

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT ISSUED**

Please Read Application And Notes, If Any, Attached

Permit Number: 100464

JUN 11 2010

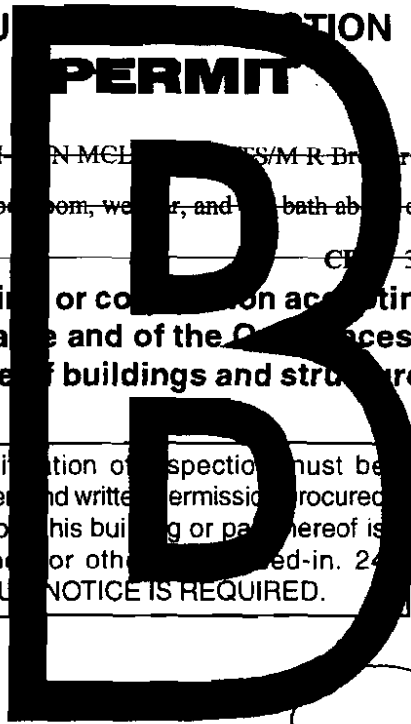
This is to certify that MORAN DAVID P & LAURIE N MCLAREN ES/M R Br

has permission to addition of bonus room, guest bedroom, washer, and bath abt existing garage

City of Portland

AT 81 DEEPWOOD DR CT 397 C013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is started-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Handwritten Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0464	Issue Date:	CBL: 397 C013001
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Location of Construction: 81 DEEPWOOD DR	Owner Name: MORAN DAVID P & LAURI-ANN	Owner Address: 81 DEEPWOOD DR	Phone:
Business Name:	Contractor Name: M R Brewer Fine Woodworking	Contractor Address: 91 Bell St Portland	Phone: 2077977534
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home - additon of bonus room, guest bedroom, wet bar, and full bath above existing garage - build second story over breezeway & garage	Permit Fee: \$1,120.00	Cost of Work: \$110,000.00	CEO District: 5
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB
<i>N/A</i>	<i>IRC 2003</i>

Proposed Project Description: additon of bonus room, guest bedroom, wet bar, and full bath above existing garage - second story over breezeway & garage	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 05/04/2010	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/17/10 <i>AKA</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASM</i>
	<p style="font-size: 2em; font-weight: bold;">PERMIT ISSUED</p> <p style="font-size: 1.5em;">JUN 11 2010</p> <p>City of Portland</p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

5.4 20 10

Received from

Brewer

Location of Work

St Deepwoods

Cost of Construction

\$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee

\$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 1,112

Building (I1) \_\_\_\_\_  Plumbing (I5) \_\_\_\_\_  Electrical (I2) \_\_\_\_\_  Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 397-C-13

Check #: CC

Total Collected \$ 1,112

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0464	<b>Date Applied For:</b> 05/04/2010	<b>CBL:</b> 397 C013001
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<b>Location of Construction:</b> 81 DEEPWOOD DR	<b>Owner Name:</b> MORAN DAVID P & LAURI-AN	<b>Owner Address:</b> 81 DEEPWOOD DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> M R Brewer Fine Woodworking	<b>Contractor Address:</b> 91 Bell St Portland	<b>Phone</b> (207) 797-7534
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - add second floor over garage w/ bonus room, guest bedroom, wet bar, and full bath above existing garage	<b>Proposed Project Description:</b> add second floor over breezeway & garage w/ bonus room, guest bedroom, wet bar, and full bath above existing garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 05/07/2010

**Note:** **Ok to Issue:** ✓

- 1) This permit is being issued to add a second floor over the existing breezeway and garage only. It does not allow a second story deck to be built off of the garage.
- 2) This permit is being issued with the condition that the deck around the pool be reduced to the size stated on permit #03-1049 which was twenty feet by ten feet. (This permit was to install the pool)
- 3) As discussed during the review process, the property must be clearly identified prior to starting construction and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed second floor addition, the side property lines may be required to be located by a surveyor.
- 4) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals. The maximum size the sink in the "wet bar" can be is 17" x 19".
- 5) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 6) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 06/11/2010

**Note:** **Ok to Issue:** ✓

- 1) 5/8" type x drywall must be installed on the ceiling of the garage not 1/2".
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) A CO detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**Comments:**

5/7/2010-amachado: Spoke to Matt Brewer at MR Brewer Woodworking. The deck around the pool was added onto without a permit and does not meet lot coverage or rear setback. Needs to be reduced to original size. Matt said that he had told the owner that the deck would have to be brought into conformity and that his crew would do it while they were doing the construction of the second floor. I also told Matt that the second story deck could not be built because it would exceed lot coverage.

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

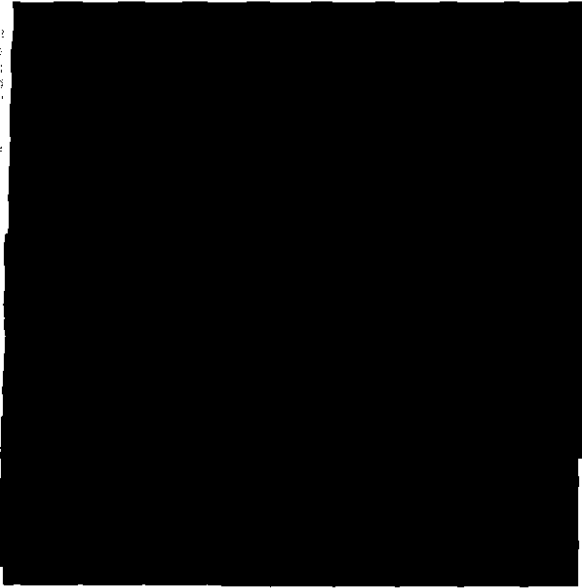
  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



① Guard detail shown -  
1/2" w/ 1/4" spacing

See 2/2 - Header  
② detail.


See 1/2 - shows  
③ tempered glass in  
dangerous locations

④ detail shows 1/2" ←  
+ need 9/8" - condition

⑤ Stair detail shows 6" on the  
interior of the tread.

⑥ The deck is not allowed.

