

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0654	Issue Date: 11 - 17	CBL: 397 C018001
-----------------------	------------------------	---------------------

Location of Construction: 117 Deepwood Dr	Owner Name: Monfiletto Sandra L & <i>Tommy</i>	Owner Address: 117 Deepwood Dr	Phone: 207-878-9292
Business Name: n/a	Contractor Name: Lavalle, Jamie <i>443-5566</i>	Contractor Address: 62 Shellenbarger Road Topsham	Phone: 2077254405
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: <i>R-2</i>

Past Use: Single Family	Proposed Use: Single Family / Screen in existing 14' x 12' Deck and add 12' x 10' sundeck.	Permit Fee: \$44.00	Cost of Work: \$2,500.00	CEO District: 2
Proposed Project Description: Build 12' x 10' Sundeck and screen in to wexisting 14' x 12' deck.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOLCA 1999</i>	
		Signature: <i>N/A</i>	Signature: <i>JM</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: <i>N/A</i> Date: <i>N/A</i>

Permit Taken By: gg	Date Applied For: 06/14/2002	<b>Zoning Approval</b>
------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/3/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>7/3/02</i>
---	--	---	--

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 020654

This is to certify that Monfiletto Sandra L & /Lava Jamie  
has permission to Build 12' x 10' Sundeck and screen in to existing 12' deck  
AT 117 Deepwood Dr 397 C018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name



Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

020654

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

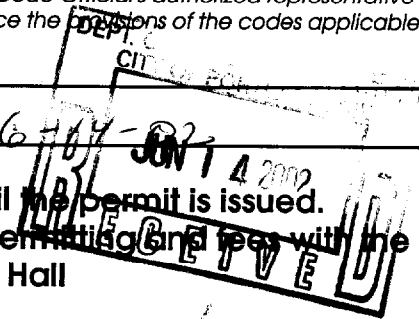
Location/Address of Construction: <u>121 Deepwood Dr.</u>		
Total Square Footage of Proposed Structure <u>268 sq'</u>	Square Footage of Lot <u>10,350</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>395-397 B C</u> Block# <u>6008</u> Lot# <u>018</u>	Owner: <u>ANTHONY MONFILETTO</u>	Telephone: <u>878-9292</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>121 DEERWOOD DR PORTLAND 878-9292</u>	Cost Of Work: <u>\$ 2560.00</u> Fee: <u>\$ 44.00</u>
Current use: <u>EXISTING SUNDECK + YARD</u> <u>SIF</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>RECREATION</u> <u>Some</u>		
Project description: <u>SCREEN PORCH ON EXISTING DECK + ADDING A 12X10 PG SUNDECK ATTACHED.</u>		
Contractor's name, address & telephone: <u>Jamie Lavallee 62 Shellenbarger Rd ROSHAM MMS (725-4405) 04086</u>		
Who should we contact when the permit is ready: <u>Anthony Monfiletto</u>		
Mailing address: <u>cell</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-9292</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Anthony Monfiletto</u>	Date: <u>6-14-02</u>
---	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 2787 PAGE 334 COUNTY Cumberland  
PLAN BOOK 181 PAGE 29 LOT 21

