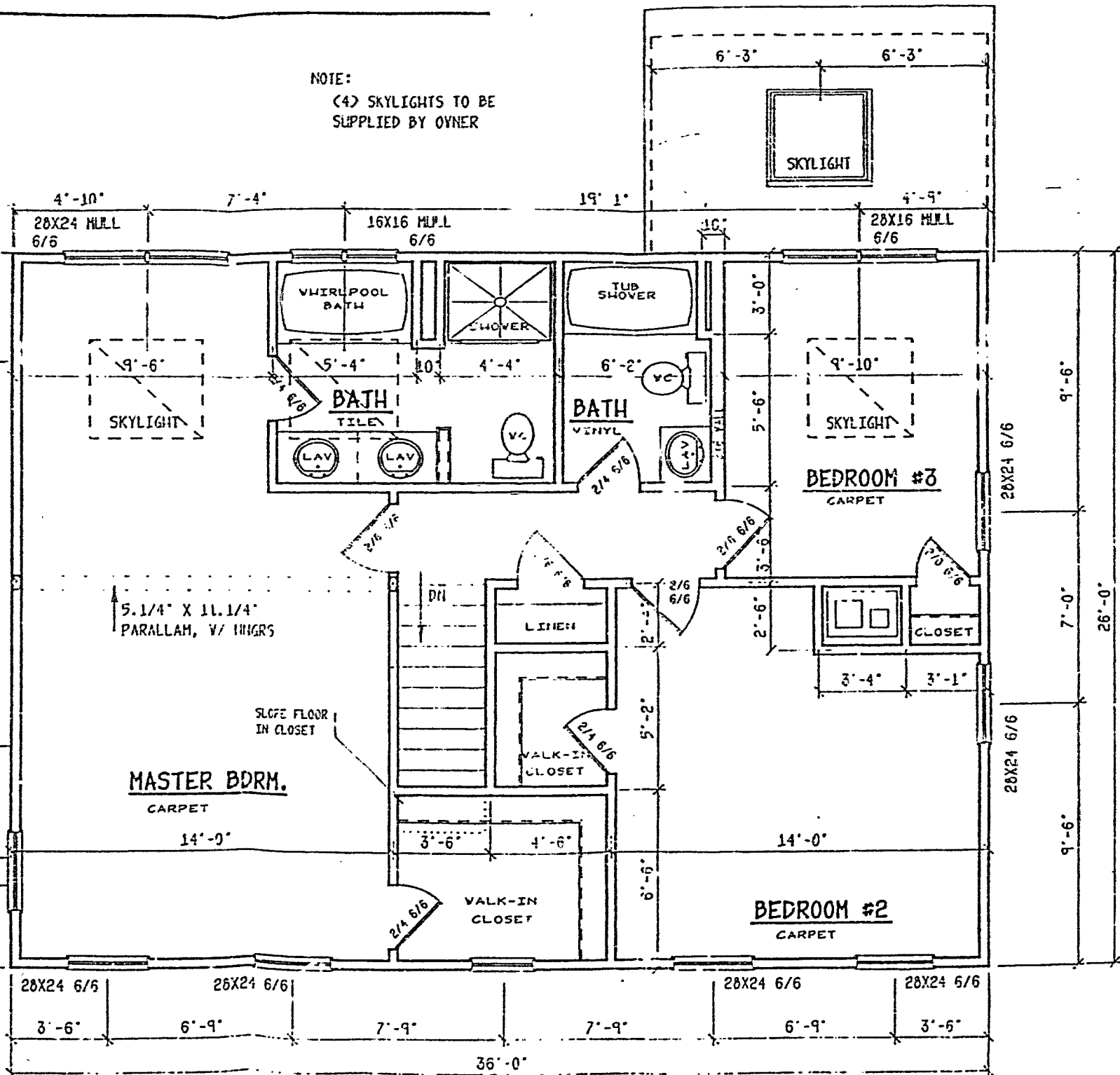
NOTE:
(4) SKYLIGHT
SUPPLIED BY

STORAGE



NOTE:

(4) SKYLIGHTS TO BE
SUPPLIED BY OWNER



Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

May 16, 1995

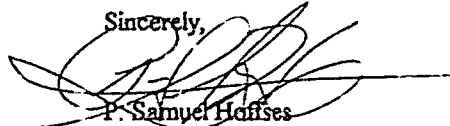
Mr. & Mrs. Rory Cooper
140 Deepwood Drive
Portland, Maine 04103

Dear Mr. & Mrs. Cooper,

With respect to the Class "D" survey prepared by Titcomb Associates dated April 16, 1992, for your property located at 140 Deepwood Drive, Portland, Maine and the apparent issue with the rear setback of the deck, we find the following:

1. After reviewing our records we find the deck was built at the time of the original house construction.
2. We find that proper building permits for house, garage and deck were obtained and an occupancy permit was granted.
3. Therefore, the City of Portland will take no action on the deck setback now or in the future, regarding the deck.
4. The letter shall become a matter of permanent record and shall appear on the microfilm of the property history.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