⑦ 2x10's - 24" OC - OK



Applicant: David Moran

Date: 5/7/10

Address: 81 Deepwoods Dr.

C-B-L: 397-C-13

Permit # 10-0464

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built - 1988

Zone Location - R-2

Interior or corner lot -

- Can't do.

Proposed Use/Work - add second story over breezeway; garage - add second story deck (14'3" x 8'1 1/2")

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25' min. - (OK)

Rear Yard - 25' min. - 25' + 33' to rear of garage; second story deck - street

Side Yard - two stories - 14' min. - 14' scaled on left; 15' scaled on right. (OK)

Projections -

Width of Lot -

Height - 35' max - 22.5' scaled (OK)

Lot Area - 19,000 sq ft - 10013 sq ft (accessories)

Lot Coverage Impervious Surface - 20% = 2002.6 sq ft existing 2010.4 (using deck 19'5" x 9'7")

\* can't add 2nd story deck

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>81 Deepwoods Drive</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>397      C      13</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>M.R. Brewer</u> Address <u>91 Bell Street</u> City, State & Zip <u>Portland, ME 04105</u>	Telephone: <u>207-797-7534</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Davida Lauri Ann Merwin</u> Address <u>81 Deepwoods Drive</u> City, State & Zip <u>Portland, ME 04105</u>	Cost Of Work: <u>\$110,000.-</u> C of O Fee: \$ Total Fee: <u>\$1,120</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Use</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Addition of a hot tub room, guest bedroom, hot tub and full bath above the existing garage.</u> <u>add second story to garage &amp; breezeway</u>		
Contractor's name: <u>M.R. Brewer Civil &amp; Mechanical Inc.</u> Address: <u>91 Bell Street</u> City, State & Zip <u>Portland ME 04105</u> Telephone: <u>797-7534</u> Who should we contact when the permit is ready: <u>Matthew Brewer</u> Telephone: <u>797-7534</u> Mailing address: <u>Same as above</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

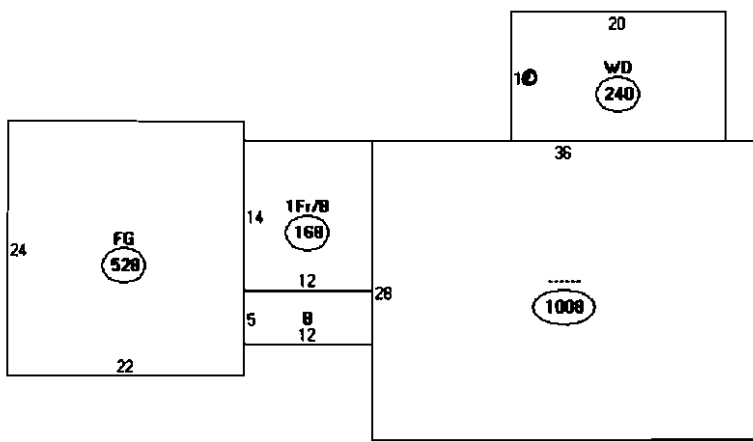
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**RECEIVED**  
MAY - 3 2010  
Dept. of Building Inspections  
City of Portland, Maine

Signature: <u>[Signature]</u>	Date: <u>5/4/10</u>
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This is not a permit; you may not commence ANY work until the permit is issued.





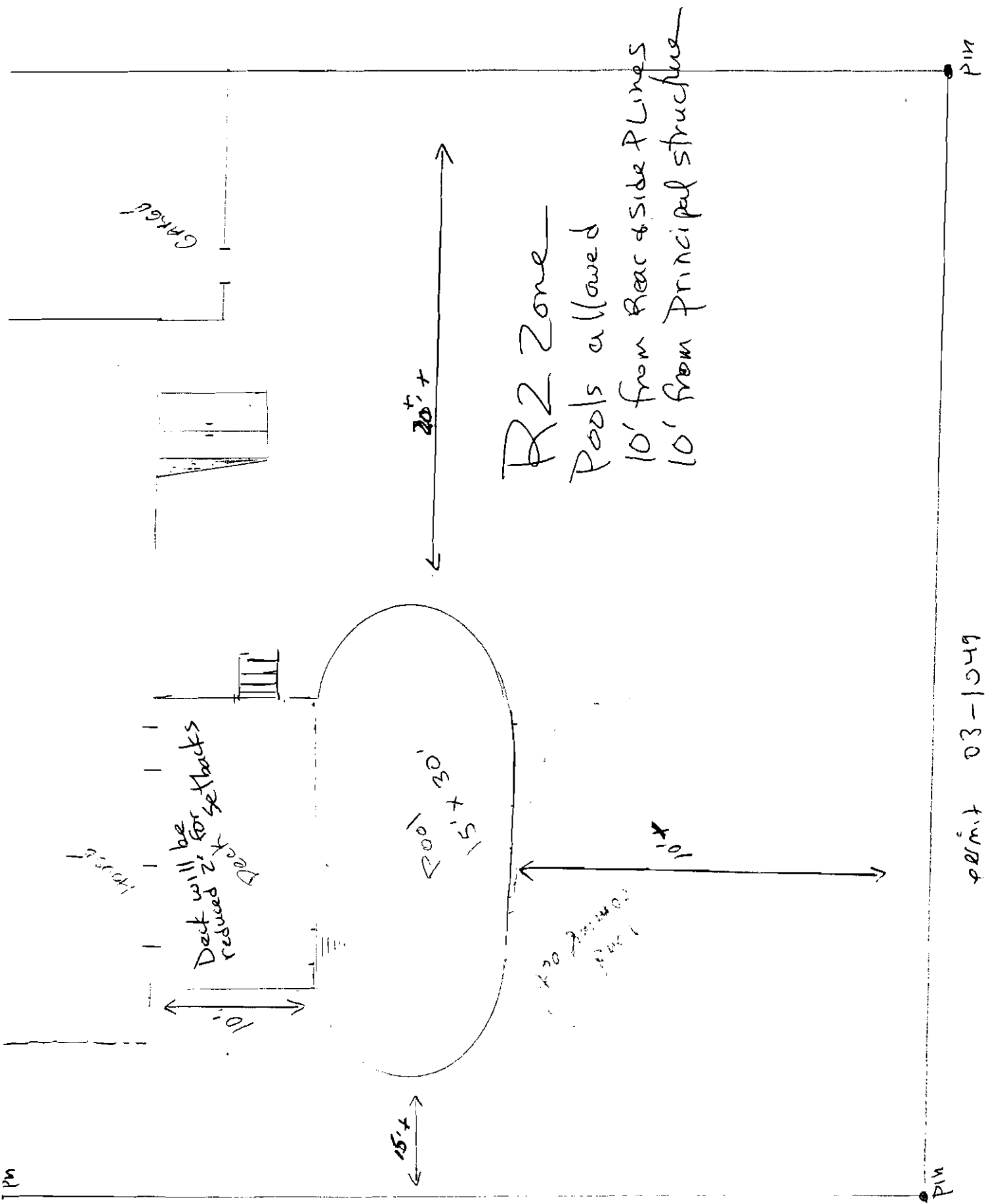
Descriptor/Area  
 A: ---  
 1008 sqft  
 B: OFP  
 60 sqft  
 C: 1Fr/B  
 168 sqft  
 1764  
 D: FG  
 528 sqft  
 E: WD  
 240 sqft  
~~1008~~  
 1964  
 $19.42 \times 9.58 = 186.4$   
 Steps  $5 \times 7.5 = 37.5$   
 bulkhead  $4.5 \times 5 = 22.5$   
~~2000~~  
 2010.44

