

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Location of Construction: 73 Roaring Brook Rd		Owner Name: Galli Gilbert P & Jo-ann T Jts		Owner Address: 63 Morning St CITY OF PORTLAND		Phone: 207-773-1828	
Business Name: n/a		Contractor Name: n/a Andrew Bowman		Contractor Address: n/a Portland 1403 Forest Ave 04103		Phone: 797-2172 671-6603	
Lessee/Buyer's Name: n/a		Phone: n/a		Permit Type: Single Family			Zone: R3
Past Use: Vacant		Proposed Use: New Single Family; 25'x27' garage, 30' x 44' house and 8'6" x 3'6" porch		Permit Fee: \$1,073.00		Cost of Work: \$150,000.00	
Proposed Project Description: Build 30' x 44' New Single Family with 25' x 27' garage and 8'6" x 3'6" porch				FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A		INSPECTION: Use Group: R3 Type: 50 7/17/02	
				Signature: _____		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
				Signature: _____ Date: _____			

Permit Taken By: gg	Date Applied For: 05/31/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2002-0137 Maj. <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: <i>[Signature]</i> 7/19/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

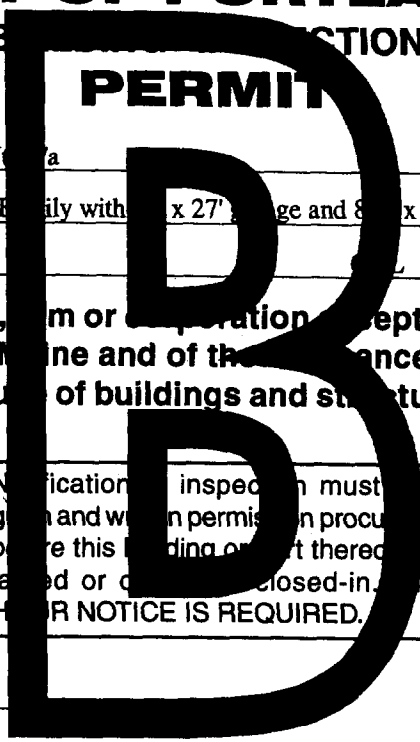
BUILDING DEPARTMENT

PERMIT

Permit Number: 020612

This is to certify that Galli Gilbert P & Jo-ann T J
has permission to Build 30' x 44' New Single Family with 8' x 27' garage and 8' x 3'6" porch
AT 73 Roaring Brook Rd 397 D003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 7/17/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0132

Application I. D. Number

05/31/2002

Application Date

73 Roaring Brook

Project Name/Description

Galli Gilbert P & Jo-ann T Jts

Applicant

63 Morning St, Portland, ME 04101

Applicant's Mailing Address

Back Bay Boundary Inc.

Consultant/Agent

Applicant Ph: (206) 773-1828 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

73 - 73 Roaring Brook Rd, Portland, Maine

Address of Proposed Site

397 D003001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 73 ROARING BROOK RD., the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Application ID Number:

2-0612

Delete

Save

Close

Department:

Building

Status:

Approved

Reviewer

Mike Nugent

Comments:

[Empty text box for comments]

Approval Date

07/17/2002

Given On Date

07/10/2002

OK to Issue Permit

Name

Mike Nugent

Date

07/17/2002

Date 2

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Fasteners must comply with table 2305.2.1 1999 BOCA Code

Create Date:

06/07/2002

By

gg

Update Date:

07/17/2002

By

mn

July 16, 2002

Mike Nugent CEO
Building Inspections
City of Portland
389 Congress Street
Portland ME 04101



Re: Roaring Brook Road
Portland ME 04103

Dear Mike,

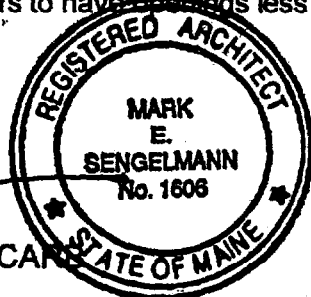
Design loads attached.

This letter will confirm or update the faxed responses to your inquiry 7.12.02.

1. All framing to be 2 x 10's @ 16" o/c per structural plans. The cross section will be modified accordingly.
2. The 3046 windows meet egress code of 5.7 sf clear area with 22" horizontal.
3. Heating System will be forced hot water baseboard oil fired.
4. Wall Sheathing = 7/16" OSB or 1/2" CDX plywood.
5. Roof Sheathing = 3/4" T&G CDX Plywood
6. Fasteners for the roof system, wall system and exterior wall sheathing will be 6d nails pneumatically fastened at 12" o/c.
7. All 1/2" anchor bolts will be at 48" o/c and within 12" of all corners.
8. Chimney sheet to follow by mason.
9. A 36" half wall is provided in the bonus room as a guardrail for the stairs.
10. All stair nosings shall be 3/4"
11. Stair to bonus room has min 6'-8" clear headroom and the rise and run match the main stair~ 15- 7 3/8" Risers and 14 10" treads.
12. All stair balusters to have openings less than 4" dia.

Sincerely,
Port City Design

A handwritten signature in black ink that reads "Mark Sengelmann".




Mark Sengelmann, NCARB
Principal

MS/cg

Attachments 6.24.02 A1.1, First Floor Plan 1/4" = 1'-0", A3.1 Site Plan 1" = 20'-0"
Cc Joanne and Gilbert Galli, Andy Bauman, GC

43 Deering Street • Portland, Maine 04101

207-761-9500 / Fax 761-9595  design@portcitydesign.net

STRUCTURAL BASIS OF DESIGN

BUILDING CODE: 1999 BOCA CODE

FLOOR LOADING (NEW CONSTRUCTION):

DEAD LOADS	ROOF FRAMING	_____	15	psf
	FLOOR FRAMING	_____	10	psf
FIRST FLOOR LIVE LOADS		_____	40	psf ✓
SLEEPING ROOM LIVE LOADS		_____	30	psf ✓

ROOF LOADING:

GROUND SNOW LOAD	_____	60	psf
EXPOSURE FACTOR	_____	1.0	
IMPORTANCE FACTOR	_____	1.0	
FLAT ROOF SNOW LOAD	_____	42	psf
DRIFT & SLIDING SNOW	_____	PER CODE	
UNBALANCED SNOW LOAD	_____	63	psf

WIND LOAD:

BASIC WIND SPEED	_____	85	psf
EXPOSURE CATEGORY	_____	B	
IMPORTANCE FACTOR	_____	1.0	

WOOD FRAMING

UNLESS OTHERWISE SPECIFIED, EACH GRADE MARK, STAMP, OR OTHER IDENTIFYING MARKS ON A MATERIAL OR STANDARD UNDER WHICH REQUIREMENTS FOR QUALIFICATION ORGANIZATION, USAGE OF AUTHORITY INCLUDED IN THE IDENTIFICATION, SHALL BE APPROVED BY THE BOCA STANDARDS COMMITTEE, TO GRADE

PROTECT LUMBER AND OTHER PRODUCTS AFTER DELIVERY AT THE SITE. PROTECT IN SUCH A MANNER AS TO PREVENT WARPING. LOCATE STACKS AT LEAST SIX INCHES ABOVE GRADE. SHEDS HAVING A FIRMLY CONSTRUCTED SUFFICIENT END WALL TO PROTECT

STORE SEASONED MATERIALS IN DRY

PROTECT SHEET MATERIALS FROM MOISTURE SURFACES WHILE UNLOADING.

Jul 12 02 11:54a

City of Portland

(207) 874-8716

P.1

Attn CEO MIKE NUGENT
City of PORTLAND
BUILDING INSPECTOR

via Fax 874-8716

909 Congress St, Rm 315
Portland, ME 04101
Phone: 874-8716
Fax: 874-8716

facsimile transmission

To: Mark Sengelmann From: Mike Nugent

Fax: 761-9500 Date: July 12, 2002

Phone: 761-9595 Pages: 1

Re: 77 Rolling Brook Rd. 197 DOC3 CC:

Urgent For Review Please Comment Please Reply

I have the following questions:

The framing plans show 2" X 10" s and the cross sections show 2" x 12" s Which is proposed?

Do the 3040 windows meet egress standard?

YES

What kind of heat system?

FORCED HOT WATER/OIL FIRED

What is the sheathing used in the walls & floors?

WALLS = 1/2" OSB / FLOORS 5/8" PLYWOOD

Fasteners for roof system, floor system, exterior wall sheathing

TO FOLLOW

T & G

Anchors within 1 foot of corners?

TO FOLLOW

Attached to a chimney sheet that the master must take out and return to the owner and copy us

OK

In the bonus room is there a hand rail or guard around the stair opening

42"

Are the nosings on all stairs between 1/2" and 1 1/4"

YES

Are the stairs for the Bonus room code compliant with respect to treads, risers, widths and

headroom?

YES

All Guards must have openings LESS than 4"

OK

Fax 7-15-2
To Mark Sengelmann
From PCO

Mike -
Thanks for the quick, detailed
response. Mark Sengelmann

Private Garage (Section 309 and Section 407 1999 BOCA)	1 TR WALK a CELLING w/45 MIN. DOORS.	
Egress Windows (Section 310)	3046'S	
Roof Covering (Chapter 9)	ASPHALT -	

HEADER - MOSTLY LVL'S

3-2x10'S OVER
 GARAGE - BEARING

NO ROOF
 OR FLOOR
 LOAD.

7619500

AMBIGUITY
 2x10'S FLOOR - PAGE 451
 2x12 ON CROSS SECTION

Soil type/Presumptive Load Value (Table 401.4.1) 2500 PSF

Component	Plan Reviewer	Inspection/Date/Findings
Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	24" x 10"	
Foundation Drainage Dampproofing (Section 406)	4" FABRIC WRAPPED PVC.	
Crawls Space ONLY	N/A	
Ventilation Section 409.1		
Anchor Bolts/Straps (Section 403.1.4)	1/2" 3x O.C.	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	8'6", 7'6" - MUST BE ROUND 24" x 24"	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	PROPOSED 3-2x12's	
Sill/Band Joist Type & Dimesions	2x6 PT SILL 2x12 BAND	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x12 /6-O.C.	
Second Floor Joist Species Dimensions and Spacing	2x12 /6 O.C.	

(Table 503.3.1(1) & Table 503.3.2(1))		
Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	N/A	
Stairway Treads & Risers (Section 314)	1ST TO 2ND 7 1/2" R 10 1/2" BASEMENT 7 3/4" R - 10 1/2" NOSING SLOPED	
Stairway Width (Section 314)	4' 1" GROSS	
Stairway Headroom Guardrails and Handrail (Section 314)	36" GUARD/HAND OPENINGS LESS THAN 7' HEADROOM ^{4"} SCALD	
Guardrails and Handrail (Section 315)	36" W/ODENINGS NO LESS THAN 4"	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	TRUSSES 24" O.C.	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	ROOF 5/8 PLY.	
Fastener Schedule (Table 602.3(1) & (2))		

Application ID Number: 2-0612

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 6/14/02 - There are no scaleable plans (not site plan nor bldg plans) I left a voice mail with the owner with that request. There might be a problem with lot coverage.
6/27/02 Mark S. The architect brought in revised plans - rear decks are now patios

Approved Date: 07/09/2002

Date Of Date: 06/11/2002

OK to Issue Permit Name: Marge Schmuckal Date: 07/09/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of the revised plans submitted. Any deviations shall require a separate approval before starting that work.

It has been noted and documented that the rear patios SHALL NOT be constructed so as to be considered a structure. The maximum lot coverage requirements have just about been met to it's fullest extent (less 9 square feet) at this time. Future expansions that cover the lot will be required to meet the current zoning requirements.

Create Date: 06/07/2002 By: gg

Update Date: 07/09/2002 By: mes

June 24, 2002

Marge Schmuckal
Zoning Administrator
City of Portland
389 Congress Street
Portland ME 04101



Re: Roaring Brook Road
Portland ME 04103

Dear Marge,

As you know from our previous discussions, we have reworked the Galli Residence configuration to 1,990.7 sf slightly under the allowable 2000 sf maximum building footprint. We agree with your individual area calculations and have revised the Site Plan A3.1 to show the garage at 25'-0" x 27'-0". We have modified the drawings to include (2) rear patios in lieu of the original wood deck/step systems. This modification brings the design into compliance with the allowable zoning 2000 sf maximum building footprint for a 10,000sf lot with a maximum of 20% lot coverage as defined in the land use code.

