

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that DEAN G MANOOGIAN

Located At 744 ALLEN AVE

Job ID: 2011-08-1994-ALTR

CBL: 397 - - C - 008 - 001 - - - - -

has permission to Enlarge doghouse dormer on front and add 28'3" shed dormer on rear provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

*Dean Manogian 9/2/11*  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-08-1994-ALTR</b>	Date Applied: <b>8/16/2011</b>	CBL: <b>397 - - C - 008 - 001 - - - - -</b>	
Location of Construction: <b>744 ALLEN AVE</b>	Owner Name: <b>DEAN G MANOOGIAN</b>	Owner Address: <b>744 ALLEN AVE PORTLAND, ME 04103</b>	Phone: <b>207-878-1212</b>
Business Name:	Contractor Name: <b>Owner</b>	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: <b>Building - addition</b>	Zone: <b>R-3</b>
Past Use:  Single family	Proposed Use:  Same – Single Family – enlarge doghouse dormer on front (6'3" wide), add shed dormer (28'3" long) on rear	Cost of Work: <b>8000.00</b>	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <b>R-3</b> Type: <b>SB</b> <b>IRC-2009</b> Signature: <b>Jmb</b>
Proposed Project Description: <b>Add Shed Dormer to back of cape &amp; enlarge doghouse dormer</b>		Pedestrian Activities District (P.A.D.)  <b>9/2/11</b>	
Permit Taken By:	<b>Zoning Approval</b>		

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <i>US 17/2009 14-436(b) US 17 24-375 of 1/20/11</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>08 w/condition 8/20/11 ABU</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABU</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/2/12 Spoke with Dean M. - He will only use  
1" of rigid on the walls and not Fire code  
dry wall - These changes are acceptable - still code  
compliant JMB

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Close In Inspection Framing/Electrical/Plumbing
  2. Final Inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-08-1994-ALTR

Located At: 744 ALLEN

CBL: 397 - - C - 008 - 001 - - - -

## Conditions of Approval:

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is being issued using section 14-436(b). 80% of the first floor footprint is 585.6 sf. 43.75 sf of floor area is being added with the doghouse dormer and 98.68 sf is being added with the shed dormer for a total of 142.43 sf. This is 24.3% of the allowable 80% increase.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans, including rafters to be 2x10 and hurricane ties at the rafter/wall connection.
3. Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
5. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
6. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room.



R-3



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>744 Allen Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>397-C-008-001</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Dean Mancoqian</u> Address <u>744 Allen Ave</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>207-</u> <u>878-1212</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8000.00</u>  C of O Fee: \$ _____  Total Fee: \$ _____
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME - single-family</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Add shed dormer to back of Cape (24'8" long) enlarge dormer dormer in front - 6'3" wide.</u>		
Contractor's name: _____ Address: <u>See attached self, contractor, roofer, &amp; insulator</u> City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Dean Mancoqian</u> Telephone: <u>878-1212</u> Mailing address: <u>744 Allen Ave Portland Maine 04103</u>		

RECEIVED

AUG 16 2011

Dept. of Building Inspections  
City of Portland Maine

11/9/8

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Dean Mancoqian</u>	Date: <u>08-16-11</u>
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**This is not a permit; you may not commence ANY work until the permit is issued**



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

## One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- ~~Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing~~
- Window and door schedules
- ~~Foundation plans w/required drainage and damp proofing (if applicable)~~
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2009
- ~~Deck construction including: pier layout, framing, fastenings, guards, stair dimensions~~
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

# Contractor Info

Roofing

Austin + Sons  
169 State Park Road 207-693-5078  
Casco, ME 04015

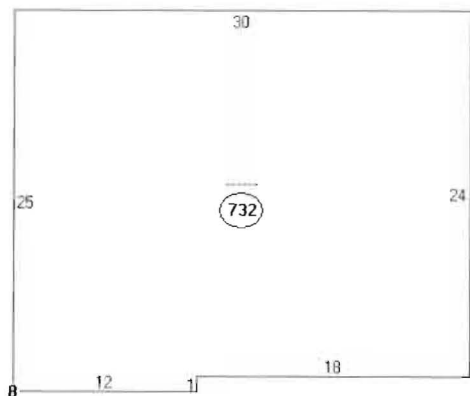
Insulation

WarmTech Solutions  
PO BOX 310 207-846-7966  
Yarmouth, ME 04096

Structure

Phillips + Berry Remodeling  
14 George St 207-807-5198  
Gorham, ME 04038





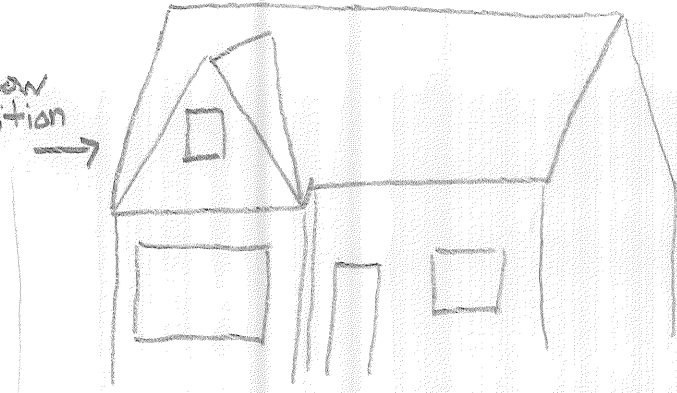
Descriptor/Area  
A. ....  
732 sqft  
B. PG1  
384 sqft

Existing  
dog house  
dormer  
and floor plan (2nd Floor)