deck  $14.25 \times 8.125 = 115.78$

total = ~~2139.78~~ 2126.18  
~~2000~~

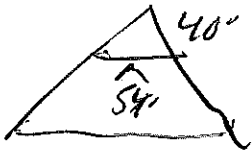
over ~~97.18~~

\* over  $1.39.18$  123.58



R2 Zone  
 Pools allowed  
 10' from Rear & side P Lines  
 10' from Principal structure

Permit 03-1049



No pendants

check stairs at final

check sink

check panel and door

check for smoke + carbon

NO Refrigerator allowed

10-12-10

new structural ridge

installed to LTR's

Plan. need to remove

sink Refrigerator

ok on 'Bathroom Vent

No Pendants

OK to close at

MR

81 Deepwood Dr

397 C13



M. R. BREWER  
FINE WOODWORKING, INC.  
91 BELL ST.  
PORTLAND, ME 04103

FACSIMILE TRANSMITTAL SHEET

TO:	Nick Adams	FROM:	Matthew Brewer
COMPANY:	City of Portland	DATE:	10/7/10
FAX NUMBER:	207-874-8716	TOTAL NO. OF PAGES INCLUDING COVER:	4
PHONE NUMBER:		SENDER'S REFERENCE NUMBER:	
RE:	81 Deepwoods Drive	YOUR REFERENCE NUMBER:	

URGENT  FOR REVIEW  PLEASE COMMENT  PLEASE REPLY  PLEASE RECYCLE

NOTES/COMMENTS:

Nick please find attached the structural drawings as requested for the new Structural Ridge for the project at 81 Deepwoods Drive in Portland. Please call with any questions.

Regard's,

Matthew Brewer  
Project Manager

PHONE - 207-797-7534 FAX - 207-797-0973

**GENERAL NOTES:**

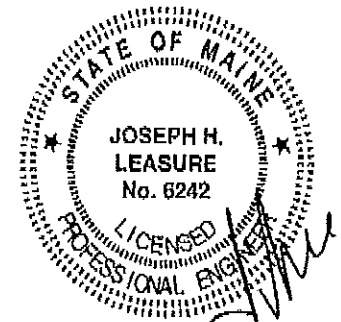
1. The notes on the drawings are not intended to replace specifications. In addition to general notes. See specifications for requirements
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, reglets, cleaves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**TIMBER FRAMING:**

1. All Timber framing shall be in accordance with the ATC timber construction manual or the national design specification (NDS) - latest edition
2. Individual Timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
3. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings. All metal connectors in contact with pressure treated timber shall be stainless steel.
4. Nailing not specified shall conform with IBC 2003. All nails in contact with pressure treated timber shall be stainless steel.
5. LVL indicated laminated veneer lumber beams manufactured by Boise Cascade or approved equal.