<u>Area</u>	<u>Size</u>	<u>SF</u>
Main body	29' x 44' =	1276sf
Garage	25' x 27' =	675 sf
Front Porch	4.66' x 8.5' =	39.7 sf
Total		1,990.7 sf, allowable 2,000 sf

I will look forward to your response.

Sincerely,
Port City Design

A handwritten signature in black ink that reads "Mark Sengelmann".


Mark Sengelmann, NCARB
Principal

A handwritten date "6/27" in black ink.

MS/cg

Attachments 6.24.02 A1.1, First Floor Plan 1/4" = 1'-0", A3.1 Site Plan 1" = 20'-0"
Cc Joanne and Gilbert Galli, Andy Bauman, GC

43 Deering Street • Portland, Maine 04101

207-761-9500 / Fax 761-9595  design@portcitydesign.net

Applicant: Galli

Date: 6/14/02

Address: 73 Roaring Brook Rd

C-B-L: 397-D-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct New Single Family ^{29'} 30' x 44' with 25' x 27' garage with 8.5' x 4.6' porch (front)

Sevage Disposal - City

Lot Street Frontage - 50' required min.

Front Yard - 25' min req - 25' shown

Rear Yard - 25' min req - 25' + shown

check setbacks

Side Yard - 14' req min - 14' & 14.5' shown

Projections - Patios only on rear - no structures

Width of Lot - 80' req ^{min} - 100' shown

Height - 35' MAX - 29' to ridge - ~~ok~~

Lot Area - 10,000 ^{sq} min - 10,000 ^{sq} given

Lot Coverage/Impervious Surface - 20% MAX or 2,000 ^{sq}

Area per Family - 10,000 ^{sq}

Off-street Parking - 2 req - 2 car garages shown

Loading Bays - N/A

Site Plan - mm or minor #2002-0132

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

25' x 27' = 675
 30' x 44' = 1320
 8.6' x 8.5' = 30.6
 2025.6
 See revised attached
 1990.6 ^{sq}

Main House 29 x 44 = 1276 # which rules

Garage 25 x 27 = 675 # ? - construction plans say 25 x 27

Left Rear porch stairs 35 x 10.25 = 358.75 # Removal of

Living room window 1.5 x 8.375 = Not counted towards on revised plan

Kitchen Window 1 x 7 = " "

Rear steps of garage 4 x 5 = 20 # ? - removed on site plan

front porch & stairs 4.66 x 85 = 396.1 # ? - Not shown on site plan

~~2073.49 #~~

10,000 # x 20% = 2,000 # net garage value

OK 1990.61 #

Site

2002 0132

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

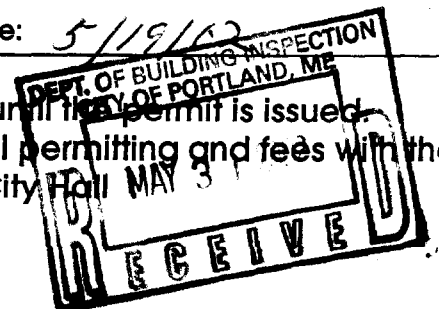
Location/Address of Construction: <u>73 Roaring Brook Rd. Portland</u>		
Total Square Footage of Proposed Structure <u>1,993 S.F.</u>	Square Footage of Lot <u>10,000 S.F.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>0397</u> Block# <u>D</u> Lot# <u>03</u>	Owner: <u>GILBERT P. & JO-Ann T. GALLI</u>	Telephone: <u>773-1828</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>GILBERT P. GALLI</u>	Cost Of Work: \$ <u>150,000</u> Fee: \$ <u>1,373.00</u>
Current use: <u>VACANT</u> SUK PLAN		
If the location is currently vacant, what was prior use: <u>VACANT</u>		
Approximately how long has it been vacant: <u>ALWAYS</u>		
Proposed use: <u>NEW SINGLE FAMILY HOME</u>		
Project description: <u>25x27 garage - 30x44 house</u> 8'6x3'6 porch		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Andrew Bowman</u>		
Mailing address: <u>1483 FOREST AVE. Portland, Me. 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-2172</u> <u>671-6603</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Subut's Ball</u>	Date: <u>5/19/02</u>
---	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Transmittal



To:

Marge Schmuckal
 Zoning Administrator
 City of Portland
 389 Congress Street
 Portland ME 04101

DATE: 5/17/02

- VIA:
- FAX
 - UPS / FEDEX
 - USPS
 - HAND
 - E-MAIL
 - COURIER

PROJECT Calli

NUMBER OF PAGES: 2

COPIES	DATE	DESCRIPTION	ACTION
1	6.17.02	20th SCALE SITE PLAN	As Requested

Mark
Mark Sengelmann NCARB NFPA
 Owner Registered Architect

WARRANTY DEED
Joint Tenancy

Know all Men by these Presents,

Instr 9920 Bk 9924 Pg 19

That we, JEANNETTE GALLI and EDWARD GALLI, both of Portland,
in the County of Cumberland and State of Maine

in consideration of one dollar and other good and valuable considerations

paid by GILBERT P. GALLI and JO-ANN T. GALLI,

whose mailing address is ~~63 Morning Street~~
Portland, Maine

the receipt whereof we do hereby acknowledge, do hereby give, grant, bargain, sell and
convey unto the said GILBERT P. GALLI and JO-ANN T. GALLI,

as joint tenants and not as tenants in common, their heirs and assigns forever,

A parcel of land located within that part of Portland known as Pineloch Woods and more particularly described as Lot Number 62 on a plan entitled "Recording Plat-Phase I, Pineloch Woods," Portland, Maine, dated March 5, 1986 and recorded at the Cumberland County Registry of Deeds in Plan Book 155, Page 31. This conveyance is subject to the Declaration of Restrictions dated September 24, 1986 and recorded at the Cumberland County Registry of Deeds in Book 7393, Page 115.

Meaning and intending to convey, and hereby conveying, all and the same premises conveyed to the Grantors herein by deed of Greater Portland Development Group, dated October 27, 1986 and recorded in Cumberland County Registry of Deeds in Book 7456 at Page 60.

PROFENNO

SECTION E SECTION E

DISTRICT

WATER

PORTLAND

Proposed
30' Drainage
Easement

N 13° 23' 00" W
433.50

75.53' 23" W

75.53' 23" W

N 14° 23' 15" W
212.36

N 15° 13' 08" W
213.06

36.00

100.00

100.00

50.62

36.02

101.50

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51.03

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10,000.00

LOT#

NAME:

PROPOSED
20' DRAIN
EASEMENT

Area
50 3752.0

Galli #62

Iron Found

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City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Phone: (207) 874-8703 or 874-8693

Fax : (207) 874-8716

FAX TRANSMISSION COVER SHEET

Date: 6/20/02

To: Mark Sengelman

Fax: 761-9595

Re: 73 Roaring Brook Rd - Galli Residence

Sender: Marge Schmeckel

YOU SHOULD RECEIVE 2 PAGE(S), INCLUDING THIS COVER SHEET.

IF YOU DO NOT RECEIVE ALL THE PAGES, PLEASE CALL 874-8693 or 874-8703.

MARK, I received the site plan today - I am getting a lot of coverage over the allowance. But there are a few incongruities between the house construction plans and the site plan - can you help clarify?
Marge

GENERAL NOTES:

- RECORD OWNER OF PARCEL: GILBERT P. GALLI AND JO-ANN T. GALLI AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 9924, PAGE 19.
- BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
- AREA OF SUBJECT PARCEL: 10000 SQUARE FEET.
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- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - RECORDING PLAT-PHASE I, PINELOCH WOODS, PORTLAND, MAINE DATED MARCH 5, 1986 RECORDED IN THE AFOREMENTIONED REGISTRY IN PLAN BOOK 155, PAGE 31.
 - "PINELOCH WOODS, ROARING BROOK ROAD STA. (-) 10+20 TO STA. 10+50 DATED 01-31-79 LAST REVISION 08-03-86. RETRIEVED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPT.
 - CITY OF PORTLAND ASSESSOR MAP 397, LOT SHOWN AS BLOCK A, LOT 62.
- ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM, ELEVATION 135.25' ON A BRASS BOLT IN THE MONUMENT AT THE NORTHWEST CORNER OF PINELOCH AND ROARING BROOK.
- ZONING:
 - RESIDENTIAL-2 R-2
 - FRONT YARD 25 FEET
 - REAR YARD 25 FEET
 - SIDE YARD 14 FEET 2 STORY RESIDENCE
 - MINIMUM AREA 10000 SQUARE FEET
- Settles to be installed prior to excavation, see City of Portland requirements.
- Before commencing any excavation on this site the responsible contractor shall contact "DIG SAFE" at 1-800-dig safe to have the underground utilities verified.

LEGEND

- Capped 5/8" Rebar To Be Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- △ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- U — Underground Utility
- Manhole
- - - Edge of traveled way

N/F
GARY P. MERRILL
TINA G. MERRILL
BOOK 8285, PAGE 070

FIRST FLOOR ELEVATION = 135.87' (135' 10 1/2")
TOP OF FOUNDATION = 134.81' (134' 9 1/2")
GARAGE SLAB ELEVATION = 135.87' (135' 10 1/2")
FOUNDATION FLOOR = 126.81' (126' 9 1/2")
PROPOSED GRADE OF DRIVE = 6.6%

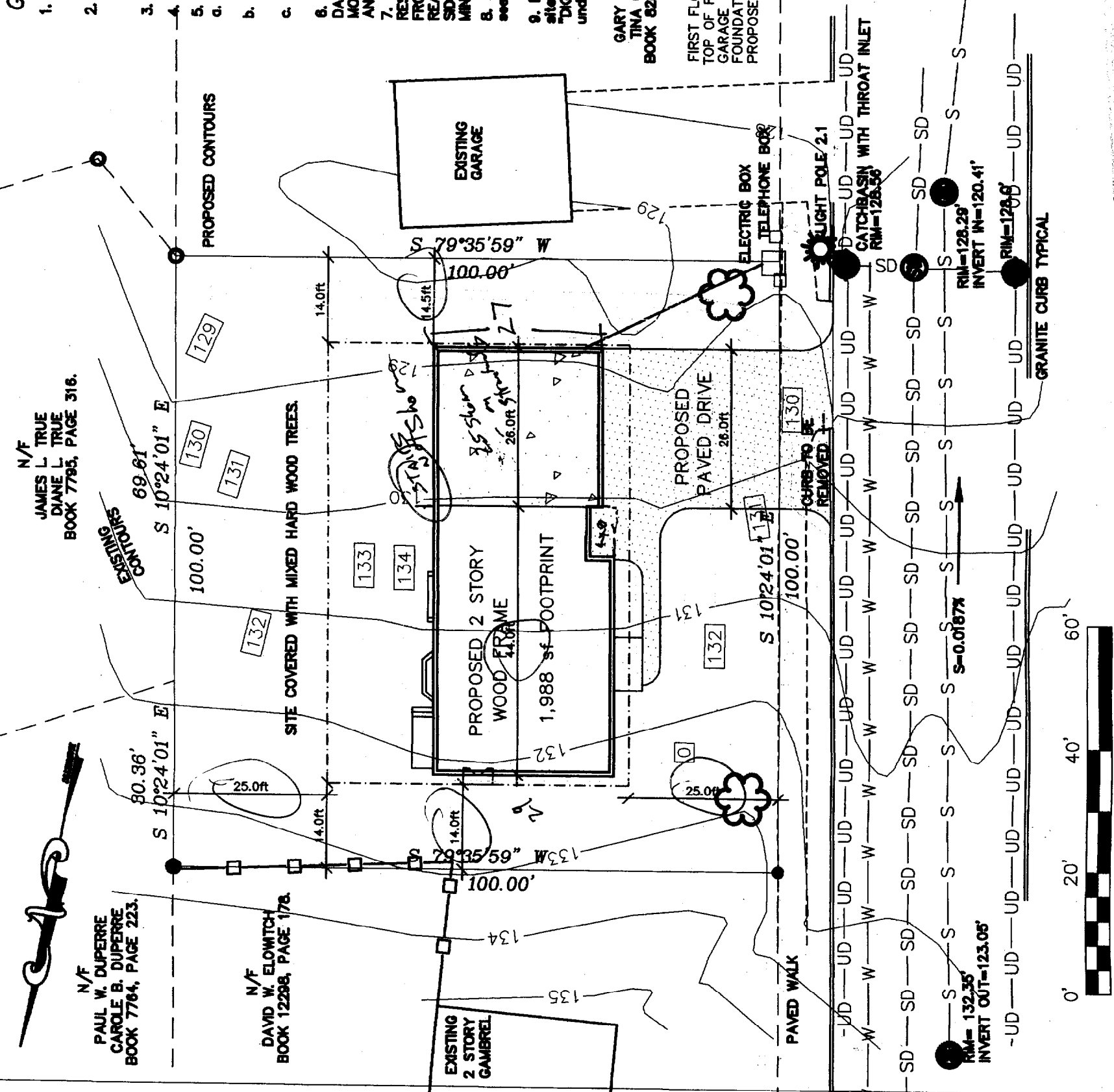
UD = 6" TYPE "B" UNDERDRAIN
W = 6" DUCTILE IRON WATERMAIN
SD = 21" STORMDRAIN
S = 8" SANITARY SEWER PVC SDR 35

SURVEYORS STATEMENT:

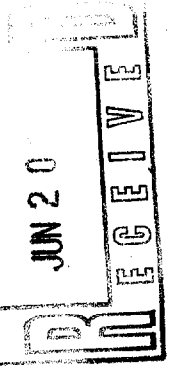
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

DATE: APRIL 22, 2002

ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.



