

924472

Permit # _____ City of Portland *Call for Plan* BUILDING PERMIT APPLICATION Fee 50.00 MMSP
 Please fill out any part which applies to job. Proper plans must accompany form. 445.00 Zone _____ Map # _____ Lot # _____

Owner: Creater Portland Dev Group Phone # 878-2721 Mike Dimilio bldg prmt

Address: 41 Roaringbrook Rd Portland, ME 04103

LOCATION OF CONSTRUCTION Deepwoods Dr 395-K-027

Contractor: Vesta Corp 103 Sub: _____

Address: _____ Phone # _____

Construction Cost: 85,000.00 Proposed Use: 1-fam Dwelling & garage

of Existing Res. Units _____ Past Use: Vacant Land

Building Dimensions L 28'x22' Total Sq. Ft. _____

Stories: 2 # Bedrooms _____ Lot Size: 10,000 sq ft

Is Proposed Use: Seasonal Condominium _____ Conversion _____

Explain Conversion Minor-Minor Site Plan - Const 1-fam Dwelling w garage

Foundation: 49'x26'

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floors:

1. Sill Size: _____
2. Girder Size: _____ Sills must be anchored.
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____
5. Bridging Type: _____ Spacing 16" O.C.
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____
5. Bracing: Yes _____ No _____ Span(s) _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type: _____
10. Masonry Materials _____ Weather Exposure _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

White - Tax Assessor

For Official Use Only	
Date <u>December 22, 1992</u>	Subdivision: <u>JAN 1 1993</u>
Inside Fire Limits _____	Name _____
Bldg Code _____	Lot _____
Time Limit _____	Ownership: _____ Public _____ Private _____
Estimated Cost _____	

Review Required:

Street Frontage Provided: _____

Provided Setbacks: Front _____ Back _____ Side _____

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____

Special Exception _____ Other (Explain) _____

Ceiling:

1. Ceiling Joists Size: _____

2. Ceiling Strapping Size _____ Spacing _____

3. Type Ceiling: _____

4. Insulation Type _____ Size _____

5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

- Type: _____ Number of Fire Places _____

Heating:

- Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Michael Dimilio Date Dec 22, 1992

Signature of Applicant [Signature]

CEO's District Michael Dimilio

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

7 M. M. McIsaac

**PERMIT ISSUED
WITH LETTER**



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 173 Deepwood Drive

Date of Issue 6/7/93

Issued to Greater Portland Development Group

This is to certify that the building, premises, or part thereof at the above location, built — altered — changed as to use under Building Permit No. 92/4472, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire

single-family dwelling
with garage

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

4/June/93
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and is to be transferred from owner to owner when property changes hands. Copy will be furnished to owner for one dollar.



Permit # **924472** **924472** *Call* **BUILDING PERMIT APPLICATION Fee** 50.00 **Zone** 645.00 **Map #** **Lot #**
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: **Greater Portland Dev Group** Phone # **878-2721** Mike 047
Address: **49 Roaringsbrook Rd Portland, ME 04103**

LOCATION OF CONSTRUCTION **Deepwoods Dr (between 395-K-027)**

Contractor: **Vesta Corp** **103** Sub:

Address: Phone #

Est. Construction Cost: **85,000.00** Proposed Use: **1-fam Dwelling & garage** Zoning:

Past Use: **Vacant Land**

of Existing Res. Units **2** # of New Res. Units **2**

Building Dimensions L **24' x 22'** Total Sq. Ft. **10,000 sq ft**

Stories: **2** # Bedrooms **2** Lot Size: **10,000 sq ft**

Is Proposed Use: **Seasonal** **Condominium** **Conversion**

Explain Conversion **Minor-Minor Site Plan - Const 1-fam Dwelling & garage**

Foundation:

1. Type of Sill: **49' x 26'**
2. Set Backs - Front **2'** Rear **2'** Side(s) **2'**
3. Footings Size: **16" x 16"**
4. Foundation Size: **16' x 16'**
5. Other: **None**

Floor:

1. Sills Size: **49' x 26'** Sills must be anchored.
2. Girder Size: **16" x 16"**
3. Lally Column Spacing: **16' O.C.**
4. Joists Size: **16" x 16"**
5. Bridging Type: **None**
6. Floor Sheathing Type: **None**
7. Other Material: **None**

Exterior Walls:

1. Studding Size: **16" x 16"** Spacing **16" O.C.**
2. No. windows **2**
3. No. Doors **2**
4. Header Sizes: **16" x 16"** Span(s) **16'**
5. Bracing: **Yes** **No**
6. Corner Posts Size: **16" x 16"**
7. Insulation Type: **None** Size **16" x 16"**
8. Sheathing Type: **None** Size **16" x 16"**
9. Siding Type: **None** Weather Exposure **None**
10. Masonry Materials **None**
11. Metal Materials **None**

Interior Walls:

1. Studding Size: **16" x 16"** Spacing **16" O.C.**
2. Header Sizes: **16" x 16"** Span(s) **16'**
3. Wall Covering Type: **None**
4. Fire Wall if required **None**
5. Other Materials **None**

White - Tax Assessor

For Official Use Only

Date **December 22, 1992** Subdivision: **None** Name **IAN 11 1993** Lot **None**

Inside Fire Limits: **None** Ownership: **CITY OF PORTLAND**

Blgd Code: **None** Time Limit: **None** Estimated Cost: **None**

Review Required:

Street Frontage Provided: **None** Provided Setbacks: Front **None** Back **None** Side **None** Side **None**

Zoning Board Approval: **Yes** **No** Date: **None**

Planning Board Approval: **Yes** **No** Date: **None**

Conditional Use: **Yes** **No** Variance **Yes** **No** Site Plan **Yes** **No** Subdivision **Yes** **No**

Shoreland Zoning **Yes** **No** Floodplain **Yes** **No**

Special Exception **Yes** **No** Other (Explain) **None**

Ceiling:

1. Ceiling Joists Size: **16" x 16"** Spacing **16" O.C.**
2. Ceiling Strapping Size: **16" x 16"**
3. Type Ceiling: **None** Size **16" x 16"**
4. Insulation Type: **None**
5. Ceiling Height: **None**

Roof:

1. Truss or Rafter Size: **16" x 16"** Span **16'**
2. Sheathing Type: **None** Size **16" x 16"**
3. Roof Covering Type: **None**

Chimneys:

Type: **None** Number of Fire Places **None**

Heating:

Type of Heat: **None**

Electrical:

Service Entrance Size: **None** Smoke Detector Required **Yes** **No**

Plumbing:

1. Approval of soil test if required **Yes** **No**

2. No. of Tubs or Showers **None**

3. No. of Flushes **None**

4. No. of Lavatories **None**

5. No. of Other Fixtures **None**

Swimming Pools:

1. Type: **None**

2. Pool Size: **None** Square Footage **None**

3. Must conform to National Electrical Code and State Law.

Permit Issued

Signature: **Michael M. Mello** Date: **Dec 22, 1992**

CEO's District

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

PLOT PLAN



FEES (Breakdown From Front)
 Base Fee \$ _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type	Inspection Record	Date
Excav.		1 / 21 / 93
Frame		4 / 16 / 93
Cgo. 22		6 / 14 / 93

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT [Signature] ADDRESS 1111 Vestal Cir PHONE NO. 878-2721
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE NO. _____

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 8, 1993

Greater Portland Development Group
49 Roaring Brook Rd.
Portland, ME 04103

re: 173 Deepwood Dr.

Dear Sir:

Your application to construct a single-family dwelling with a two(2)-car attached garage has been reviewed, and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

SITE PLAN REVIEW REQUIREMENTS

Inspection Division - Approved - Wm. Giroux
Public Works - Approved with conditions (see attached conditions)
- M. Esterberg

BUILDING CODE REQUIREMENTS

Please read and implement items 1,2,6,7,8,9,10,12,13,14 and 15 of the attached Building Permit Report.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses, Chief of Inspection Services

cc: Wm. Giroux, Zoning Administrator
M. Esterberg, Planning Coordinator

lec

BUILDING PERMIT REPORT

ADDRESS: 173 Deepwood DR. DATE: 7/Jan/93
 REASON FOR PERMIT: TO Construct a single family dwelling with attached garage
 BUILDING OWNER: Greater Portland Dev. Group
 CONTRACTOR: Vesta Corp.

PERMIT APPLICANT: _____
 APPROVED: *1 *2 *6 *7 *8 *9 *10 *12 *13 *14 *15

CONDITION OF APPROVAL:

- * 1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection.)
- A 2.) Precaution must be taken to protect concrete from freezing.
- 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- * 6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- ✓ 7.) All single and multiple-station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code (BOCA National Building Code 1990, and N.F.P.A. 101 Chapter 18 & 19.