**DESIGN LOADS:**

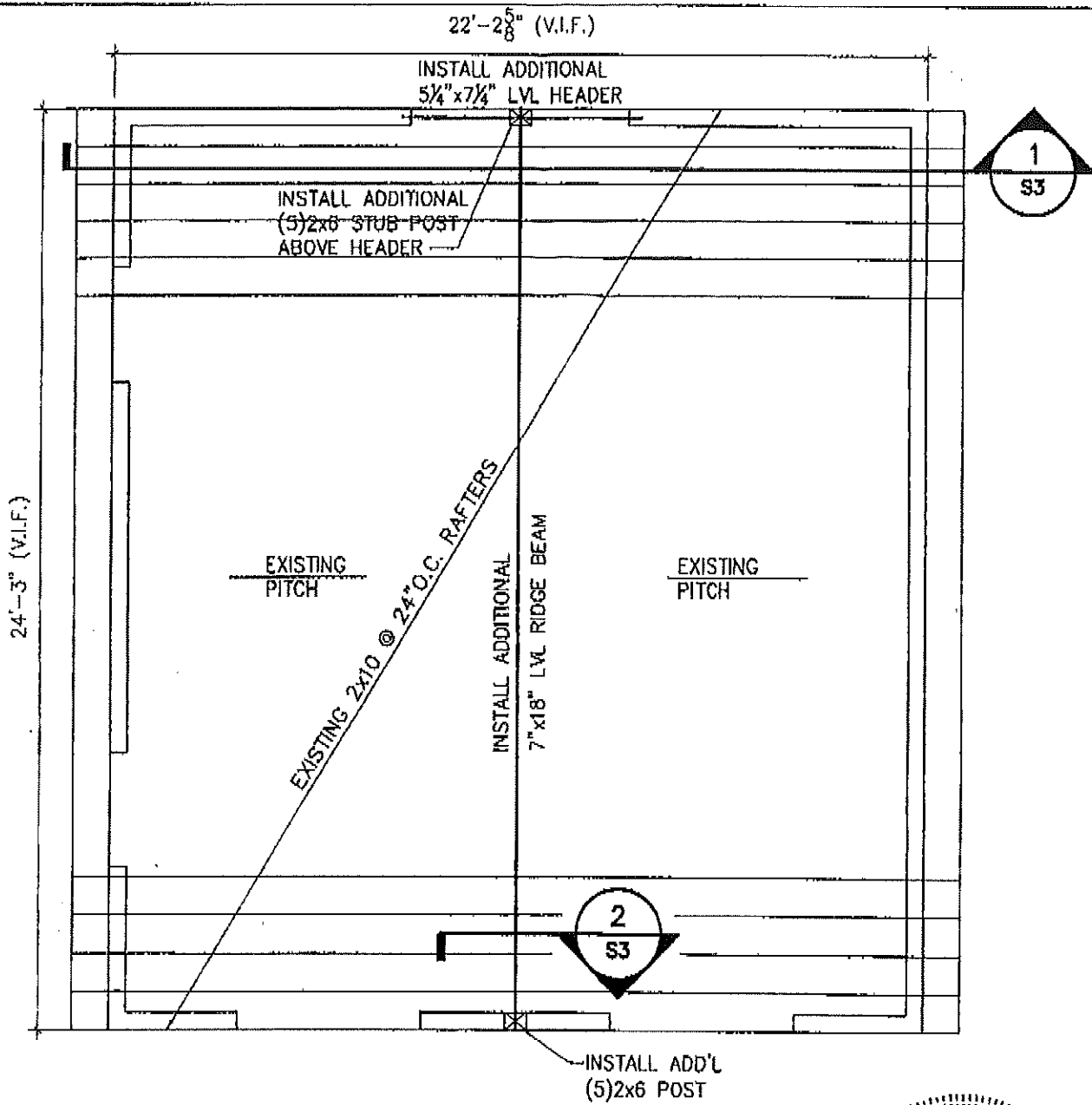
1. Building code: IRC (2003) International Residential Building Code.
2. Design Live Loads: (Ground Snow load = 50 psf)  
 Roof ..... 45 psf + drift as applicable  
 Dwelling Units ..... 40 PSF
3. Design wind loads are based on exposure C using 100 mph basic wind speed.
4. Seismic Design per IBC 2003.



2010-138

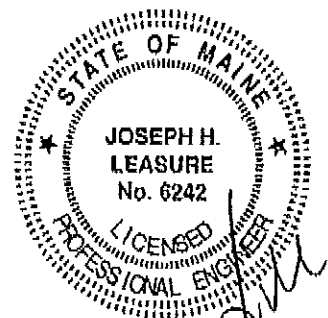
designed by: JHL	MORAN RESIDENCE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106  PHONE: (207) 787-4830 FAX: (207) 798-5432
drawn by: AKB	81 DEEPWOODS DRIVE	
checked by: JHL	PORTLAND, MAINE	
scale: NONE	BONUS ROOM/GARAGE ROOF-REPAIR	
date: 10-5-10	GENERAL NOTES	

S1

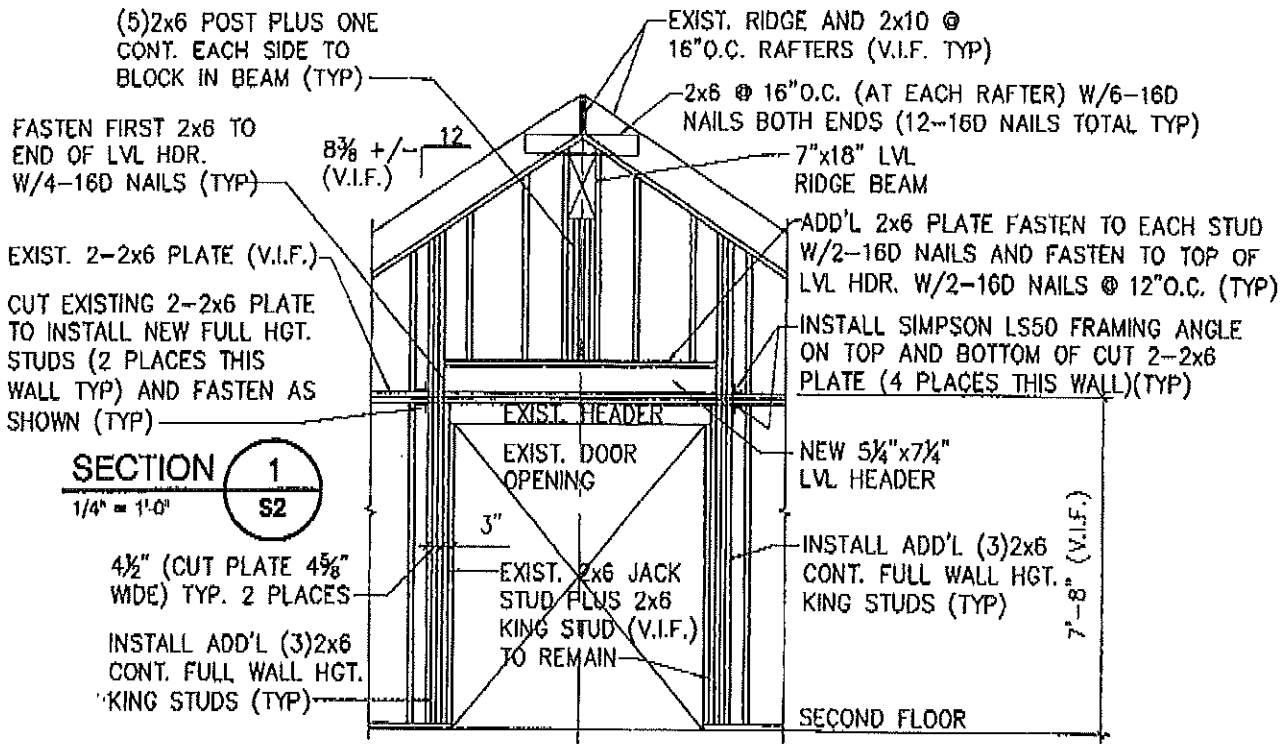


**PARTIAL ROOF FRAMING PLAN**

1/4" = 1'-0"