DEPT. OF BUILDINGS
CITY OF PORTLAND



FOR: GILBERT P. GALLI
FOR A PROPOSED 2 STORY RESIDENCE AT: #73 ROARING BROOK ROAD, PORTLAND, MAINE
EXISTING CONDITIONS/ SITE PLAN

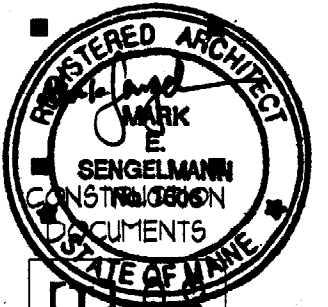
DRAWN BY: RTG
CHECKED BY: BEG
SCALE: 1"=40'-0"
DATE: APRIL 22, 2002
JOB NUMBER: 200237-P
SHEET: 1 of 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010

DRAWER: 2002 NO: 57

43 DEERING STREET
 PORTLAND, ME 04101
 PHONE: 207.761.9500
 FAX: 207.761.9595
 mark@portcitydesign.net

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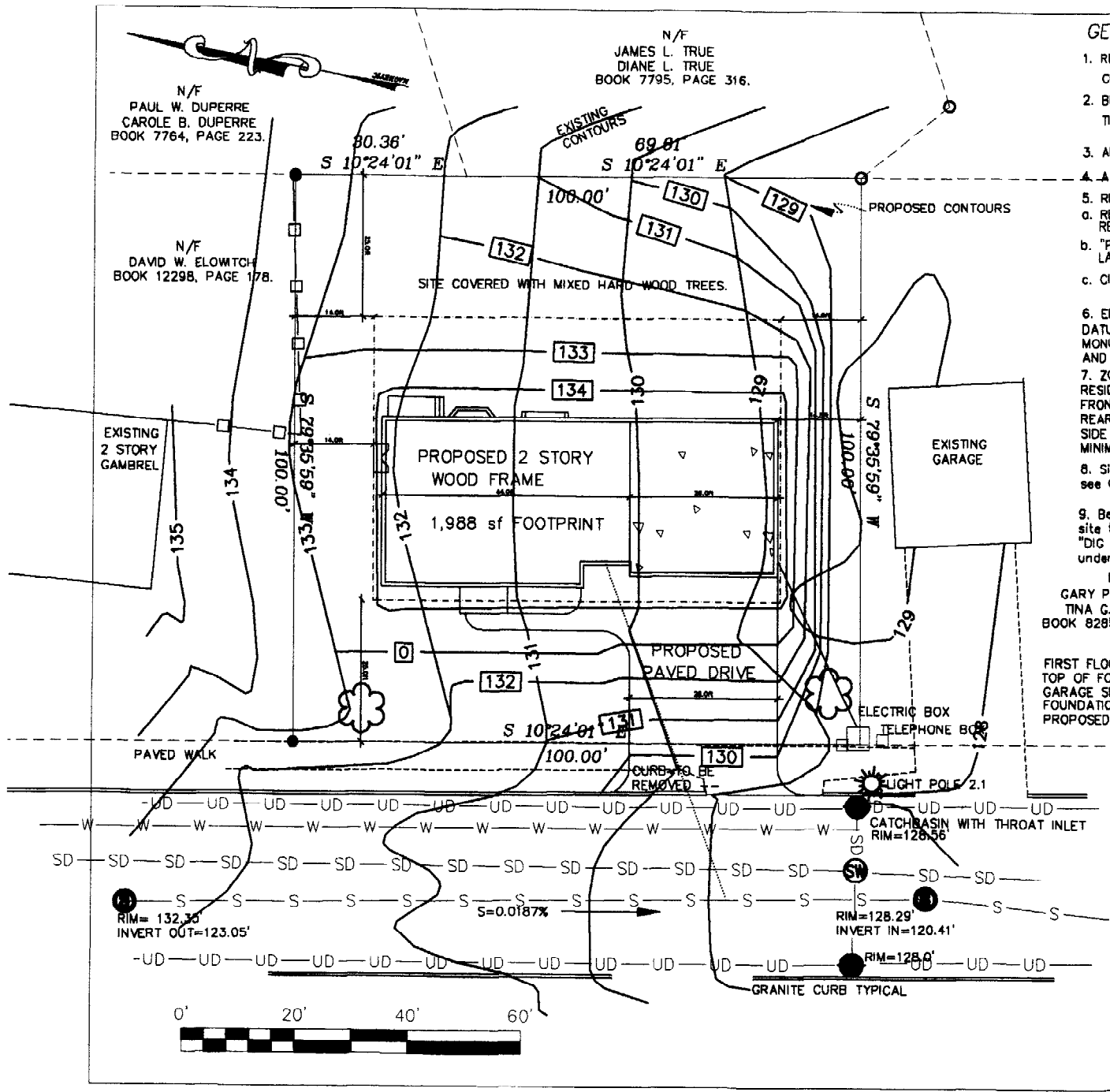


GALLI RESIDENCE
 ROARING BROOK ROAD
 PORTLAND, MAINE 04101

JOB: 02010

ISSUE DATE	
PRELIM.	5-16-02
FINAL	03-28-02
BID	-
C.D.'s	03-28-02
REVISION 1	-
PRINT	5-16-02

SITE PLAN
A3.1



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: GILBERT P. GALLI AND JO-ANN T. GALLI AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 9924, PAGE 19.
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 10000 SQUARE FEET.
4. A MINIMUM OF 2 TREES SHALL REMAIN IN THE PROPOSED FRONT YARD.
5. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. RECORDING PLAT-PHASE I, PINELOCH WOODS," PORTLAND, MAINE DATED MARCH 5, 1986 RECORDED IN THE AFOREMENTIONED REGISTRY IN PLAN BOOK 155, PAGE 31.
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 - c. CITY OF PORTLAND ASSESSOR MAP 397, LOT SHOWN AS BLOCK A, LOT 62.

6. ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM. ELEVATION 135.25' ON A BRASS BOLT IN THE MONUMENT AT THE NORTHWEST CORNER OF PINELOCH AND ROARING BROOK.
7. ZONING: RESIDENTIAL-2 R-2 FRONT YARD 25 FEET REAR YARD 25 FEET SIDE YARD 14 FEET 2 STORY RESIDENCE MINIMUM AREA 10000 SQUARE FEET
8. Siltence to be installed prior to excavation, see City of Portland requirements.

LEGEND

- Capped 5/8" Rebar To Be Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- ▲ Survey Instrument Point
- - - Abutter Line
- - - Property Line
- - - Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u - Underground Utility
- Monhole
- - - Edge of traveled way

9. Before commencing any excavation on this site the responsible contractor shall contact "DIG SAFE" at 1-800-dig safe to have the underground utilities verified.

N/F
 GARY P. MERRILL
 TINA C. MERRILL
 BOOK 8285, PAGE 070

FIRST FLOOR ELEVATION = 135.87' (135' 10 1/2")
 TOP OF FOUNDATION = 134.81' (134' 9 1/2")
 GARAGE SLAB ELEVATION = 135.87' (135' 10 1/2")
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UD = 6" TYPE "B" UNDERDRAIN
 W = 8" DUCTILE IRON WATERMAIN
 SD = 21" STORMDRAIN
 S = 8" SANITARY SEWER PVC SDR 35

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

DATE: APRIL 22, 2002

ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

EXISTING CONDITIONS/ SITE PLAN
 FOR A PROPOSED 2 STORY RESIDENCE AT:
 #73 ROARING BROOK ROAD, PORTLAND, MAINE
 FOR: GILBERT P. GALLI

DRAWN BY: RTG
 CHECKED BY: BGG
 SCALE: 1" = 40'-0"
 DATE: APRIL 22, 2002
 JOB NUMBER: 200237-P
 SHEET 1 of 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010
 DRAWER: 2002 NO: 37

1 SITE PLAN
 A3.1 0 0 SCALE: 1" = 40'-0"



N/F
PAUL W. DUPERRE
CAROLE B. DUPERRE
BOOK 7764, PAGE 223.

N/F
DAVID W. ELOWITCH
BOOK 12298, PAGE 178.

N/F
JAMES L. TRUE
DIANE L. TRUE
BOOK 7795, PAGE 316.

GENERAL NOTES:

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N/F
GARY P. MERRILL
TINA G. MERRILL
BOOK 8285, PAGE 070

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EXISTING CONDITIONS/ SITE PLAN
 FOR A PROPOSED 2 STORY RESIDENCE AT:
 #73 ROARING BROOK ROAD, PORTLAND, MAINE

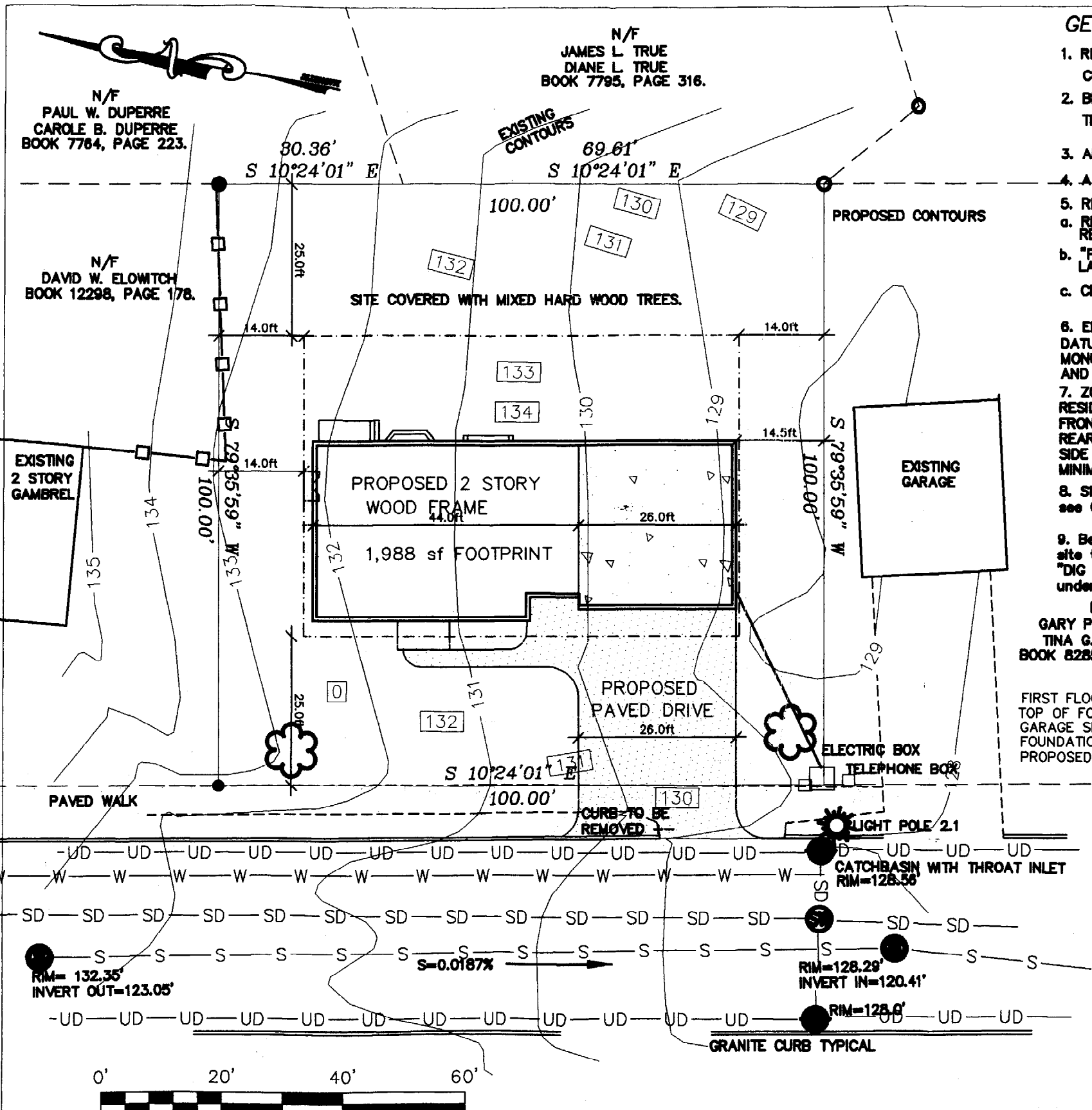
GILBERT P. GALLI

FOR:

DRAWN BY: RTG
 CHECKED BY: BEG
 SCALE: 1"=40'-0"
 DATE: APRIL 22, 2002
 JOB NUMBER: 200237-P
 SHEET: 1 of 1

PREPARED BY:
 BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010

DRAWER: 2002 NO: 37



DEPT. OF
CITY OF PORTLAND
RECEIVED
JUN 20

ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.

DATE: APRIL 22, 2002

GALLI RESIDENCE



NOTE: THIS SKETCH IS FOR IMAGE PURPOSES ONLY - SEE A2.1 FOR ELEVATION

LEGEND

- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAWN
- DETAIL NUMBER
- INDICATES BUILDING AND OR WALL SECTION
- SHEET WHERE BUILDING SECTION IS DRAWN
- INDICATES ELEVATION
- BUILDING SECTION LETTER
- SHEET WHERE BUILDING SECTION IS DRAWN
- EXISTING WALLS
- NEW WALL CONSTRUCTION
- FIRE RATED WALL CONSTRUCTION
- STEEL BEAMS (SEE STRUCTURAL)
- ELEVATOR LOBBY
- ROOM NAME AND NUMBER
- KEY NOTES
- REVISION
- DOOR NUMBER (SEE DOOR SCHEDULE THIS SHEET)
- ELEVATION TARGET
- WALL TYPE (SEE SHEET A1.1)

GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER).
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWINGS ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL SIGN AGE IN PUBLIC AREAS SHALL HAVE RAISED BRILLE CHARACTERS.
14. ALL PIPES / CONDUIT SHOULD BE CONCEALED EXCEPT IN UNFINISHED LOCATIONS UNLESS NOTE OTHERWISE.

LIST OF DRAWINGS

T-1	TITLE
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN & DETAILS
A2.1	ELEVATIONS
A2.2	SECTION
A3.1	SITE PLAN

TYPICAL ABBREVIATIONS

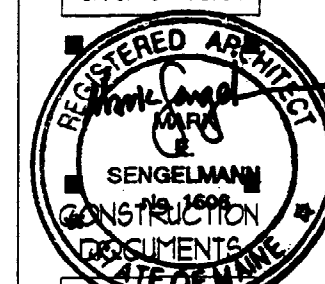
ANG	AND	ENCL	ENCLOSE	MAX	MAXIMUM	RO	ROUGH OPENING
°	ANGLE	ENT	ENTRY or ENTRANCE	MECH	MECHANICAL	RM	ROOM
ADA	AT	EQ	EQUAL	MFG	MANUFACTURE	RTU	ROOF TOP UNIT
ADJ	AMERICAN DISABILITIES ACT	EQUIP	EQUIPMENT	MH	MAN HOLE	S	SOUTH
AF	ADJUST OR ADJACENT	EW	ELECTRIC WATER COOLER	ML	MILLIFEET	SAT	SUSPENDED ACOUSTICAL TILE
AF	ABOVE FINISH FLOOR	EXH	EXHAUST	MIN	MINIMUM	SCHD	SCHEDULE
ALUM	ALUMINUM	EXIST	EXISTING	MSB	MAIN SWITCH BOARD	SD	STORM DRAIN
ARCH	ARCHITECT OR ARCHITECTURAL	EXP	EXPANSION	MTD	MOUNTED	SECT	SECTION
AVG	AVERAGE	EXT	EXTERIOR	MTL	METAL	SF	SQUARE FEET
BD	BOARD	FBO	FURNISHED BY OWNER	MW	MICROWAVE	SFM	SIMILAR
BLDG	BUILDING	FDN	FOUNDATION	N	NORTH	SP	SHELL PACKAGE
BLKG	BLOCKING	FF	FINISH FLOOR	N/A	NOT APPLICABLE	SPEC	SPECIFICATIONS
BM	BEAM	FFE	FINISH FLOOR ELEVATION	NAT	NATURAL	SS	STAINLESS STEEL
BO	BOTTOM OF	FN	FINISH	NIC	NOT IN CONTRACT	SG	SQUARE
C	CENTER LINE	FX	FIXTURE	N	NUMBER	STD	STANDARD
CAB	CABINET	FLG	FLOORING	NTS	NOT TO SCALE	STL	STEEL
CLS	CEILING	FLR	FLOOR	OC	ON CENTER	STRUC	STRUCTURAL
CLR	CLEAR	FLUOR	FLUORESCENT	OH	OVER HEAD	SUSP	SUSPENDED
CLO.	CLOSET	FP	FIRE PLACE	PAR	PARALLEL	SYMM	SYMMETRICAL
CTN	COUNTER	FT	FOOT or FEET	P/C	PRECAST CONCRETE	T	THERMOSTAT
COL	COLUMN	GA	GAUGE	PERR	PREFERATED	T + B	TOP AND BOTTOM
CONC	CONCRETE	GALV	GALVANIZED	PERR	PERPENDICULAR	TEL	TELEPHONE
CONT	CONTINUOUS	GC	GENERAL CONTRACTOR	PL	PLATE	TGL	TEMPERED GLASS
COORD	COORDINATE	GL	GLASS	P-LAM	PLASTIC LAMINATE	THICK	THICKNESS
COR	CORNER	GWB	GYP(SM) WALL BOARD	PLAS	PLASTER	TI	TENANT IMPROVEMENTS
CPT	CARPET	HGT	HEIGHT	PLBS	PLUMBING	T.O.	TOP OF
CW	COLD WATER	HM	HOLLOW METAL	PLYWD	PLYWOOD	TOJ	TOP OF JOIST
DBL	DOUBLE	HORIZ	HORIZONTAL	PS	POUNDS PER SQUARE INCH	TOE	TOP OF STEEL
DEG	DEGREE	HR	HOUR	PT	PRESSURE TREATED	TYP	TYPICAL
DHW	DOMESTIC HOT WATER	HVAC	HEATING, VENTILATION & AIR CONDITION	PTD	PAINT	UL	UNDERWRITERS LABORATORIES, INC
DIA	DIAMETER	IBC	INSTALLED BY CONTRACTOR	QTY	QUANTITY	UNO	UNLESS NOTED OTHERWISE
DM	DIMENSION	IN	INCHES	R	RISER or RADIUS	VB	VENTL BASE
DN	DOWN	INSUL	INSULATION	RAD	RADIUS	VCT	VERTICAL
DR	DOOR	INT	INTERIOR	RCP	REFLECTED CEILING PLAN	RD	ROOF DRAIN
DS	DOWN SPOUT	JT	JOINT	REF	REFRIGERATOR	RF	REF IN FIELD
DW	DISH WASHER	LAM	LAMINATED	RENF	REINFORCED	U	UNDE or WEST
DWS	DRAWING	LB	POUNDS	RECD	REQUIRED	WC	WATER COOLER
E	EAST	LF	LINEAR FEET			W	WITH
EA	EACH	LL	LIVE LOAD			W/O	WITHOUT
EJ	EXPANSION JOINT	LWC	LIGHT WEIGHT CONCRETE				
ELEC	ELECTRIC						
ELEV	ELEVATION						
EMP	EMPLOYEE						

PORT CITY

DESIGN

43 DEERING STREET
PORTLAND, ME 04101
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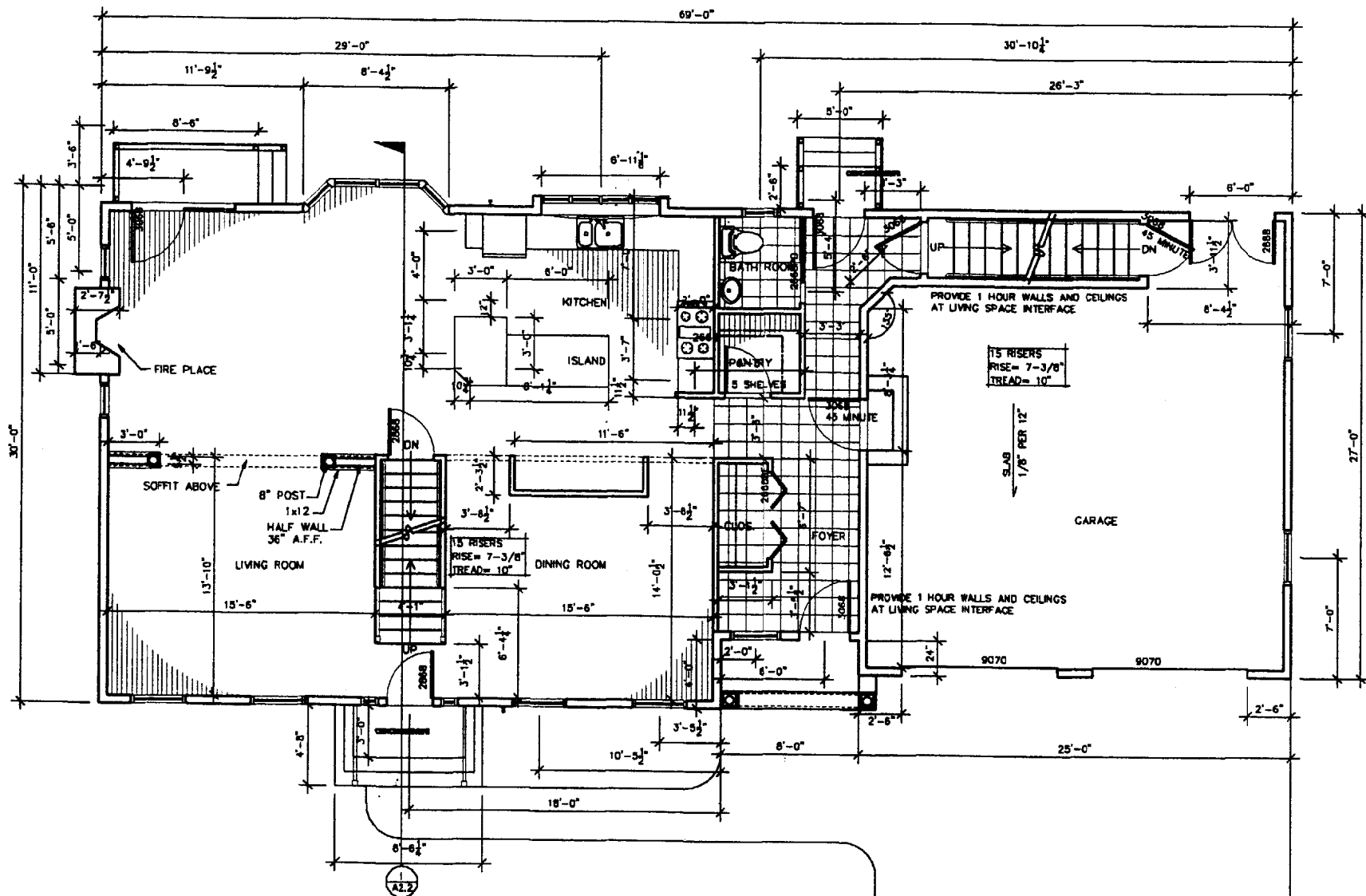