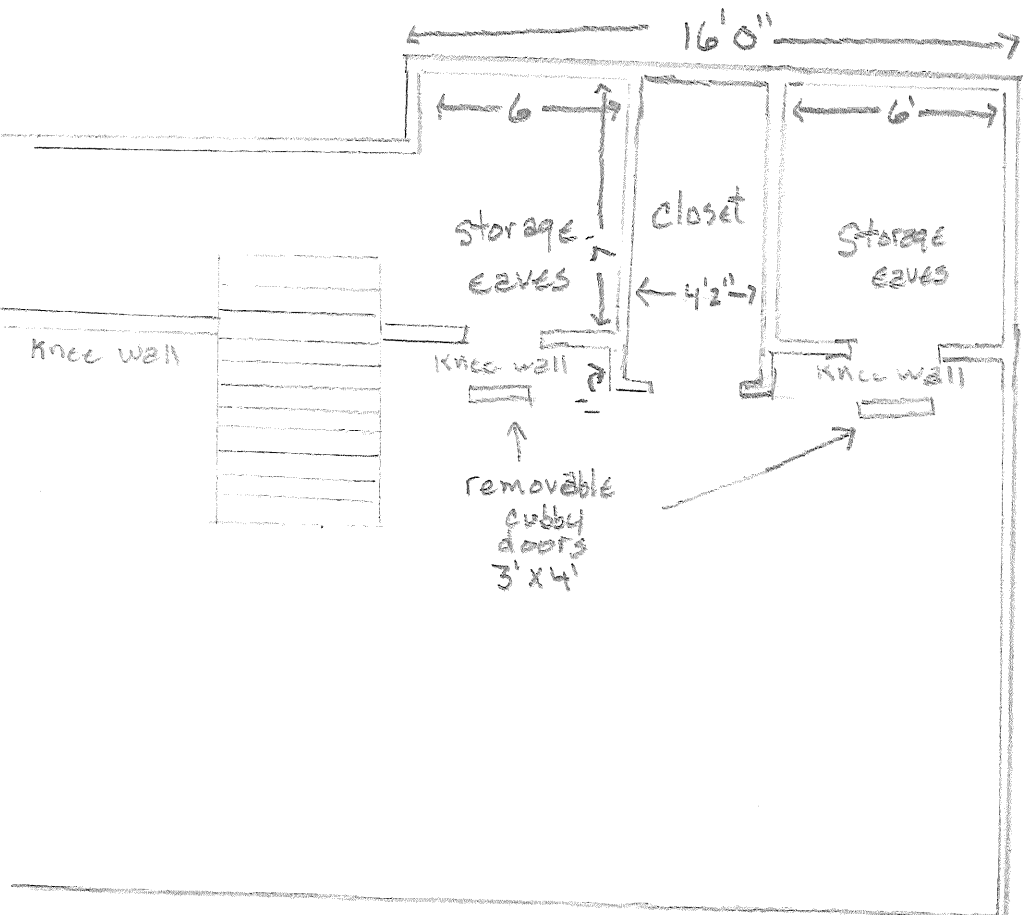


change →

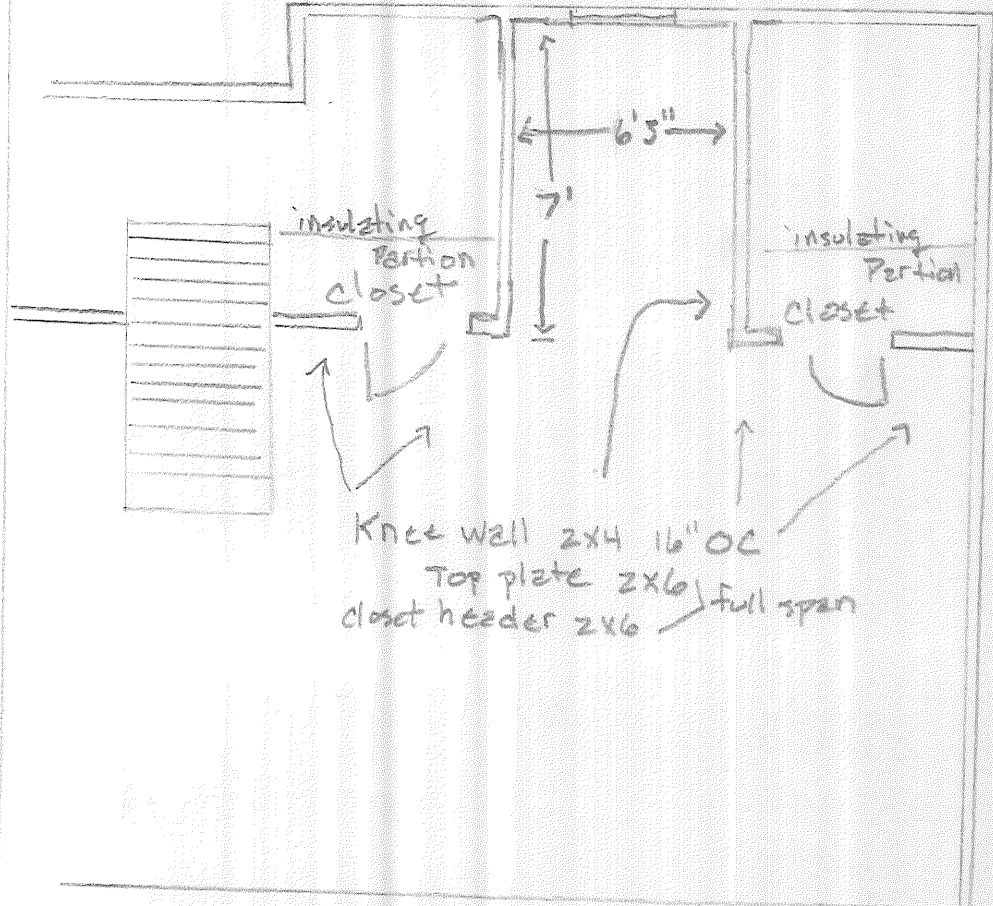
Window Addition →



34 x 34 double hung  
Low E - Argon U.30



Current



change

# Framing Doghouse Dormer

Existing

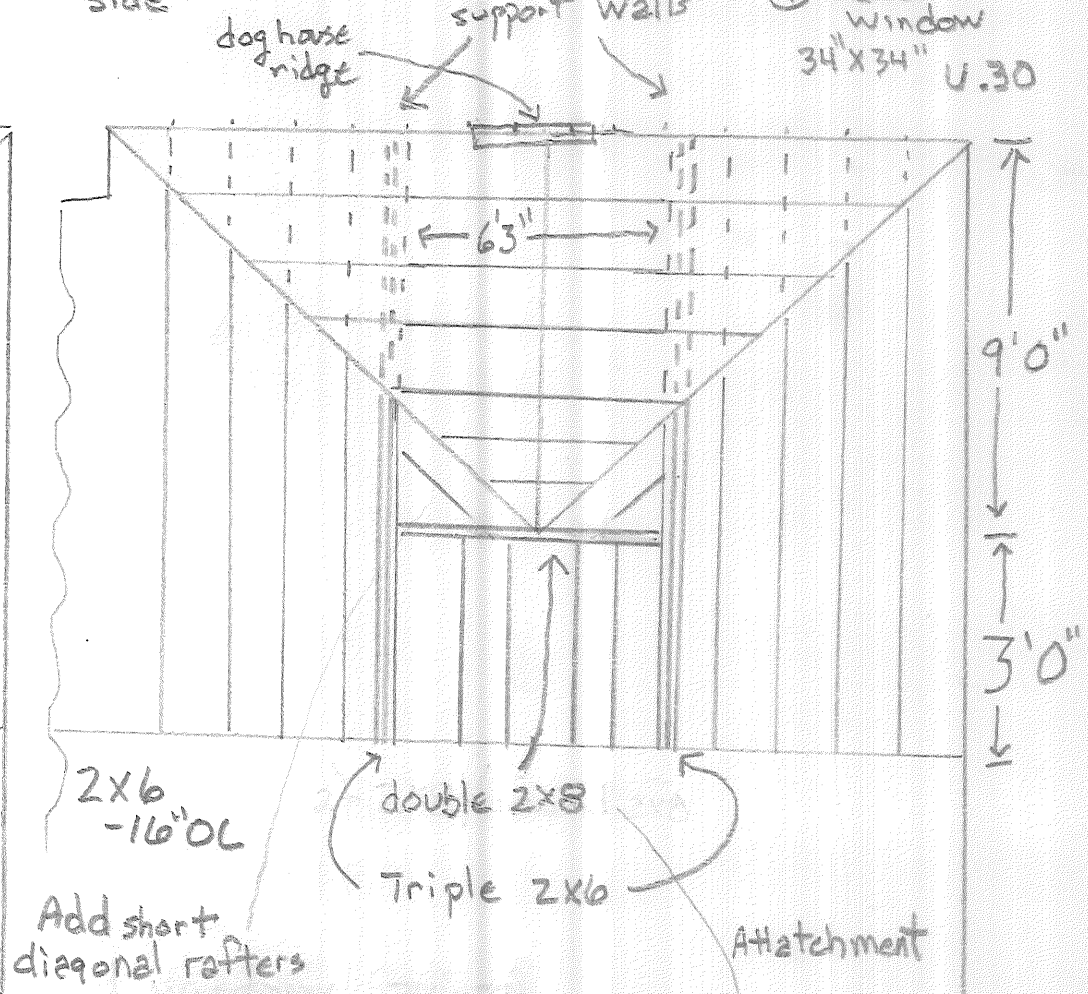
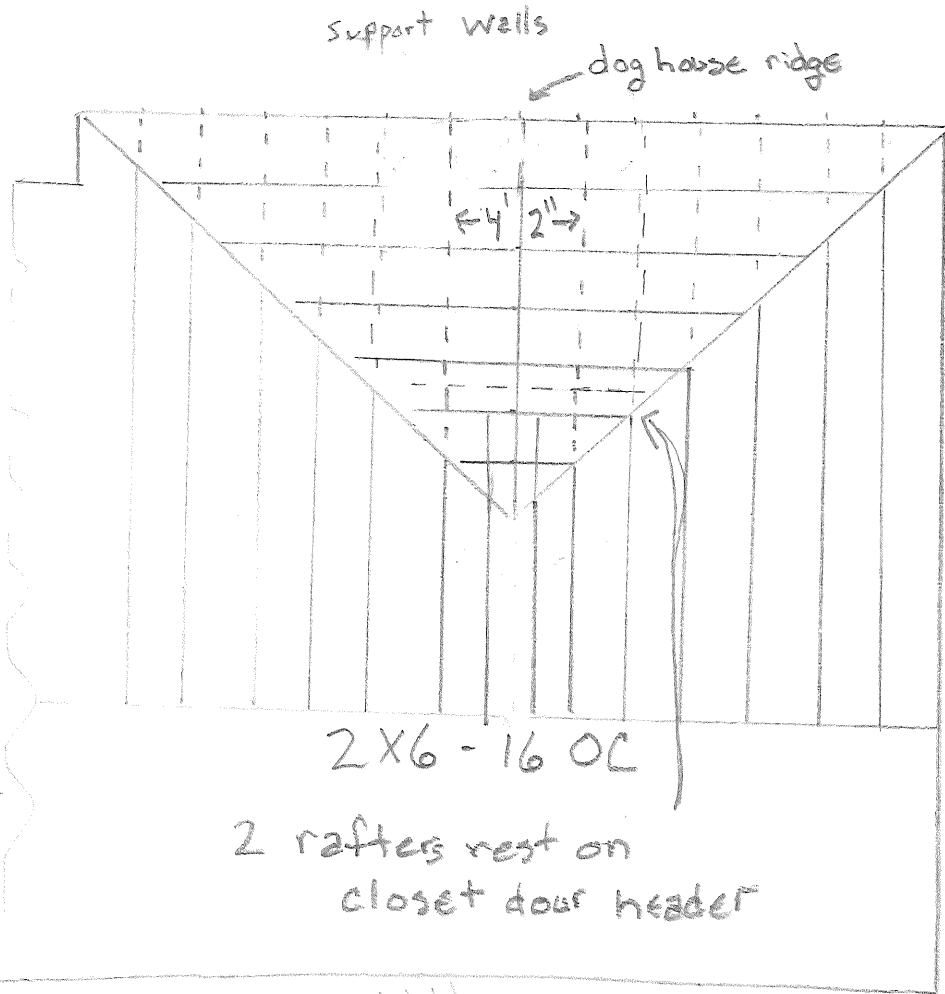
change

removal & move  
support walls  
16" each  
side

2 rafters cut - bottom removed  
upper attached  
to header

change

① new  
window  
34" x 34" U.30



Add short  
diagonal rafters

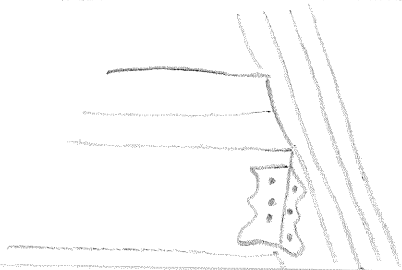
4 rafters supported  
on cross beam  
between rafters  
that are tripled up

double 2x8

Attachment

2 lag  
bolts

4 Metal  
hangers



# Floor Plan

See additional floor plan and framing

Yellow <sup>3</sup> existing structure

insulating partition

Remove replace knee wall  
2x4 16" OC - 2x4 bottom plate  
2x6 Top plate  
closet