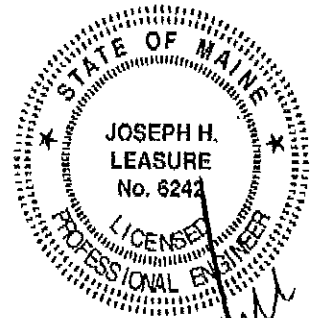
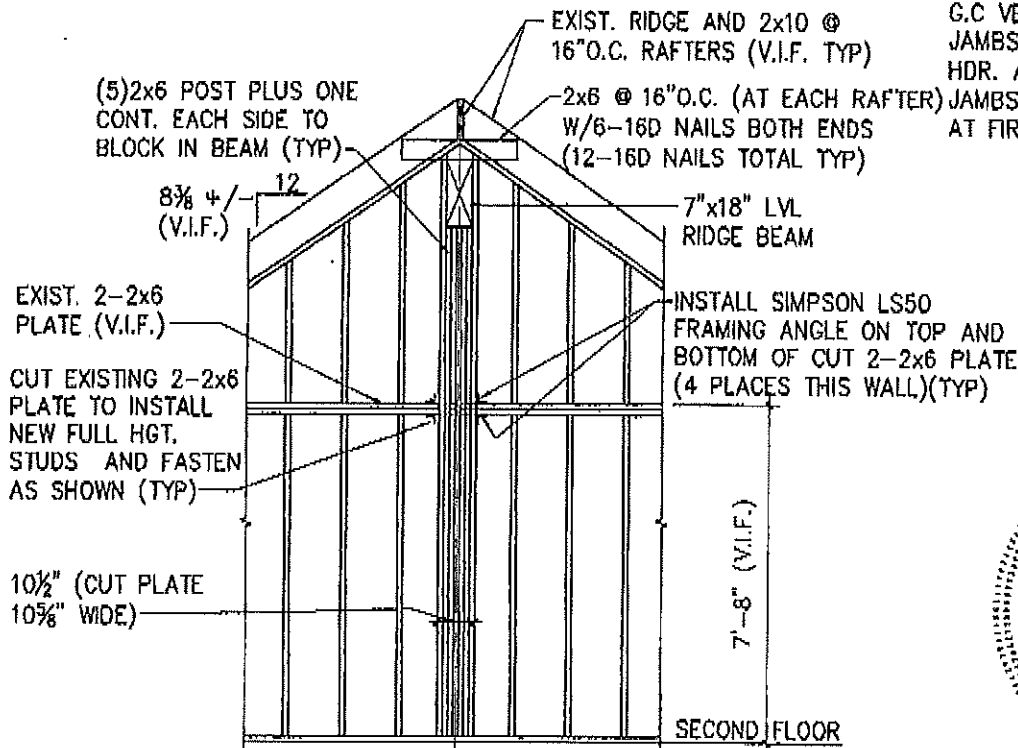


2010-138	designed by: JHL	MORAN RESIDENCE 81 DEEPWOODS DRIVE PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106
	drawn by: AKB		
	checked by: JHL	BONUS ROOM/GARAGE ROOF--REPAIR PARTIAL ROOF FRAMING PLAN	PHONE: (207) 767-4830 FAX: (207) 789-5432
	scale: AS SHOWN		
	date: 10-5-10		S2



NOTE:

G.C VERIFY THAT DOOR TIMBER JAMBS THAT SUPPORT NEW LVL HDR. ALIGN W/EXISTING TIMBER JAMBS OF DOOR AND WINDOW AT FIRST FLOOR (V.I.F.)



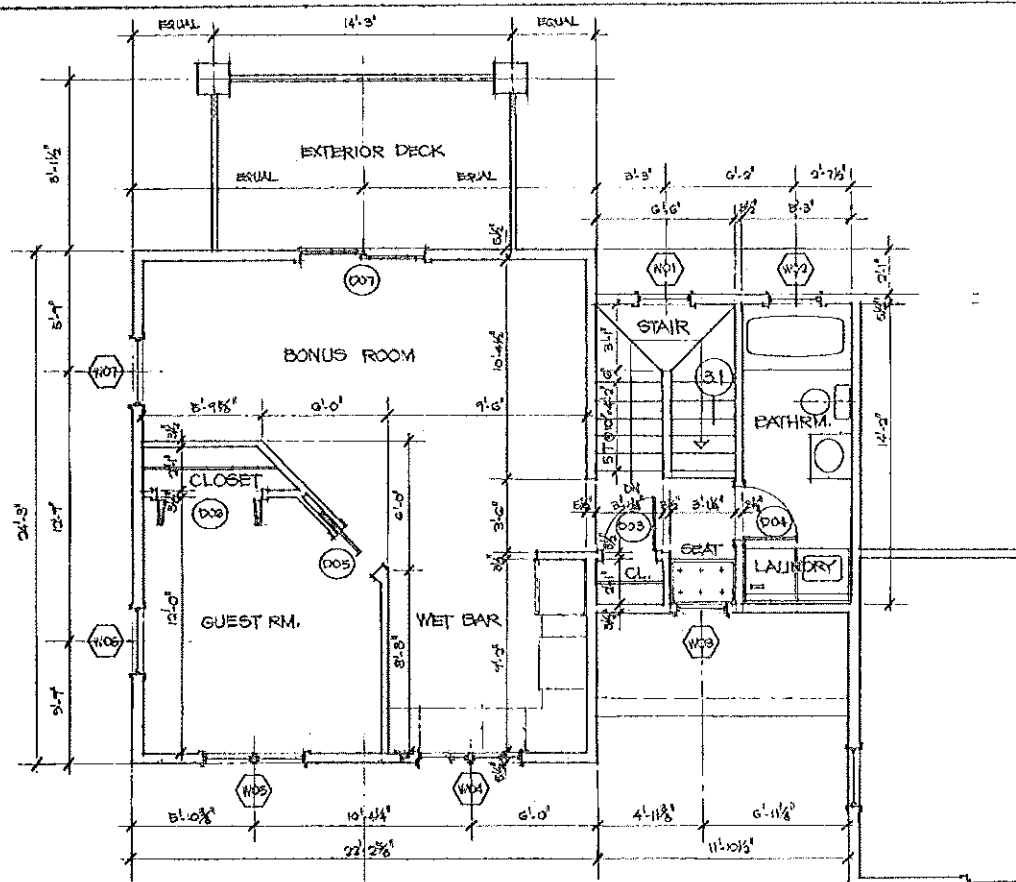
2010-138

designed by: JHL  
 drawn by: AKB  
 checked by: JHL  
 scale: AS SHOWN  
 date: 10-5-10