GALLI RESIDENCE
ROARING BROOK ROAD
PORTLAND, MAINE 04103

JOB: 02010

ISSUE DATE	
PRELIM.	5-10-02
FINAL	03-28-02
BID	-
C.D.'s	03-28-02
REVISION	-
PRINT	5-10-02

TITLE SHEET
T-1



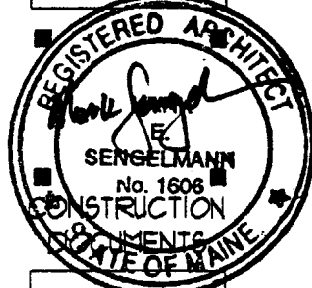
1 FIRST FLOOR PLAN
 A1.1 0 4' SCALE: 1/4" = 1'-0"

PORT CITY

DESIGN

43 DEERING STREET
 PORTLAND, ME 04101
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GALLI RESIDENCE
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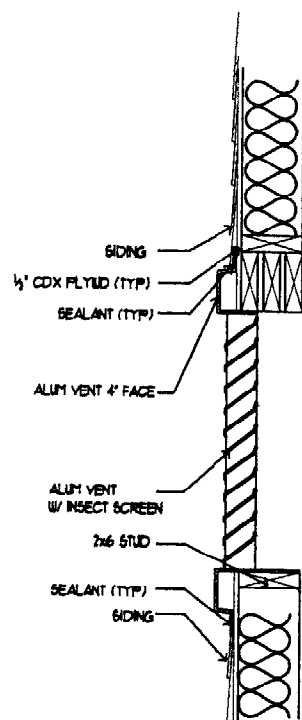
JOB: 02010

ISSUE DATE	
PRELIM.	5-10-02
FINAL	03-25-02
BID	.
C.D.'s	03-25-02
REVISION	.
PRINT	5-10-02

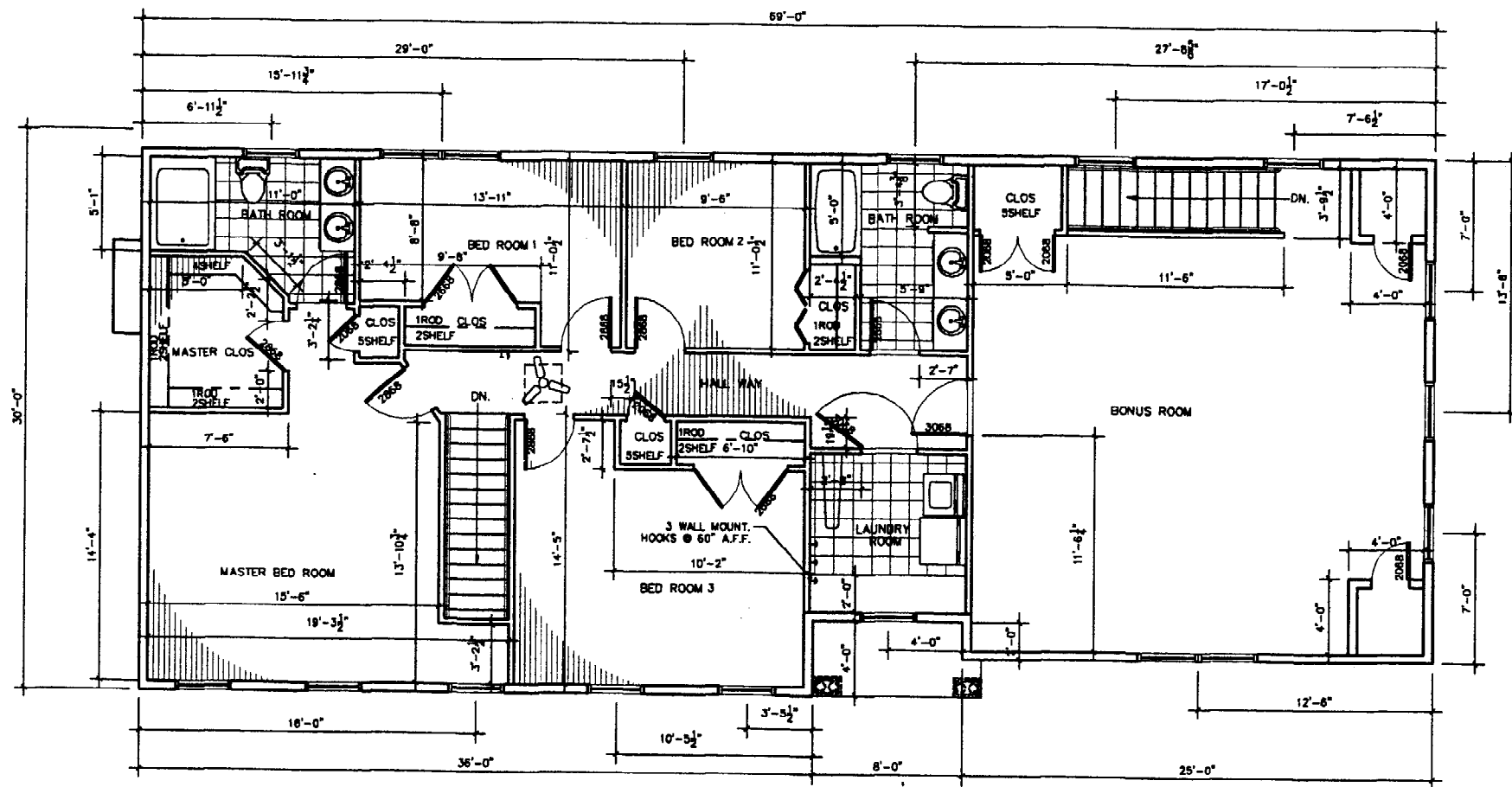
FLOOR PLAN

A1.1

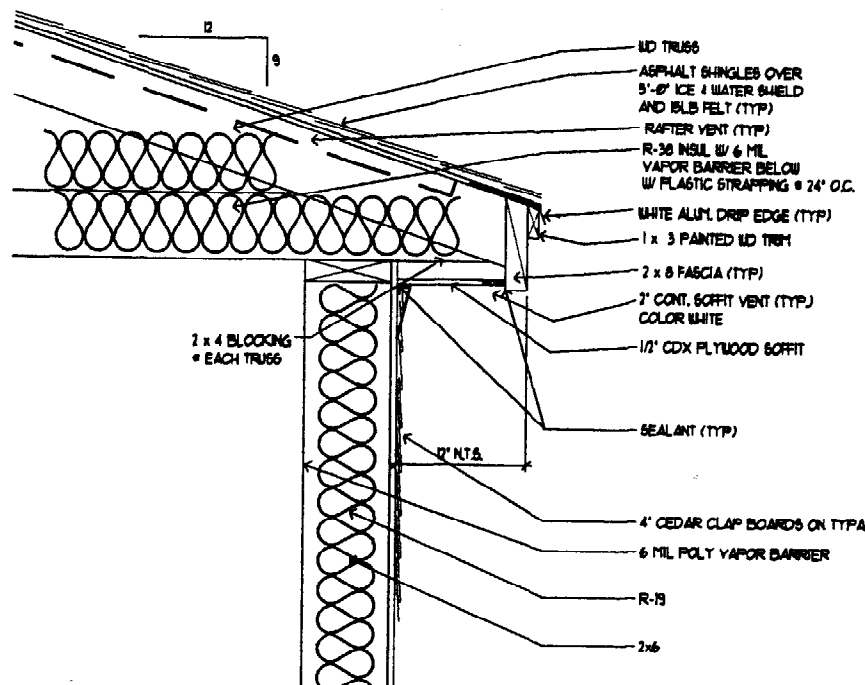




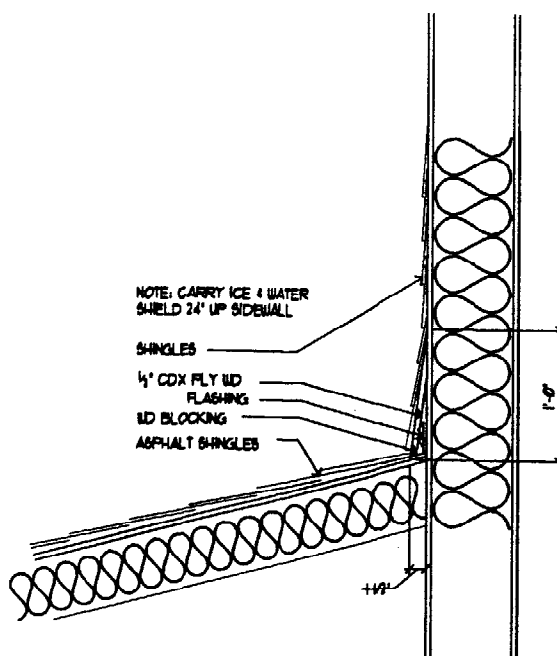
2 VENT DETAIL
 A1.2 0 8" SCALE: 1-1/2" = 1'-0"



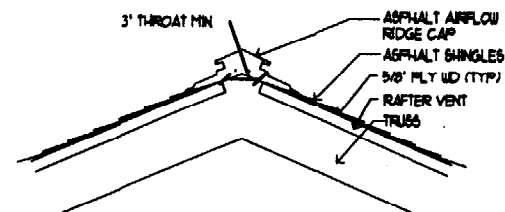
1 SECOND FLOOR PLAN
 A1.2 0 4" SCALE: 1/4" = 1'-0"



3 EAVE DETAIL
 A1.2 0 8" SCALE: 1-1/2" = 1'-0"



4 SHINGLE DETAIL
 A1.2 0 8" SCALE: 1-1/2" = 1'-0"



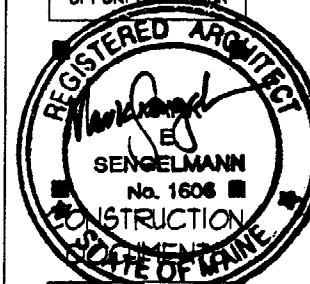
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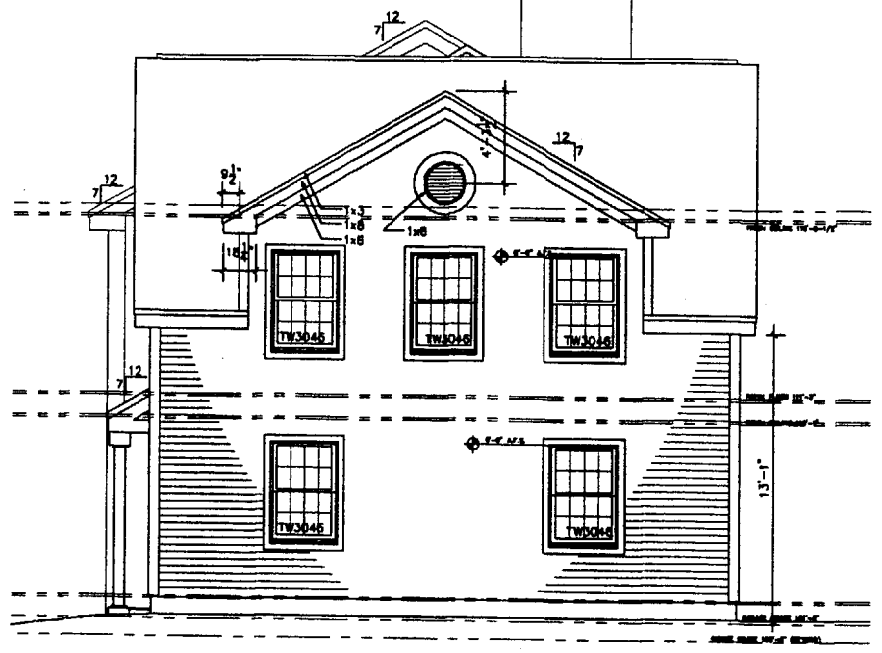
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REVISION	-
PRINT	5-10-02