ADDRESS: 121 Deepwood Drive, Portland, Maine

Job Number: 337-30

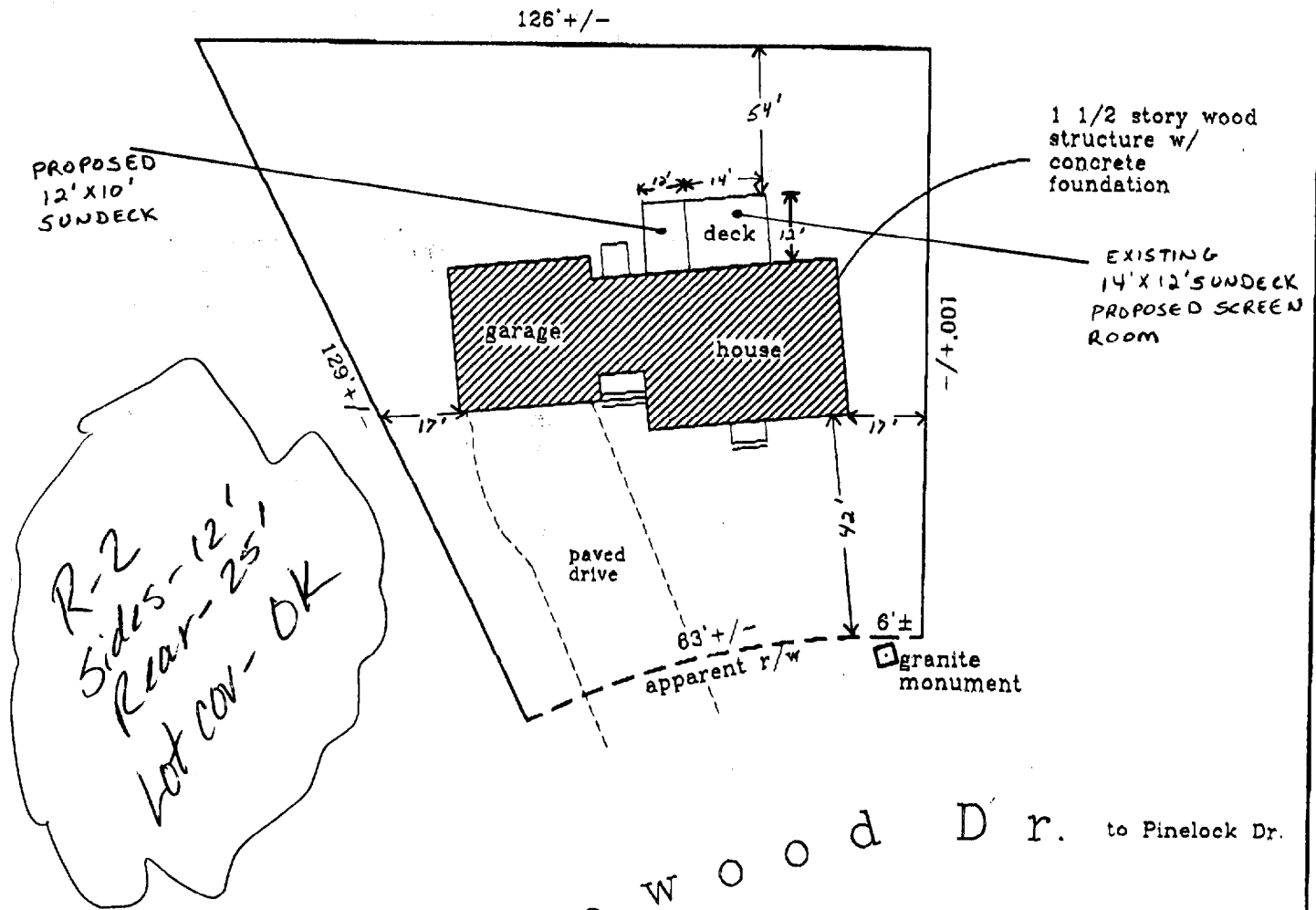
Buyers: Sandra & Anthony Monfiletto

Inspection Date: 8-23-01

Scale: 1" = 30'