*8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

*9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 4 inches cannot pass through any opening. Handrails on stairs shall be no less than 34 inches nor more than 38 inches. Handrails within individual dwelling units shall not be less than 30 inches nor more than 38 inches. For more detail on guards & handrails see Article 8 section 824.0 and 825.0 of the BOCA National Building Code.

*10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year."

11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

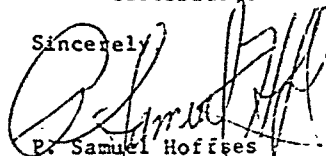
*12.) Stair construction in Use Group R-3, R-4, is a minimum of 9" tread and 8-1/4" maximum rise.

*13.) Headroom in habitable spaces is a minimum of 7'6".

*14.) The minimum headroom in all parts of a stairway shall not be less than 6 feet 8 inches.

*15.) All construction and demolition debris must be disposed at the RWS by a licensed carrier or solid waste at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final certificate of occupancy is issued or demolition permit is granted.

Sincerely,


P. Samuel Hoffes
Chief of Inspection Services

/el

11/16/88-11/27/90-8/14/91-9/2/92-10/14/92

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Greater Portland Development Group

Applicant

49 Roaringbrook Rd 04103

Mailing Address 49' x 26'

1-fam dwelling w garage - 22' x 24'

Proposed Use of Site

10,000 Sq Ft / 1,000 Sq Ft

Acreage of Site / Ground Floor Coverage

December 22, 1992

Date

193

169-175 Deepwoods Dr Know As 171

Address of Proposed Site

395-K-027

Site Identifier(s) from Assessors Maps

R-2

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number Floors 2

Board of Appeals Action Required: () Yes () No

Total Floor Area 2,350 Sq Ft

Planning Board Action Required: () Yes () No

Other Comments: contact person : Mike DiMillo 878-2721

Date Dept. Review Due:

M M S P Review

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- ☐ Use does NOT comply with Zoning Ordinance
- ☐ Requires Board of Appeals Action
- ☐ Requires Planning Board/City Council Action

Explanation

- ☐ Use complies with Zoning Ordinance — Staff Review. Below

Zoning:
SPACE & BULK,
as applicable

COMPLIES

COMPLIES
CONDITIONALLY

DOES NOT
COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS
SPECIFIED
BELOW

REASONS
SPECIFIED
BELOW

REASONS:

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

Applicant: Greater Portland Development Group
Address: 173 Deepwoods Drive
Assessors No.: 395-K-27
Date: 1-5-93

CHECK LIST AGAINST ZONING ORDINANCE

Date -
Zone Location - R2
Interior or corner lot -
Use - single
Sewage Disposal - city
Rear Yards - 44' 25' req.
Side Yards - 15' 14' and 12' req. on garage side
Front Yards - 30' 25' req.
Projections - none
Height - 2 story
Lot Area - 10,000
Building Area -
Area per Family - entire
Width of Lot - 100'
Lot Frontage - 100'
Off-street Parking - 2 cars
Loading Bays - N/A

Site Plan -

Shoreland Zoning -

Flood Plains -

1294.8
572
180
120
2167.4

92-713-MM

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Melodie Esterberg
- Planning

Greater Portland Development Group

Applicant

49 Portland Ave. 6-103

Mailing Address 49' x 20'

1-2nd dwelling - 22'4" x 20'

Proposed Use of Site:

10,000 sq ft / 1,000 sq ft

Acreage of Site / Ground Floor Coverage

December 22, 1992

Date

189-175 Greenwood Dr. Know As
2005-T-027

Site Identifier(s) from Assessors Maps

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors 4

Board of Appeals Action Required: () Yes () No

Total Floor Area 2,350 Sq Ft

Planning Board Action Required: () Yes () No

Other Comments: contact person : Mike DiMillo 878-2721

Date Dept. Review Due:

MAY 5 P Review

RECEIVED

DEC 22 1992

PORTLAND PLANNING OFFICE

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

APPROVED

APPROVED
CONDITIONALLY

DISAPPROVED

TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER

CONDITIONS
SPECIFIED
BELOWREASONS
SPECIFIED
BELOW

REASONS: please see attached conditions

(Attach Separate Sheet if Necessary)

PUBLIC WORKS DEPARTMENT COPY

SIGNATURE OF REVIEWING STAFF/DATE

Melodie Esterberg 12/30/92

Contact:
Mike DiMillo
878-2721

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: Greater Portland Development Group
ADDRESS: 44 Roaring Brook Rd Portland 04103
SITE ADDRESS/LOCATION: 173 Deepwood Dr.
DATE: Dec 30, 1992