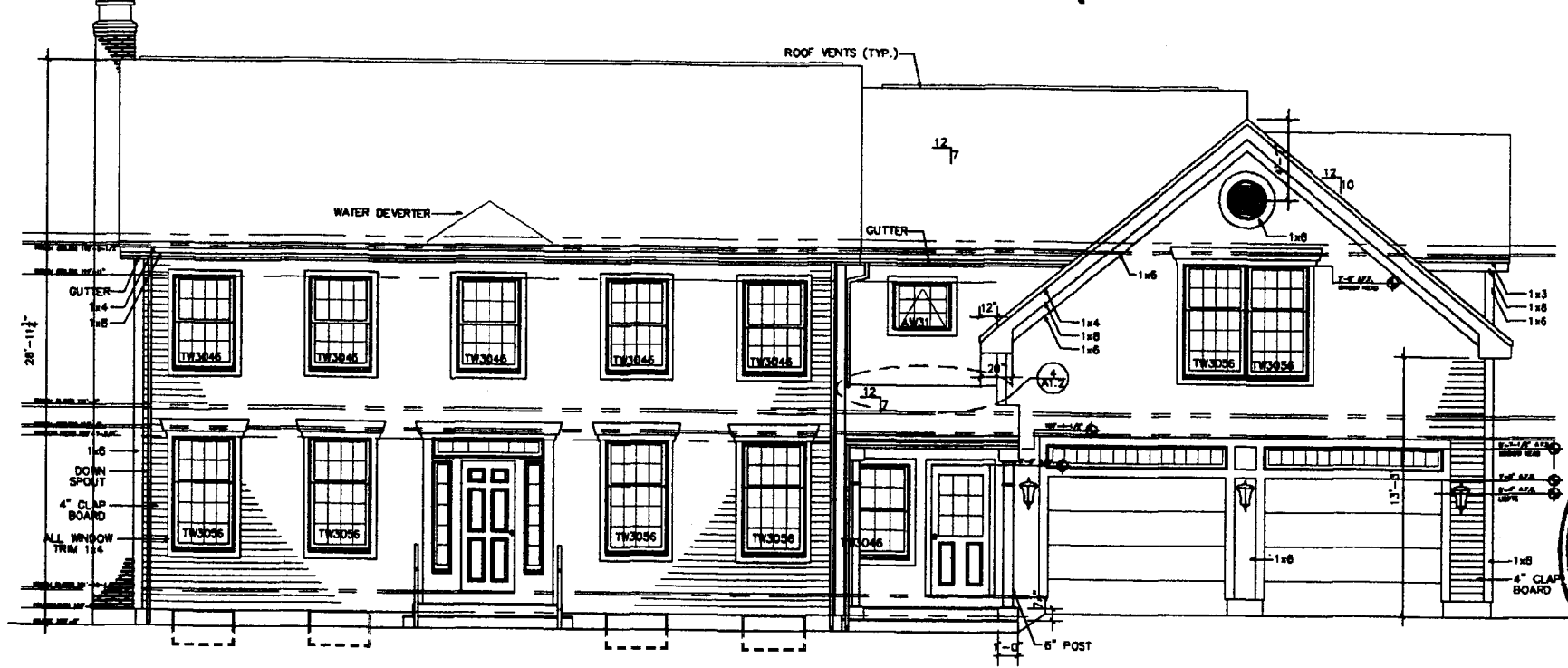
FLOOR PLAN

A1.2

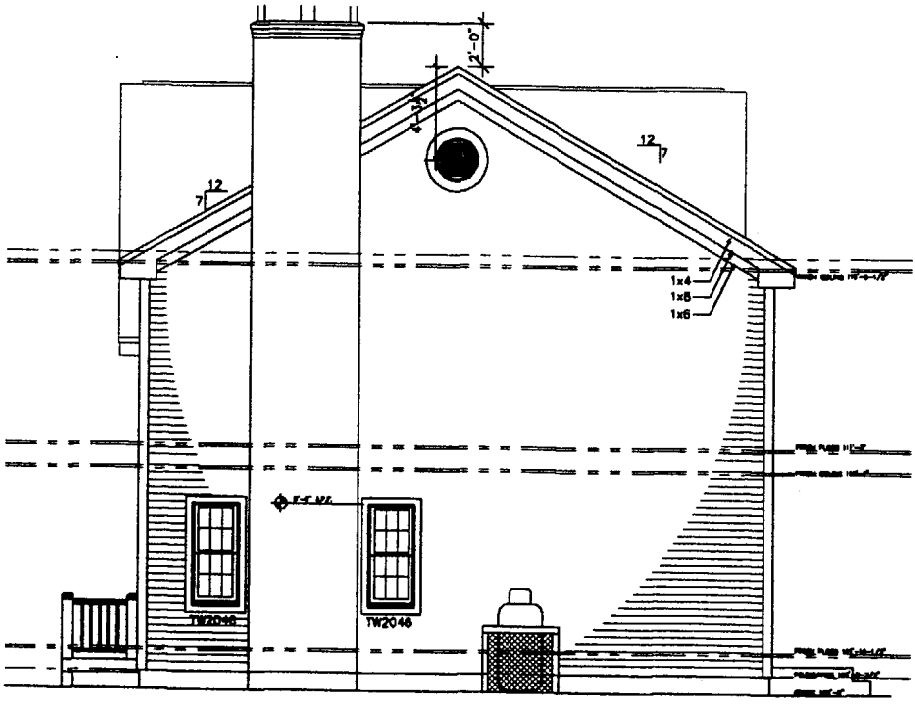




1 GARAGE SIDE ELEVATION
A2.1 0 4' SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION
A2.1 0 4' SCALE: 1/4" = 1'-0"



3 SIDE ELEVATION
A2.1 0 4' SCALE: 1/4" = 1'-0"



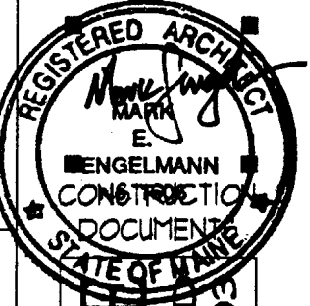
4 REAR ELEVATION
A2.1 0 4' SCALE: 1/4" = 1'-0"

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DESIGN

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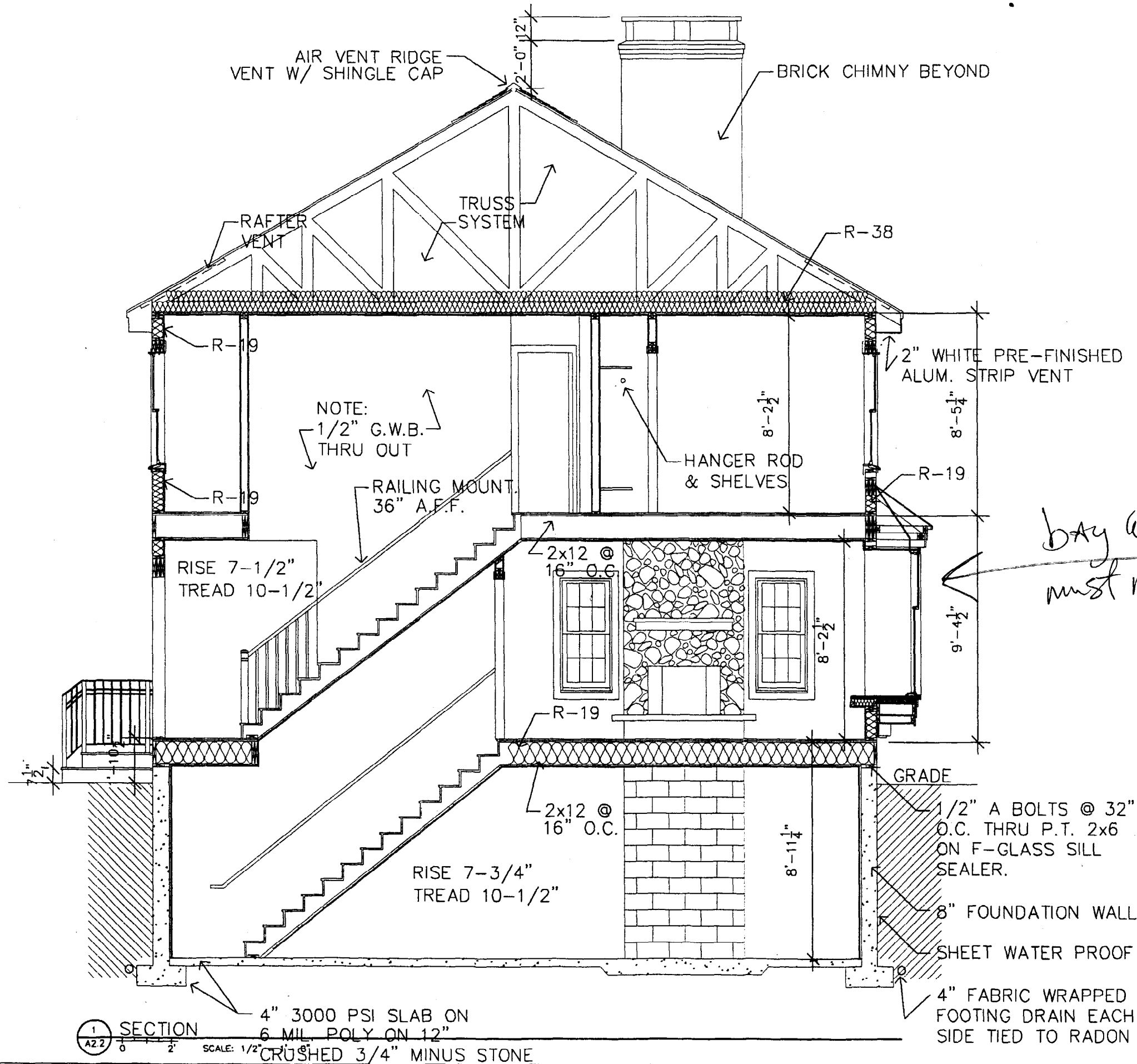
GALLI RESIDENCE
ROARING BROOK ROAD
PORTLAND, MAINE 04103

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ELEVATIONS

A2.1



AIR VENT RIDGE VENT W/ SHINGLE CAP

BRICK CHIMNEY BEYOND

TRUSS SYSTEM

RAFTER VENT

R-38

R-19

2" WHITE PRE-FINISHED ALUM. STRIP VENT

NOTE: 1/2" G.W.B. THRU OUT

HANGER ROD & SHELVES

RISE 7-1/2" TREAD 10-1/2"

RAILING MOUNT. 36" A.F.F.

R-19

2x12 @ 16" O.C.

bay window must meet setback

R-19

9'-4 1/2"

GRADE

2x12 @ 16" O.C.

1/2" A BOLTS @ 32" O.C. THRU P.T. 2x6 ON F-GLASS SILL SEALER.