Remove replace knee walls  
2x4 16" OC - 2x4 Bottom plate  
2x6 Top plate  
closet

insulating partition  
closet

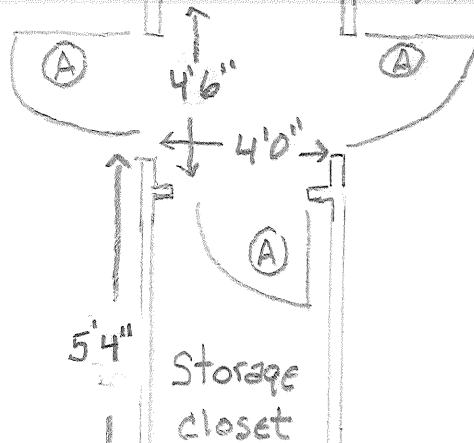
Doors (A) 30" x 84" quantity 3

Windows  
① 44" x 44" quantity 3  
② 24" x 28" quantity 1  
Vinyl dbl hung Low E Argon U.30

Remove & replace  
stairway walls  
2x4 16" OC  
2x4 Top + Bottom  
plate

reference mid point  
not a structure

③ 34" x 34"



closet

closet

4'0"

5'4"

Storage closet

4'0"

2'8"

①

②

①

①

2'0"

24'8"

2'0"

3'0"

Roof

30'0"

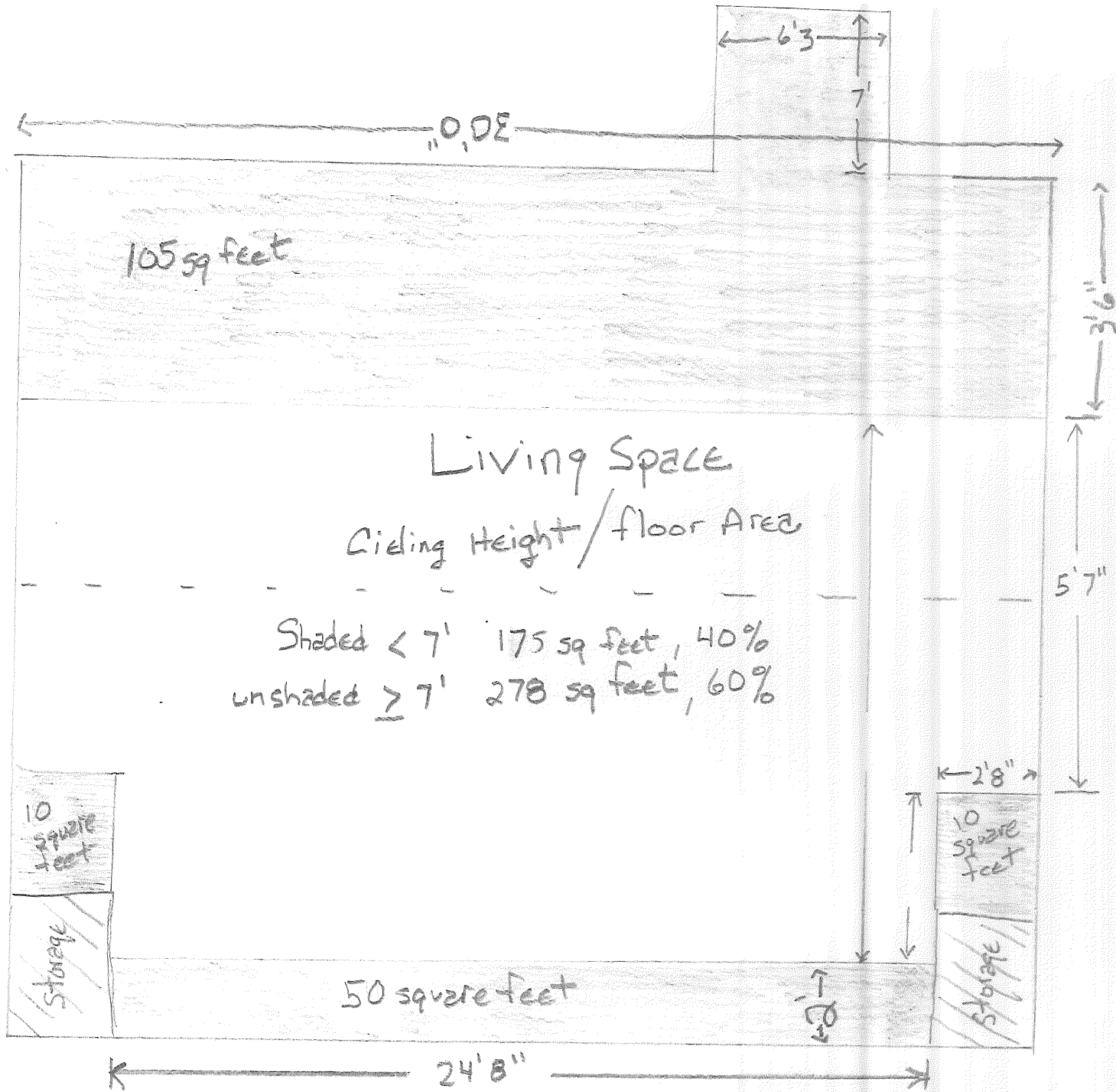
25'0"

12'0"

10'0"