Sellers: Richard Micucci

Client File#: 21-1498 zc



R-2  
Sides - 12'  
Rear - 25'  
Lot cov - OK

granite monument   
*[Signature]*

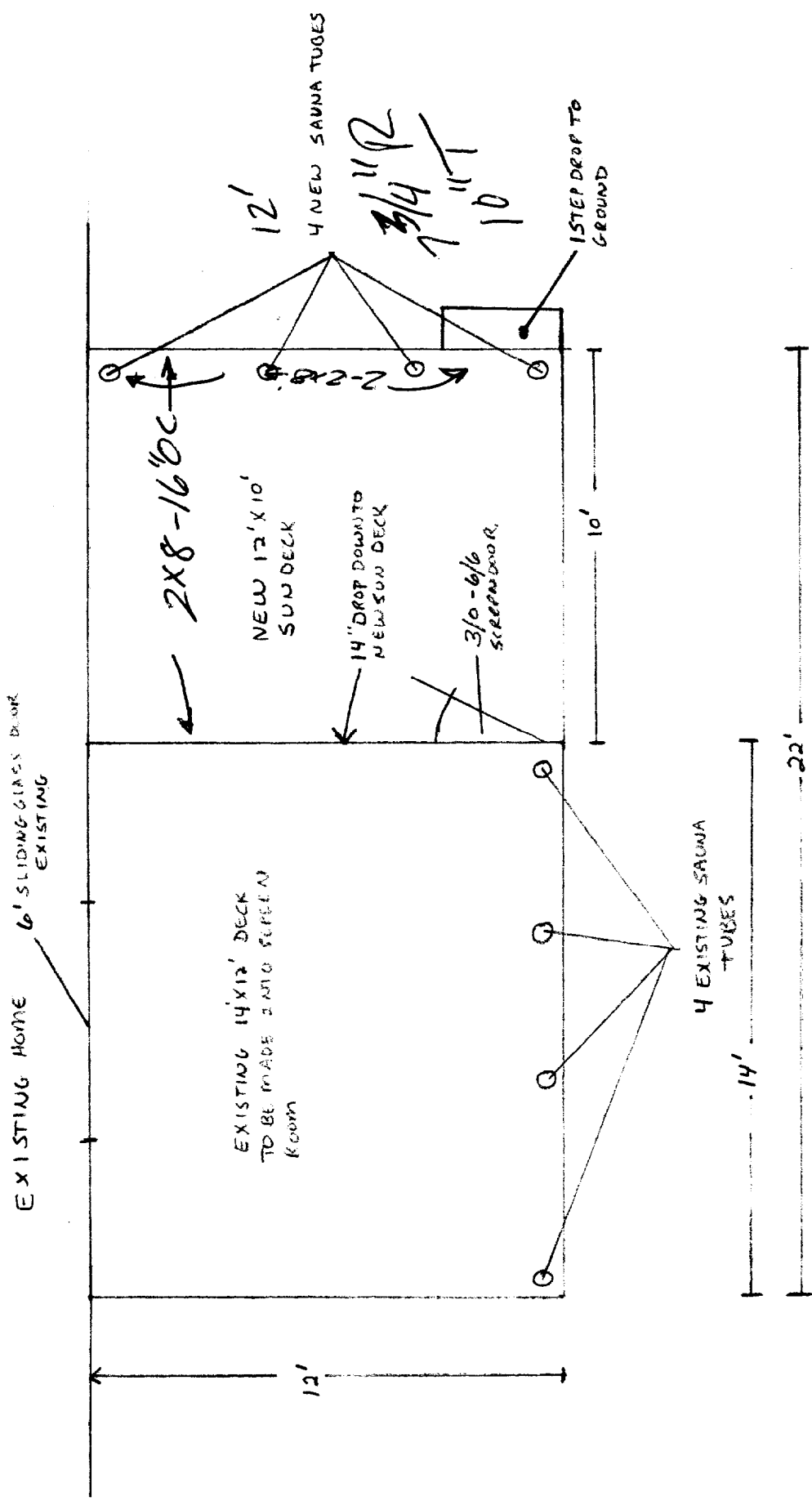
I HEREBY CERTIFY TO: Guaranty Title Co.; Wells Fargo  
and its title insurer.

Monuments found did not conflict with the deed description.  
The dwelling setbacks do not violate town zoning requirements.  
As delineated on the Federal Emergency Management Agency Community Panel: 230051-0002 C  
The structure does not fall within the special flood hazard zone.  
The land does not fall within the special flood hazard zone.