RISE 7-3/4" TREAD 10-1/2"

8" FOUNDATION WALL

SHEET WATER PROOF

SECTION A2.2 SCALE: 1/2" = 1'-0" 4" 3000 PSI SLAB ON 6 MIL. POLY ON 12" CRUSHED 3/4" MINUS STONE

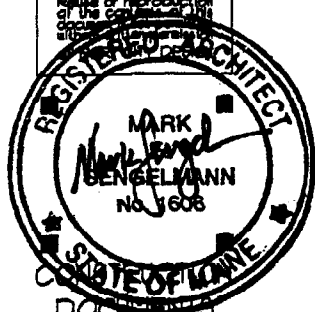
4" FABRIC WRAPPED FOOTING DRAIN EACH SIDE TIED TO RADON

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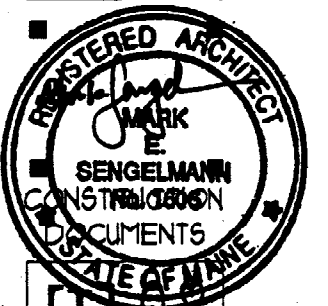
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SECTION
A2.2

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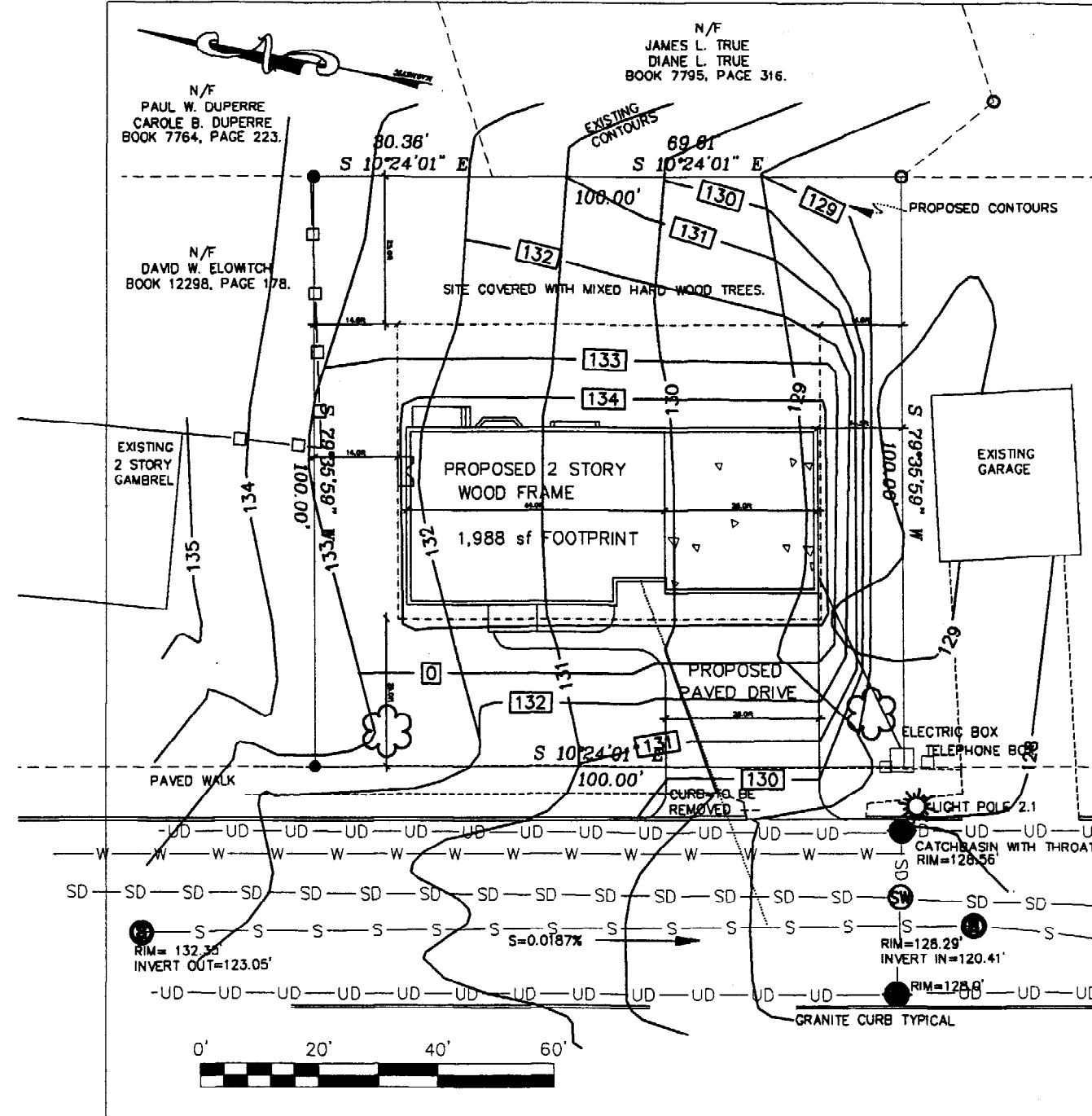


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SITE PLAN
A3.1



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: GILBERT P. GALLI AND JO-ANN T. GALLI AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 9924, PAGE 19.
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 10000 SQUARE FEET.
4. A MINIMUM OF 2 TREES SHALL REMAIN IN THE PROPOSED FRONT YARD.
5. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. RECORDING PLAT-PHASE I, PINELOCH WOODS, PORTLAND, MAINE DATED MARCH 5, 1986 RECORDED IN THE AFOREMENTIONED REGISTRY IN PLAN BOOK 155, PAGE 31.
 - b. "PINELOCH WOODS, ROARING BROOK ROAD STA. (-)0+20 TO STA. 10+50 "DATED 01-31-79 LAST REVISION 09-03-86. RETRIEVED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPT.
 - c. CITY OF PORTLAND ASSESSOR MAP 397, LOT SHOWN AS BLOCK A, LOT 62.
6. ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM, ELEVATION 135.25' ON A BRASS BOLT IN THE MONUMENT AT THE NORTHWEST CORNER OF PINELOCH AND ROARING BROOK.
7. ZONING: RESIDENTIAL-2 R-2
 FRONT YARD 25 FEET
 REAR YARD 25 FEET
 SIDE YARD 14 FEET 2 STORY RESIDENCE
 MINIMUM AREA 10000 SQUARE FEET
8. Siltfence to be installed prior to excavation, see City of Portland requirements.
9. Before commencing any excavation on this site the responsible contractor shall contact "DIG SAFE" at 1-800-dig safe to have the underground utilities verified.

LEGEND

- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u Underground Utility
- Manhole
- Edge of traveled way
- Capped 5/8" Rebar To Be Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- ▲ Survey Instrument Point
- - - Abutter Line
- Property Line
- - - Street Line

ELEVATIONS:

FIRST FLOOR ELEVATION = 135.87' (135' 10 1/2")
 TOP OF FOUNDATION = 134.81' (134' 9 1/2")
 GARAGE SLAB ELEVATION = 135.87' (135' 10 1/2")
 FOUNDATION FLOOR = 126.81' (126' 9 1/2")
 PROPOSED GRADE OF DRIVE = 6.6%

UTILITIES:

UD = 6" TYPE "B" UNDERDRAIN
 W = 8" DUCTILE IRON WATERMAIN
 SD = 21" STORMDRAIN
 S = 8" SANITARY SEWER PVC SDR 35

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

DATE: APRIL 22, 2002

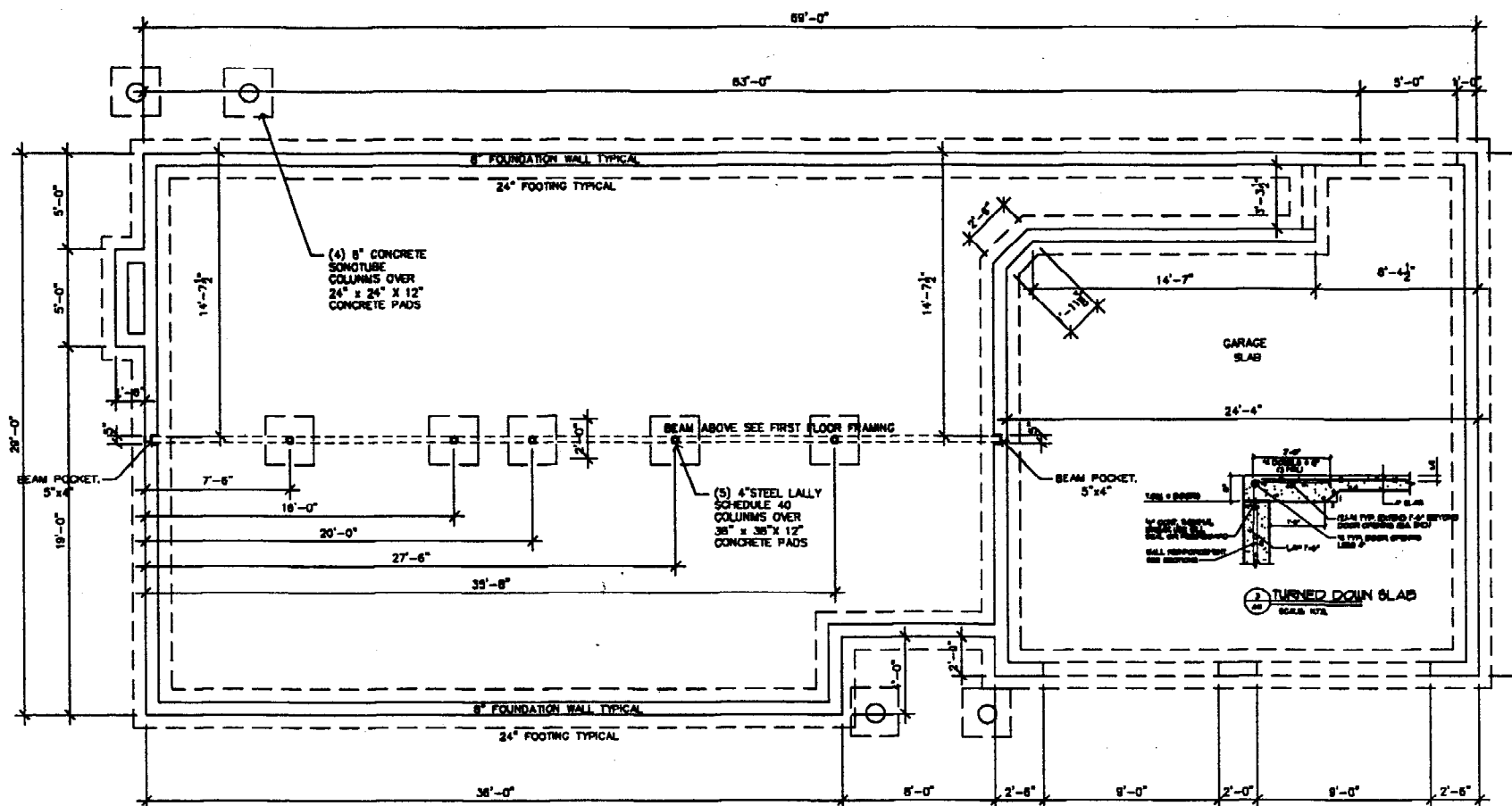
ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