1

1



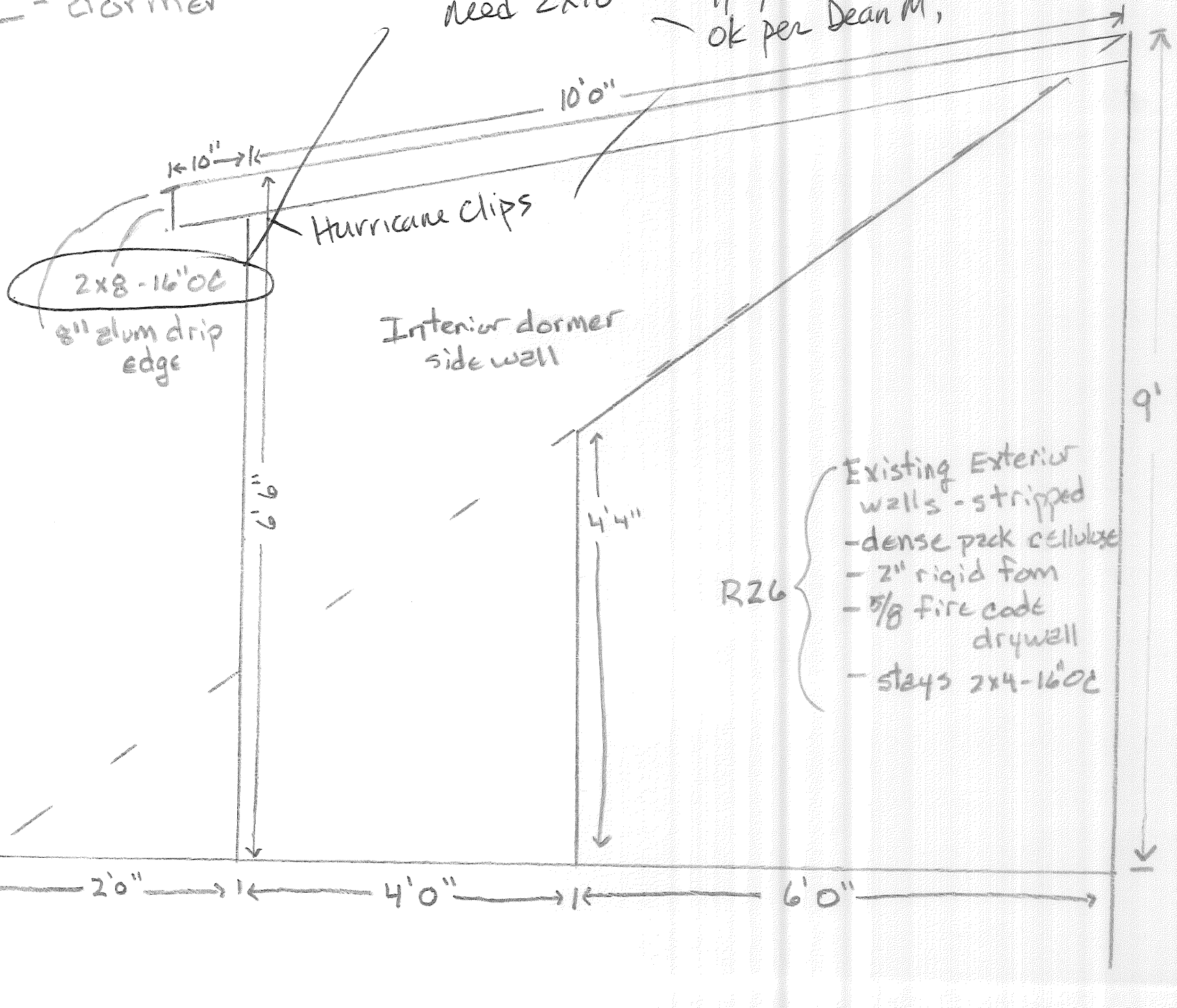


Framing - dormer

Per Adj. Factor  
need 2x10

9/2/11  
ok per Dean M,

pitch  
12/3



Existing roof

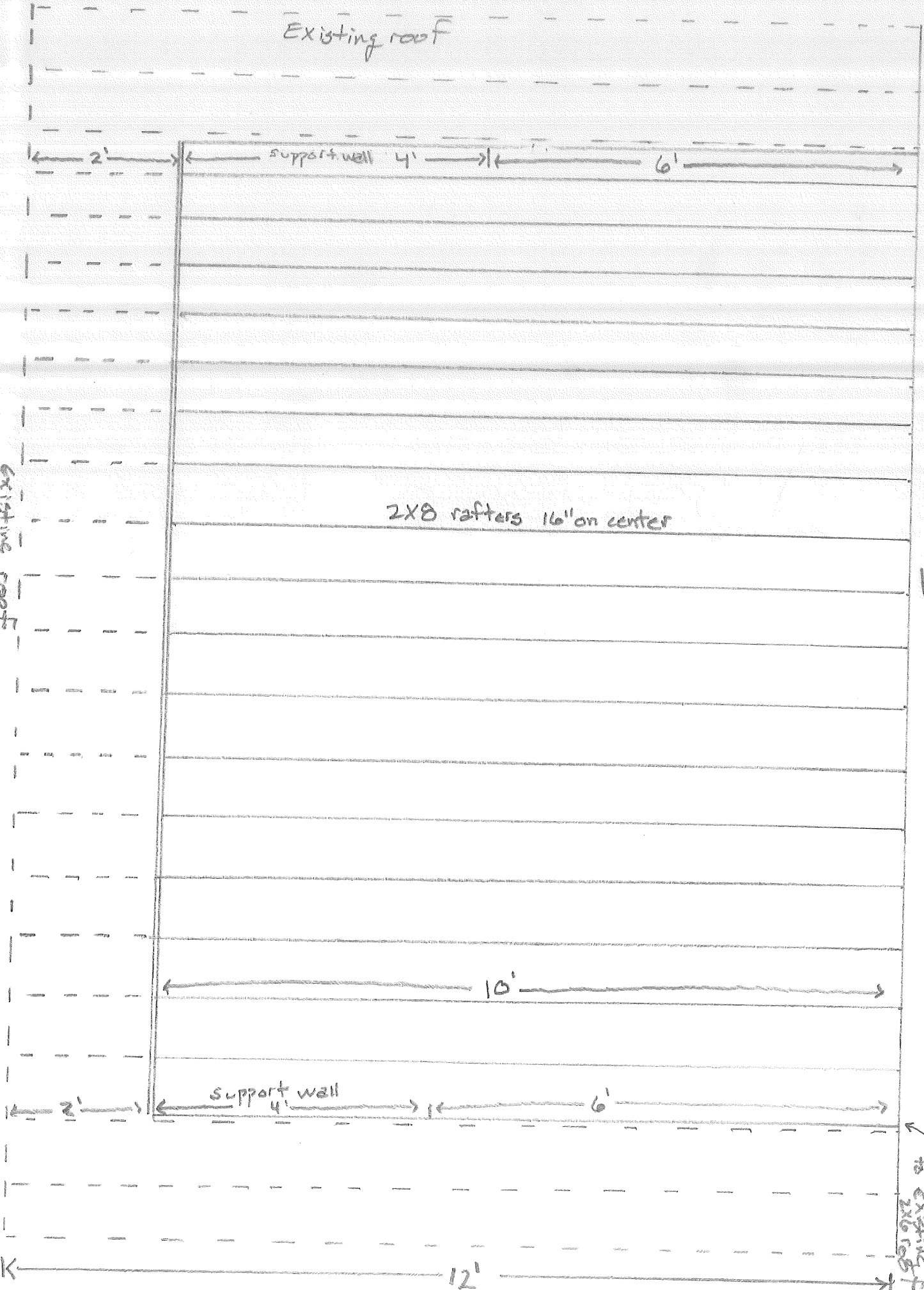
doubled up  
2x6

# Framing Plan - dormer

2x8 rafters 16" on center

existing roof

doubled up  
2x6 added  
to existing  
2x6 roof



2'

support wall 4'

6'

10'

support wall 4'

6'

2'

12'

30 year  
Architectural  
Asphalt

# Framing Plan - dormer 12/3

Ice + Water  
Shield  
full  
10' span

23/32 4x8 RTD sheathing - SYP

2x8 ridge

2x6 collar ties 16" OC

8" aluminum  
drip edge

Rafter ledger