MORAN RESIDENCE  
 81 DEEPWOODS DRIVE  
 PORTLAND, MAINE  
 BONUS ROOM/GARAGE ROOF-REPAIR  
 SECTIONS AND DETAILS

L & L STRUCTURAL  
 ENGINEERING SERVICES, INC.  
 SIX Q STREET  
 SOUTH PORTLAND, MAINE 04106  
 PHONE: (207) 767-4630  
 FAX: (207) 799-5432

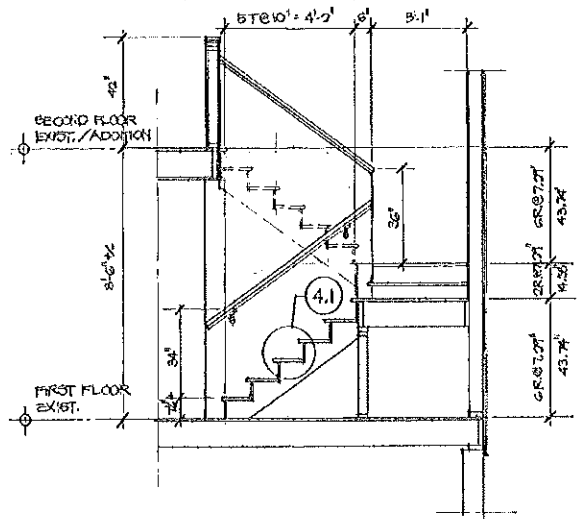
S3



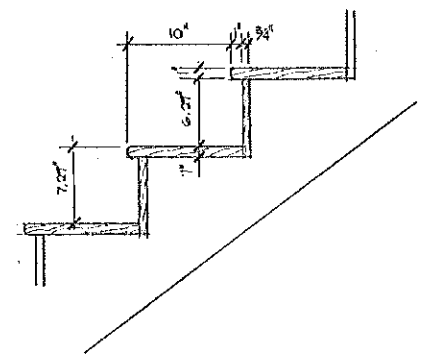
1.1 SECOND FLOOR PLAN • SCALE: 1/4" = 1'-0"

DOOR SCHEDULE					
DESIGNATION	UNIT SIZE	THICKNESS	TYPE	FRAME	REMARKS
D01	3'2" x 6'8"	1 1/4"	SOLID CORE PANEL DR.	SOLID JAMB PRE-HUNG	W/ LOCKSET
D02	2'8" x 6'8"	1 1/4"	SOLID CORE PANEL DR.	SOLID JAMB PRE-HUNG	W/ LATCHSET
D03	2'8" x 6'8"	1 1/4"	SOLID CORE PANEL DR.	SOLID JAMB PRE-HUNG	W/ LATCHSET
D04	2'8" x 6'8"	1 1/4"	SOLID CORE PANEL DR.	SOLID JAMB PRE-HUNG	W/ LOCKSET
D05	2'8" x 6'8"	1 1/4"	SOLID CORE PANEL DR.	SOLID JAMB PRE-HUNG	W/ LATCHSET
D06	2'8" x 6'8"	1 1/4"	SOLID CORE PANEL DR.	SOLID JAMB PRE-HUNG	W/ LATCHSET
D07	6'-10 1/2" x 10'-0"	1 3/4" W/ TINTED GLASS	FRAMA-SHIELD SLIDING	FRAMA-SHIELD W/ THRESHOLD	ANDERSEN 200SER. PG 61611R

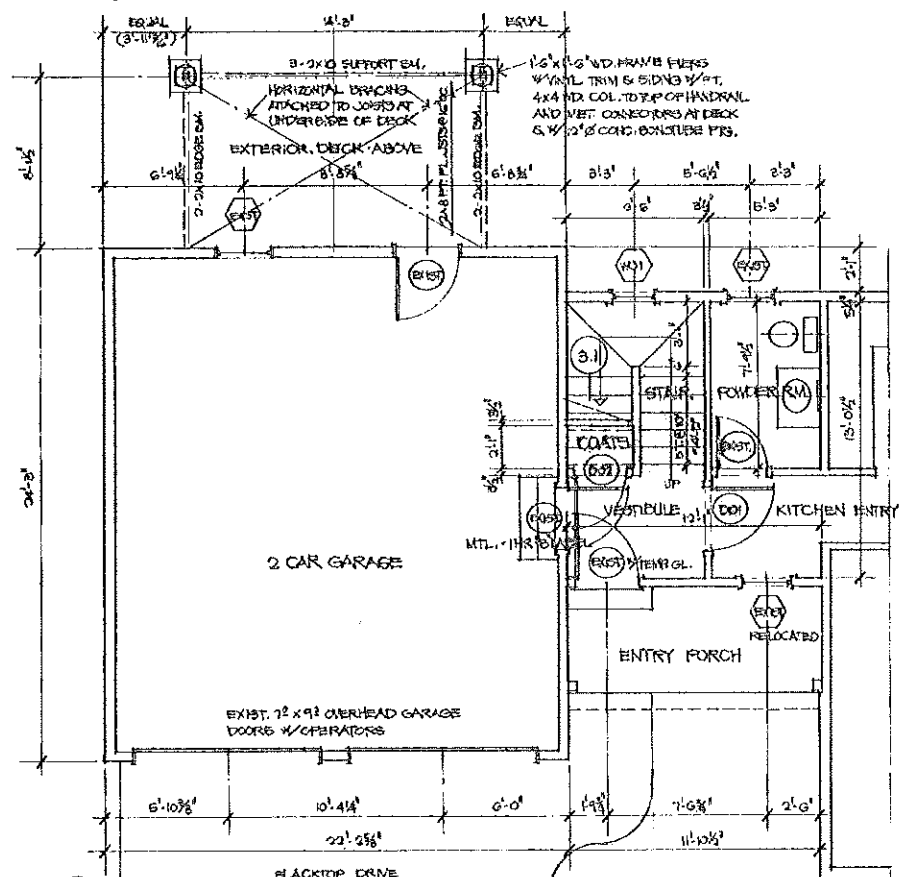
WINDOW SCHEDULE					
DESIGNATION	UNIT SIZE	ROUGH OPN.	MATERIAL	TYPE	REMARKS / ANKEREN NO.
W01	2'-0 1/2" x 2'-0 1/2" x (2) 5'-2 1/2"	2'-0 1/2" x 2'-0 1/2"	VINYL CLAD	JANING	A 21 x 4 W/ TINTED GL. @ BOT. 21W3
W02	2'-0 1/2" x 4'-0 1/2"	2'-0 1/2" x 4'-0 1/2"	VINYL CLAD	TILT-WASH DEL-HUNG	TW 0442 W/ TINTED GLASS
W03	2'-0 1/2" x 4'-0 1/2"	2'-0 1/2" x 4'-0 1/2"	VINYL CLAD	TILT-WASH DEL-HUNG	TW 0430
W04	2'-0 1/2" x 3'-4 1/2"	4'-1 1/2" x 3'-4 1/2"	VINYL CLAD	TILT-WASH DEL-HUNG	TW 0432-2
W05	↓	↓	↓	↓	↓
W06	3'-1 1/2" x 4'-8"	3'-1 1/2" x 4'-8"	VINYL CLAD	TILT-WASH DEL-HUNG	TW 3046 EXPRESS
W07	↓	↓	↓	↓	↓