1 SITE PLAN
 A3.1 SCALE: 1" = 40'-0"

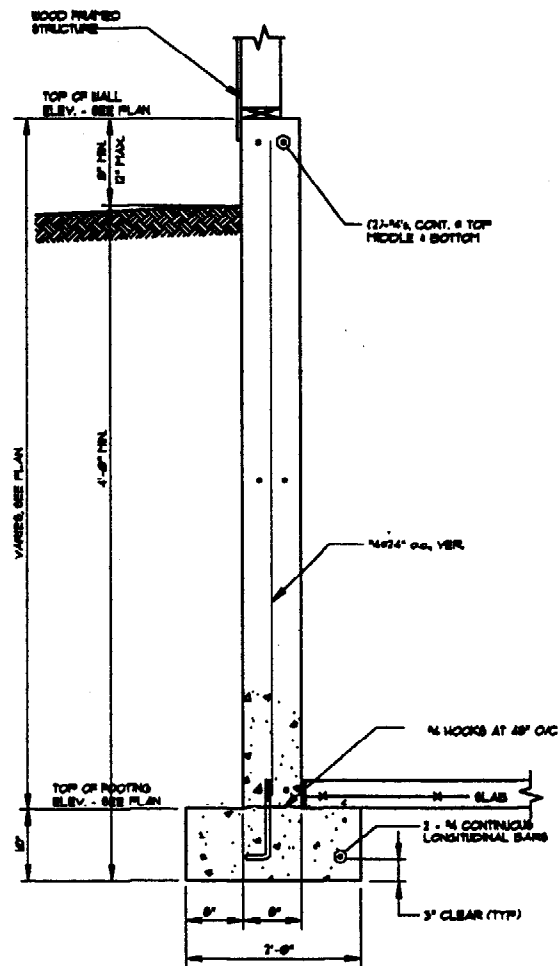


FOUNDATION NOTES

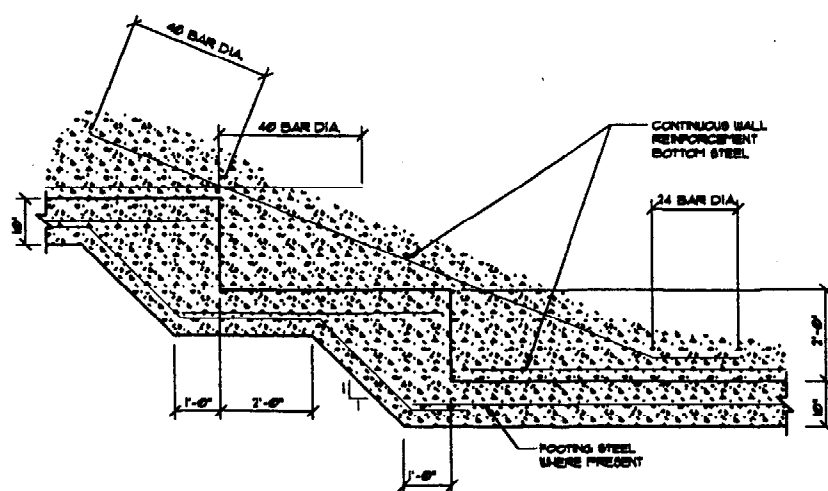
1. ASSUMED ALLOWABLE SOIL BEARING PRESSURE = 2000'PSF. EXISTING FOUNDATIONS TO BE REMOVED TO EXPOSE UNDISTURBED NATIVE SUBGRADE. BACKFILL WITH COMPACTED GRAVEL. AS REQUIRED TO UNDERSIDE OF PROPOSED FOOTINGS AND SLAB.
2. CONCRETE F_c = 3000 PSI FOR FOOTINGS AND WALLS, AND 4000 PSI AT ALL SLABS. MAXIMUM AGGREGATE SIZE 1/2".
3. REINFORCING TO BE GRADE 60, NEW DEFORMED BARS.
4. STRUCTURAL BACKFILL SHALL BE A FREE DRAINING GRANULAR MATERIAL, FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS PARTICLES, CONFORMING TO MDOT 103.30 (GRAVEL BORROW). MAXIMUM AGGREGATE SIZE SHALL NOT EXCEED 3" IN DIAMETER.
5. "T.O.M." INDICATES TOP OF CONCRETE WALL ELEVATION. SEE FOUNDATION PLAN.
6. PROVIDE 2" CRUSHED GRAVEL OVER MINIMUM 6" COMPACTED STRUCTURAL FILL BELOW ALL SLABS-ON-GRADE.
7. "C.J." INDICATES CONTROL JOINT IN SLAB. SAW CUT, CONSTRUCTION OR PLASTIC T-STRIP.
8. ALL SLAB SAW-CUT JOINTS TO BE 1/4 OF SLAB THICKNESS.



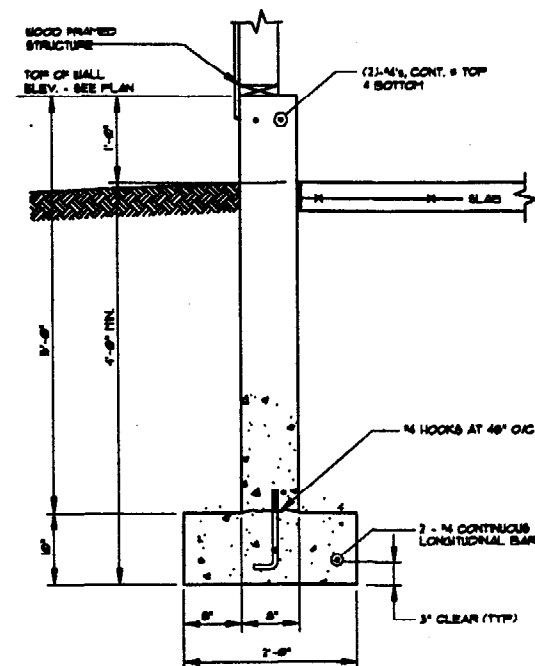
1 FOUNDATION PLAN
A4.1 SCALE: 1/4" = 1'-0"



1 SECTION
BU SCALE: F-1'-0"



TYPICAL FOOTING STEP
BU SCALE: NTS

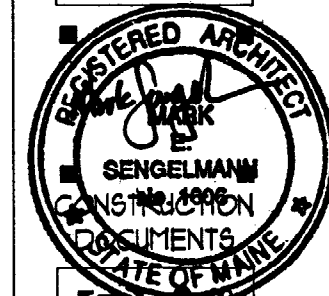


2 SECTION
BU SCALE: F-1'-0"

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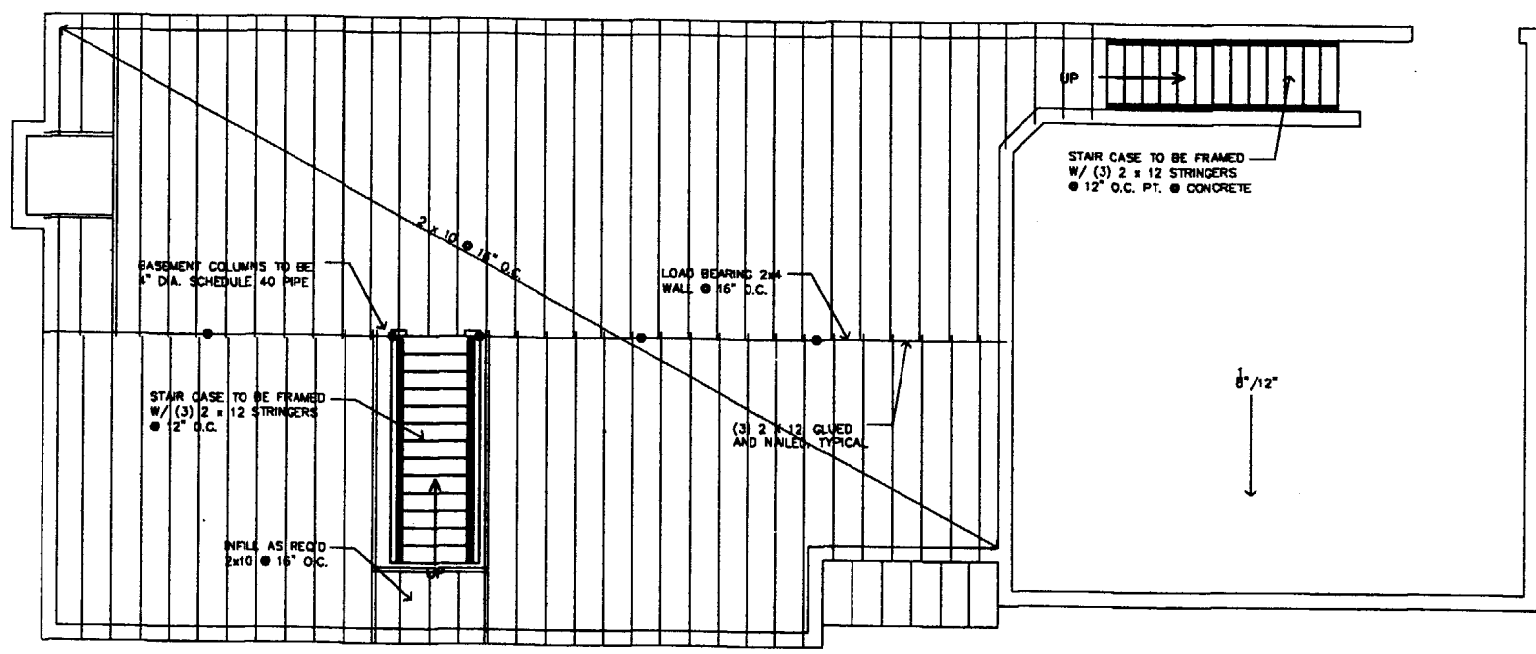
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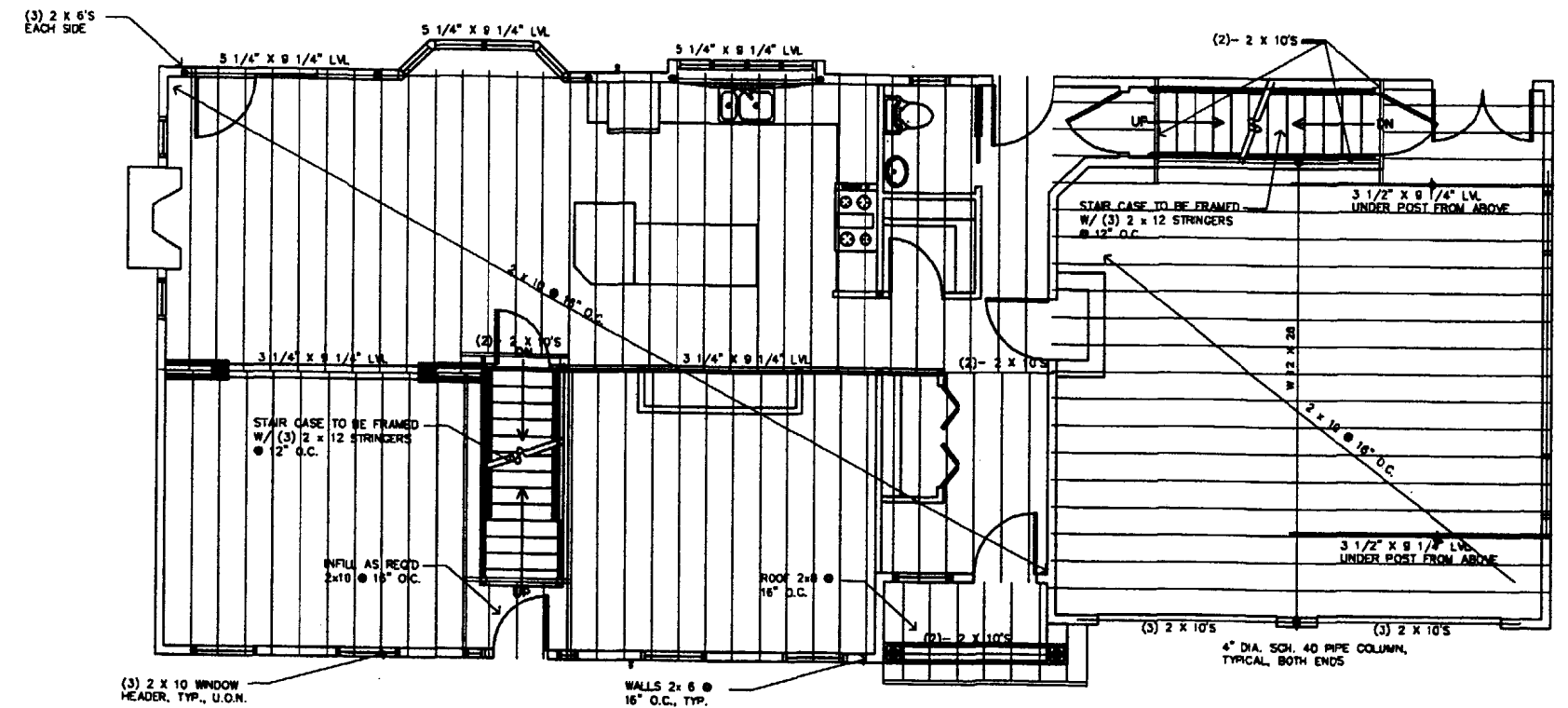
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FOUNDATION PLAN
A4.1

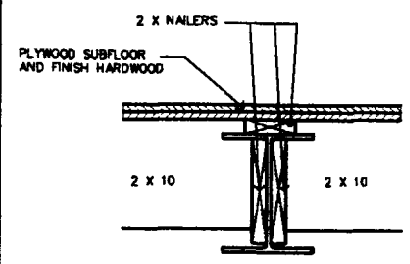




1 FIRST FLOOR FRAMING PLAN
A5.1 0 4' SCALE: 1/4" = 1'-0"



2 SECOND FLOOR FRAMING PLAN
A5.1 0 4' SCALE: 1/4" = 1'-0"



3 FLOOR FRAMING DETAIL
A5.1 NO SCALE

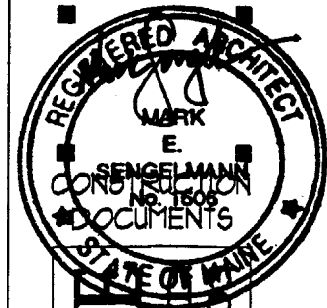


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FRAMING PLAN

A5.1