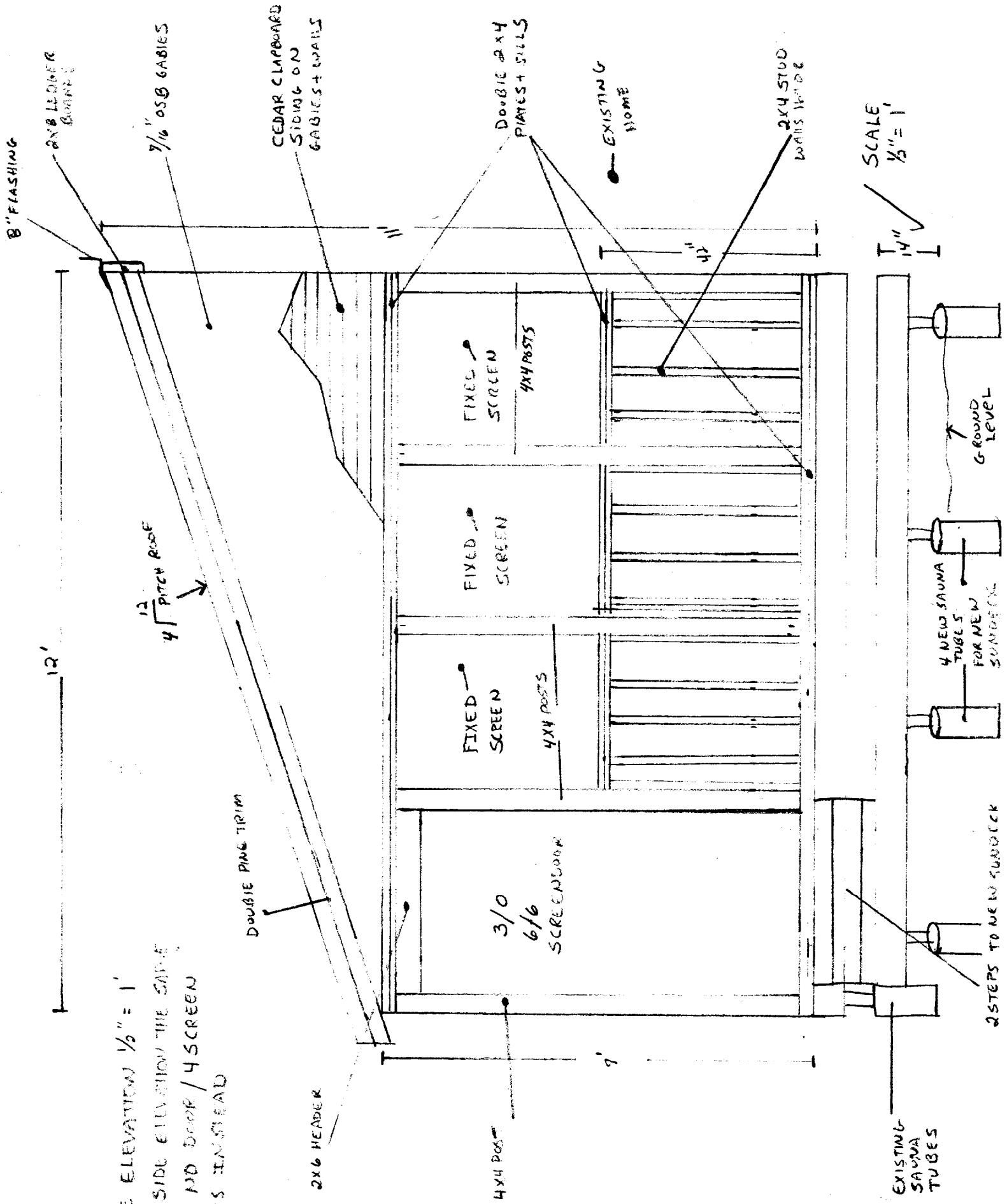
APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Livingston - Hughes  
Professional Land Surveyors  
88 Guinea Road  
Kennebunkport - Maine 04048  
207-987-8781 phone/fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY



PLAN VIEW  
1/4" = 1'



8" FLASHING

12'

12/4 PITCH ROOF

NOTE: SIDE ELEVATION 1/8" = 1'

OTHER SIDE ELEVATION THE SAME EXCEPT NO DOOR / 4 SCREEN WINDOWS INSTEAD

DOUBLE PINE TRIM

CEDAR CLAPBOARD SIDING ON GABLES + WALLS

2x6 HEADER

4x4 POST

3/0 6/6 SCREEN DOOR

FIXED SCREEN

4x4 POSTS

FIXED SCREEN

4x4 POSTS

FIXED SCREEN

4x4 POSTS

DOUBLE 2x4 PLATES + SILLS

EXISTING HOME

2x4 STUD WALLS 14" OC

SCALE 1/8" = 1'

14"

4 NEW SAUNA TUBES FOR NEW SUNDECK

GROUND LEVEL

2 STEPS TO NEW SUNDECK

EXISTING SAUNA TUBES

EXISTING HOME

2x8 LEDGER BOARD ATTACHING ROOF TO EXISTING HOME

8" ALUMINUM FLASHING INSTALLED UNDER EXISTING CEDAR CLAPBOARDS AND BELOW NEW SHINGLES

EXISTING HOME

2x8 RAFTERS 16" O.C.

12/4 PITCH ROOF

2x6 Headers

8" GALV DRIPEGE ON 2 SIDES AND LOWER EAVE

4x8x1/2" CDX PLYWOOD SHEATHING

25 YEAR ASPHALT SHINGLES

DOUBLE PINE TRIM ON BOTH GABLE ENDS AND ON FRONT OF BUILDING

DOUBLE 2x4 TOP PLATE

DOUBLE 2x4 BOTTOM PLATE + SILLS

FIXED SCREEN

FIXED SCREEN

FIXED SCREEN

FIXED SCREEN

4x4 VERTICAL POSTS

EXISTING HOME

2x4 16" O.C. STUDS ON ALL WALLS

NEW 12x12 DECK

EXISTING 12x14 DECK

FRONT ELEVATION

SCALE 1/2" = 1'

7/16" OSB/CE BAR CLIPBOARDS OVER

EXISTING 8" SAUNATUBES CONNECTED TO EXISTING HOME

2x12 LEDGER BOARD TO NEW DECK