2x4 Top plate

2x8 rafter 16" OC

2x6 header  
as necessary  
(windows)

dense p22K  
cellulose  
and 2" rigid foam

5/8 Fire Code - Ceilings  
Dry wall - and walls

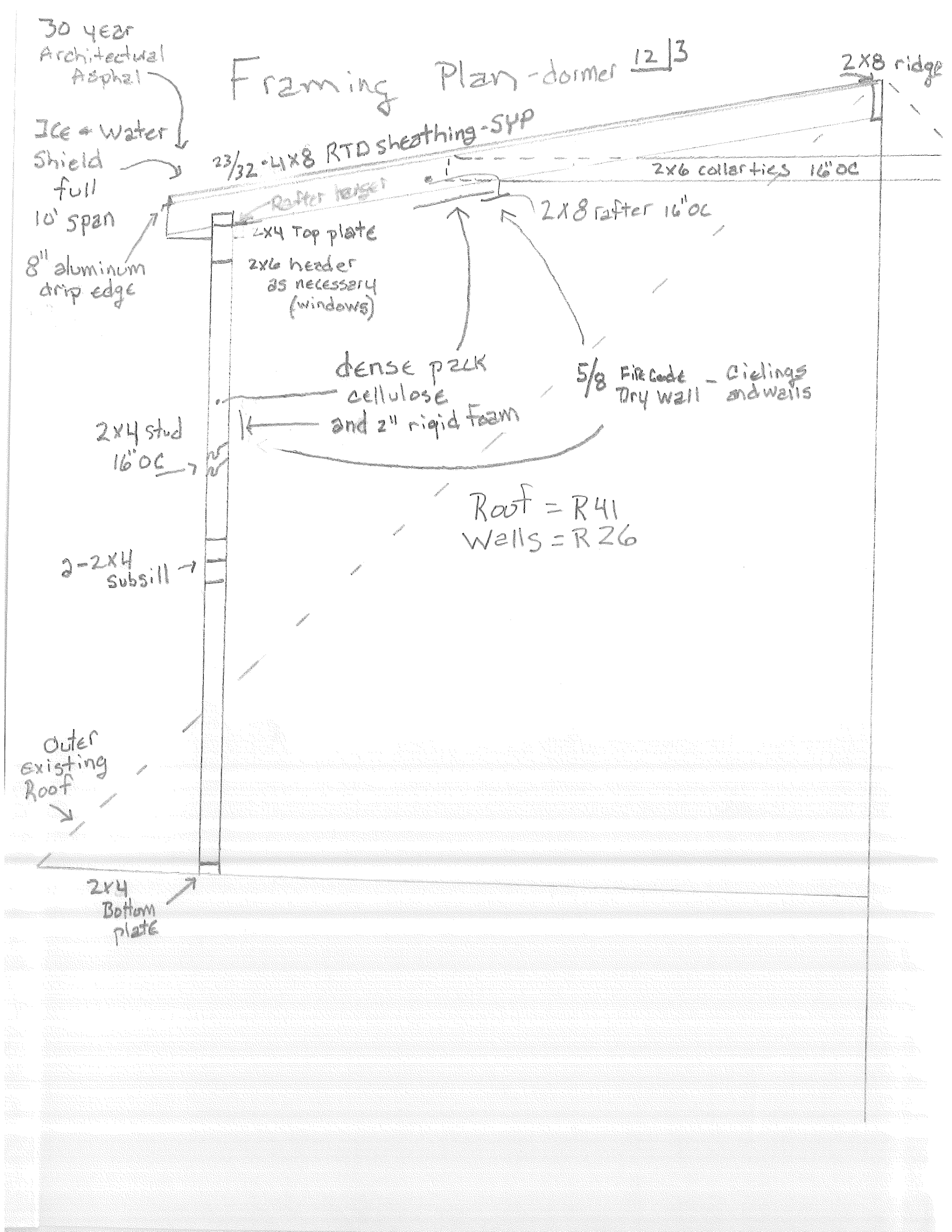
2x4 stud  
16" OC

Roof = R41  
Walls = R26

2-2x4  
subsill

Outer  
existing  
Roof

2x4  
Bottom  
plate



# ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 7/31/12  
 Permit #: 2012-46527  
 CBL#: 397-C-8

ADDRESS: 744 ALLEN AVE. PTD. 04103 EXT-04103  
 CMP Work Order #: \_\_\_\_\_ METER MAKE/MODEL #: \_\_\_\_\_  
 TENANT: \_\_\_\_\_ OWNER: DEAN MANOOGIAN  
 PHONE #: 653-8599

**PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!** TOTAL EACH FEE

Category	Quantity	Item	Quantity	Item	Quantity	Item	Fee	Total
OUTLETS:	15	Receptacles	7	Switches	6	Smoke Detector	0.20	5.60
FIXTURES:	5	Incandescent		Flourescent		Strips	0.20	1.00
SERVICES:		Overhead		Underground		TTL Amps <800	15.00	
						TTL Amps >800	25.00	
TEMPORARY SERVICE:		Overhead		Underground		TTL Amps	25.00	
METERS:		(Number of)					1.00	
MOTORS:		(Number of)					2.00	
RESID/COMMER:		Electric Units					1.00	
HEATING:		Oil/Gas Units		Interior		Exterior	5.00	
APPLIANCES:		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-hot		Water Heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (# of):		Air Cond (Window)					3.00	
		Air Cond (Central)				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/Resident					5.00	
		Alarms/Commer					15.00	
		Heavy Duty (CRKT)					2.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		Emergency Lights					1.00	
		Emer Generators					20.00	
		Circus/Carnival					25.00	
PANELS:		Service		Remote		Main	4.00	
TRANSFORMER:		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	

CBL: 397-C-8

MINIMUM COMMERCIAL FEE: \$55.00      MINIMUM RESIDENTIAL FEE: \$45.00  
 Brief Description of work: FINISHING OFF SECOND FLOOR TOTAL DUE: 4,500  
OF HOUSE WITH (2) BEDROOMS.

**PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!**

CONTRACTOR INFORMATION:  
 Contractor Name: DENIS LABONTE Master License #: MS60019502  
 Address: 96 FERRY RD. SACO 04072 Limited License #: \_\_\_\_\_  
 Telephone: 590-9436

Contractor Signature: [Signature]  
**PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!**



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

8-16-20 11

Received from Mr. [unclear]

Location of Work 744 [unclear]

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 100

Building (IL) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 397-0-8

Check #: CC

Total Collected \$ 100

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

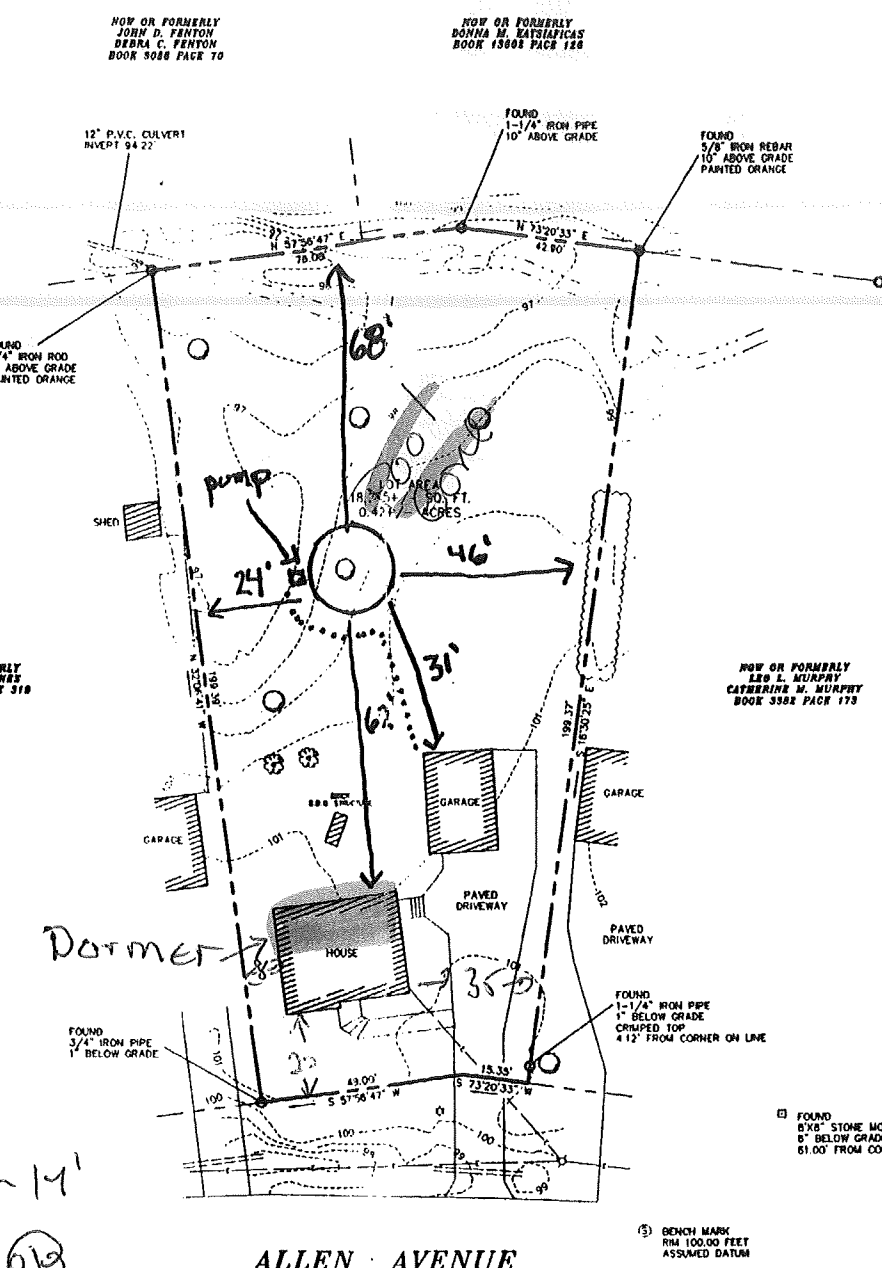
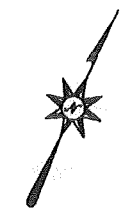
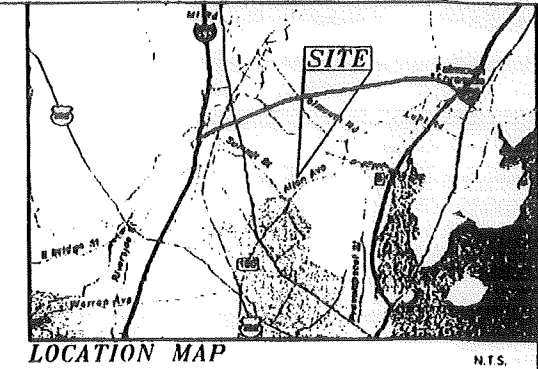
Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