3.1 STAIR SECTION • SCALE: 3/8" = 1'-0"



4.1 TYPICAL STAIR DETAIL • SCALE: 1/2" = 1'-0"



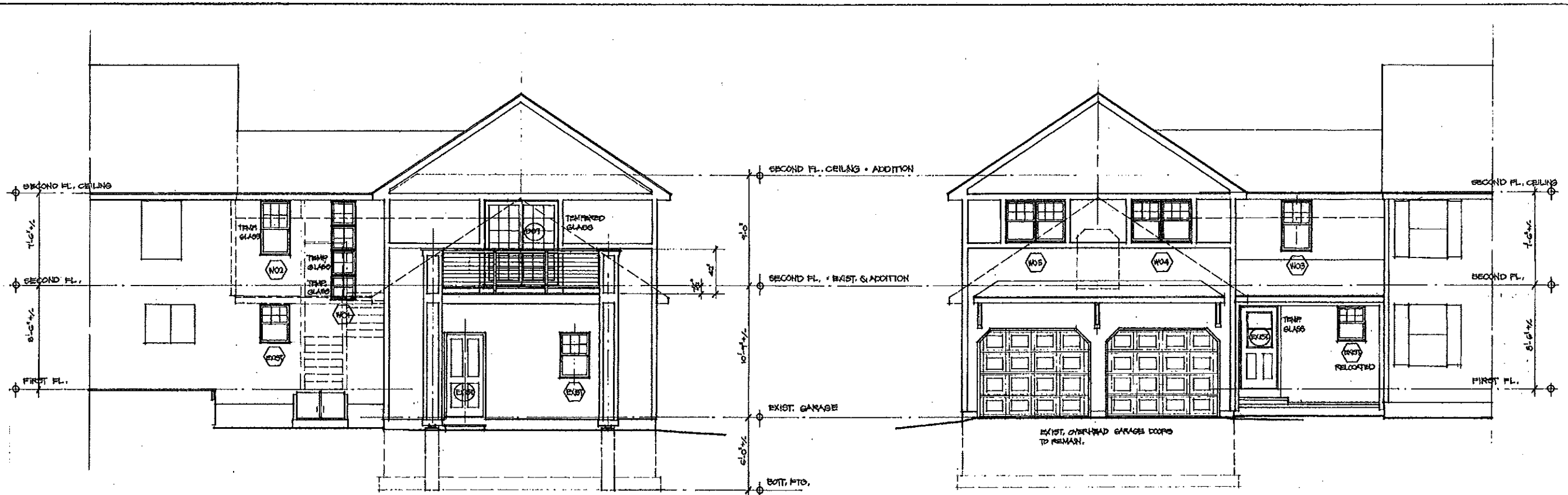
2.1 FIRST FLOOR PLAN • SCALE: 1/4" = 1'-0"

REVISIONS:  
APRIL 20, 2010  
JUNE 8, 2010

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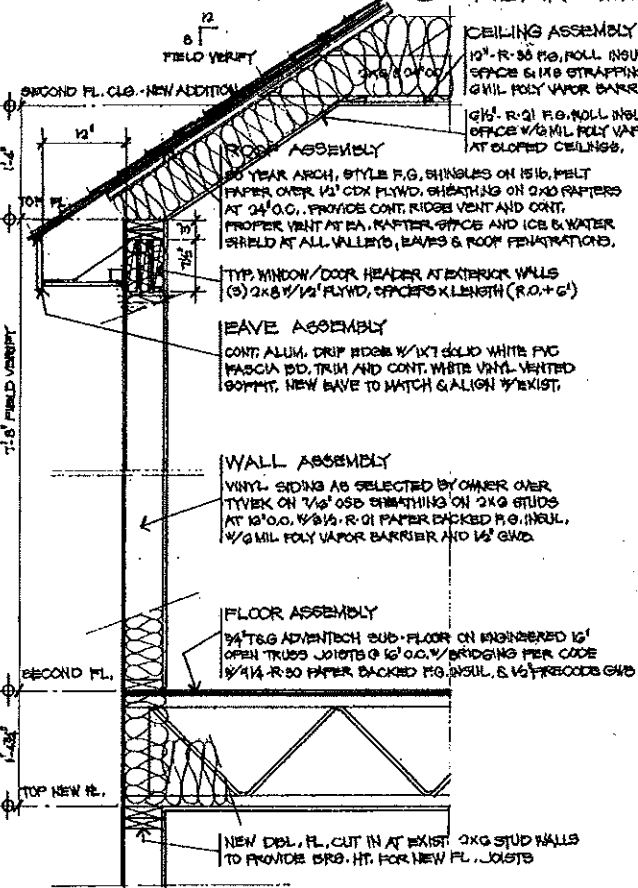
DATE: FEB. 22, 2010  
DRAWING NO.:



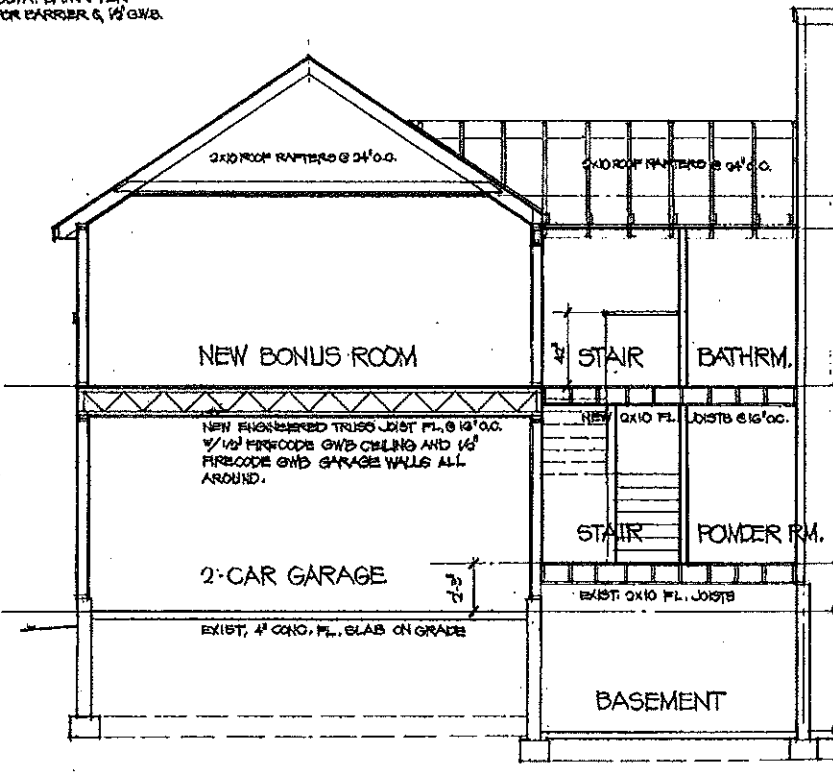


1.2 REAR ELEVATION • SCALE: 1/4" = 1'-0"

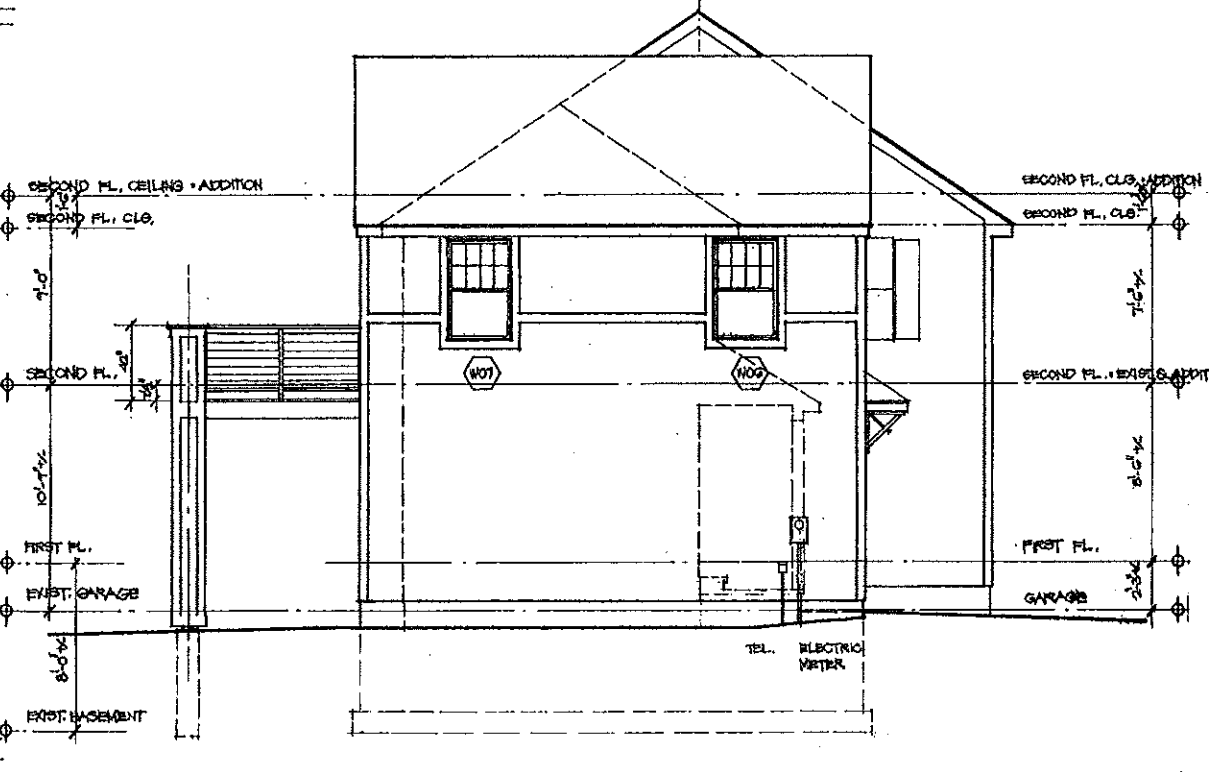
2.2 FRONT ELEVATION • SCALE: 1/4" = 1'-0"



5.2 TYPICAL WALL SECTION • SCALE: 1/4" = 1'-0"



4.2 SECTION THRU NEW SECOND FL. ADDITION • SCALE: 1/4" = 1'-0"



3.2 LEFT SIDE ELEVATION • SCALE: 1/4" = 1'-0"

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