**SURVEYOR'S NOTES**

- THIS SURVEY PLAN IS COPYRIGHT PROTECTED. THIS PLAN IS THE PROPERTY OF BOUNDARY POINTS AND SHALL NOT BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF AN AUTHORIZED AGENT OF BOUNDARY POINTS. ALL RIGHTS RESERVED.
- THIS SURVEY PLAN IS ONLY VALID WITH AUTHENTIC EMBOSSED SEAL AND SIGNATURE OF CERTIFIED PROFESSIONAL LAND SURVEYOR ON THE FACE OF THIS SURVEY PLAN.
- REFERENCE IS MADE TO THE CONTRACTUAL AGREEMENT BETWEEN THE PROFESSIONAL LAND SURVEYOR AND THE CLIENT.
- THIS SURVEY PLAN IS SUBJECT TO POSSIBLE REVISION UPON RECEIPT OF A CERTIFIED TITLE OPINION.
- ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF I CERTIFY EXCLUSIVELY TO THE CLIENT THAT THIS SURVEY PLAN, MADE TO THE NORMAL STANDARD OF CARE, SUBSTANTIALLY COMFORMS TO THE MAINE BOARD OF LICENSURE FOR LAND SURVEYOR STANDARDS CATEGORY I, CONDITION III, EXCEPTING FROM THESE STANDARDS DEED DESCRIPTION AND MONUMENTS.
- NO CERTIFICATION IS MADE TO THE EXISTENCE OR NONEXISTENCE OF HAZARDOUS SUBSTANCES, ENVIRONMENTALLY SENSITIVE AREAS, UNDERGROUND UTILITIES, OR UNDERGROUND STRUCTURES OF REAL ESTATE TITLE.
- THE SOURCE OF BEARINGS FOR THIS LAND SURVEY WAS THE MAGNETIC MERIDIAN AS OF THE DATE HEREIN.
- THE PROPERTY SURVEYED IS DESCRIBED IN A DEED TO DEAN G. MANOOGIAN FROM LAWRENCE LILLIAN DATED 6-17-93 AND IS RECORDED IN THE LOCAL REGISTRY OF DEEDS IN BOOK 14845, PAGE 108.
- THE PROPERTY IS DEPICTED ON THE CITY ASSESSOR'S MAP 397, BLOCK C, AS LOT A.
- SURVEY REPORT**
  - REFERENCE IS MADE TO PLAN "RECORDING PLAT-PHASE I PINELOCK WOODS ALLEN AVENUE" DATED 3-5-96 BY OWEN HASKELL, INC. AND RECORDED IN THE LOCAL REGISTRY OF DEEDS IN PLAN BOOK 155, PAGE 31.
  - REFERENCE IS MADE TO PLAN "RECORDING PLAT-PHASE II PINELOCK WOODS ALLEN AVENUE" DATED 3-5-96 BY OWEN HASKELL, INC. AND RECORDED IN THE LOCAL REGISTRY OF DEEDS IN PLAN BOOK 162, PAGE 35.
  - RIGHT OF WAY INFORMATION FOR ALLEN AVENUE WAS BASED ON THE PLAN IN NOTE 10B ABOVE.
  - ELEVATIONS AND CONTIGUOUS REFER TO THE RM OF THE SEWER MAINLINE IN ALLEN AVENUE AS DEPICTED HEREON AND BY AN ASSUMED VERTICAL DATUM OF 100.00 FEET.



*Handwritten notes:*  
 Pools  
 ① Shall be 10' from rear side property line  
 ② Shall be 10' from the principal structure

*Handwritten note:*  
 27' above ground pool, 48" walls

*Handwritten note:*  
 ..... Electrical lines, 3ft underground in conduit

*Handwritten notes:*  
 No External ladder  
 Property enclosed with Fencing

*Handwritten notes:*  
 division 35'  
 other side - 8 3/4"

**RECEIVED**  
 AUG 16 2011  
 Dept. of Building Inspections  
 City of Portland Maine

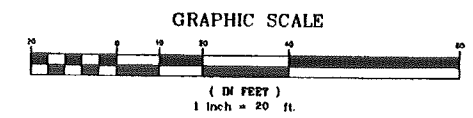
*Handwritten notes:*  
 R-3  
 lot size - 18,318 sq ft  
 \* front 25' min - 20' given  
 rear - 25' > 130' (circled)  
 side - 8' on left mostly - 14'  
 8' on left  
 30' on left right (circled)

*Handwritten notes:*  
 using section 14-43 b  
 1st floor footprint, 732 sq ft  
 80% = 585.6 sq ft

*Handwritten calculations:*  
 adding 6'3" x 7' - doghouse - 43.75'  
 adding 24.67 x 4 = 98.68'  
 142.43 sq ft 24.3%

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY BOUNDARY	---
○	MONUMENT	○
○	IRON PIPE TOP	○
▨	BUILDING	▨
---	STREAM	---
---	EDGE PAVEMENT	---
---	TREELINE	---
---	CONTOURS	---
---	OVERHEAD ELECTRIC WIRES	---
○	GATE VALVE	○
○	LIGHT POLE	○
○	UTILITY POLE	○
○	HYDRANT	○
○	CATCH BASIN	○
○	MANHOLE	○
○	CULVERT	○
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○



**STANDARD BOUNDARY SURVEY**  
 FOR  
**DEAN G. MANOOGIAN**  
 OF  
 744 ALLEN AVENUE  
 PORTLAND, MAINE  
 NOVEMBER 27, 1999 SCALE 1"=20'