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

- ☒ All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.
- ☒ Two (2) City of Portland approved species and size trees must be planted ^{or retained} on your street frontage prior to issuance of a Certificate of Occupancy.
- ☒ Your new street address is now 173 Deepwood Dr. the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- ☒ The Development Review Coordinator (874-8300, ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closings with these requirements in mind.
- ☒ A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300 ext 8838. The Sewer Division of Parks and Public Works (Jackie Wurslin at 797-5302) must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- ☐ As-built record information for sewer and storm service connections must be submitted to Parks & Public Works Engineering Division (55 Portland St.) and approved prior to issuance of a Certificate of Occupancy.
- ☐ A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible).

cc: P. Niehoff



173 DEEPWOODS DRIVE
cc
71
VESTA CORP.

GENERAL CONTRACTING

P.O. 1464, PORTLAND, MAINE 04104

PLOT PLAN DATA

LOT #28 PINELOCH WOODS

2 STORY COLONIAL HOUSE 49'10" x 26'0"

1 STORY GARAGE 22'2" x 24'0"

FRONT SET BACK-----30.0'

LEFT SET BACK-----15.0'

RIGHT SET BACK-----15.0'

REAR SET BACK-----44.0'

SEWER 40.0' FROM LEFT SIDE LINE

STORM 42.5' FROM LEFT SET BACK

WATER 45.0' FROM LEFT SET BACK

SILL ELAVATION OF HOUSE- 2.5' ABOVE STREET ELAVATION

SILL ELAVATION OF GARAGE- 1.5' ABOVE STREET ELAVATION

FRONT ELAVATION OF LOT--FROM 1.5' ABOVE STREET ELAVATION AT FOUNDATION
SLOPING FORWARD TO LEVEL OF SIDEWALK

SIDE ELAVATION OF LOT--FROM 1.5' ABOVE STREET ELAVATION SLOPING TO-
WARDS REAR OF LOT TO 2.0' BELOW STREET ELAVATION

REAR ELAVATION OF LOT--FROM 2.0' BELOW STREET ELAVATION TO 4.0' BE-
LOW STREET ELAVATION

JAN-27-1993 09:06 FROM Smithwick & Clarke

TO

8748549

P.01



VESTA CORI

P.O. 1464, PORTLAND, MAINE

PostNet brand fax transmittal memo 7671		# of pages > 1
To	Bill Groux	From
Co.		Co.
Dept.		Phone #
Fax #		Fax #

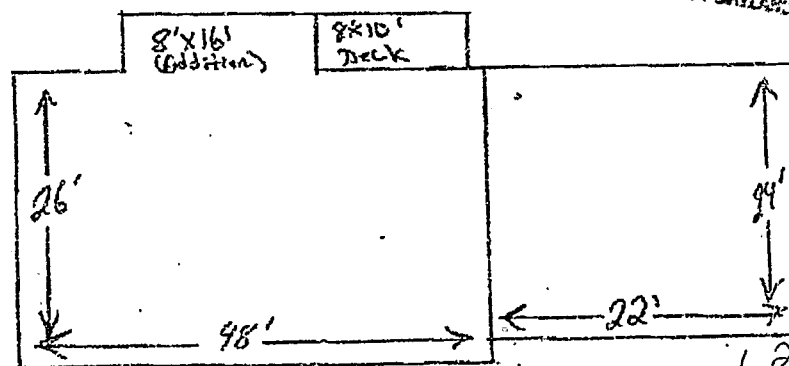
Lot # 28 Pinelak Woods

171-173 Deepwades Drive

Plot PLAN SHOWING total Coverage
of base to lot

JAN - 7 RECD

DEPT OF PUBLIC WORKS
CITY OF PORTLAND



128
80
1,248 ft
528
1984 ft

NOT TO Exceed 2,000 Sq. Ft
to Comply with 20% Rule

TOTAL P.01

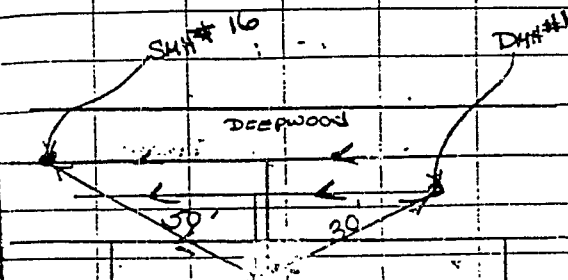
Lot #28 DEERWOOD

green pipe sewer

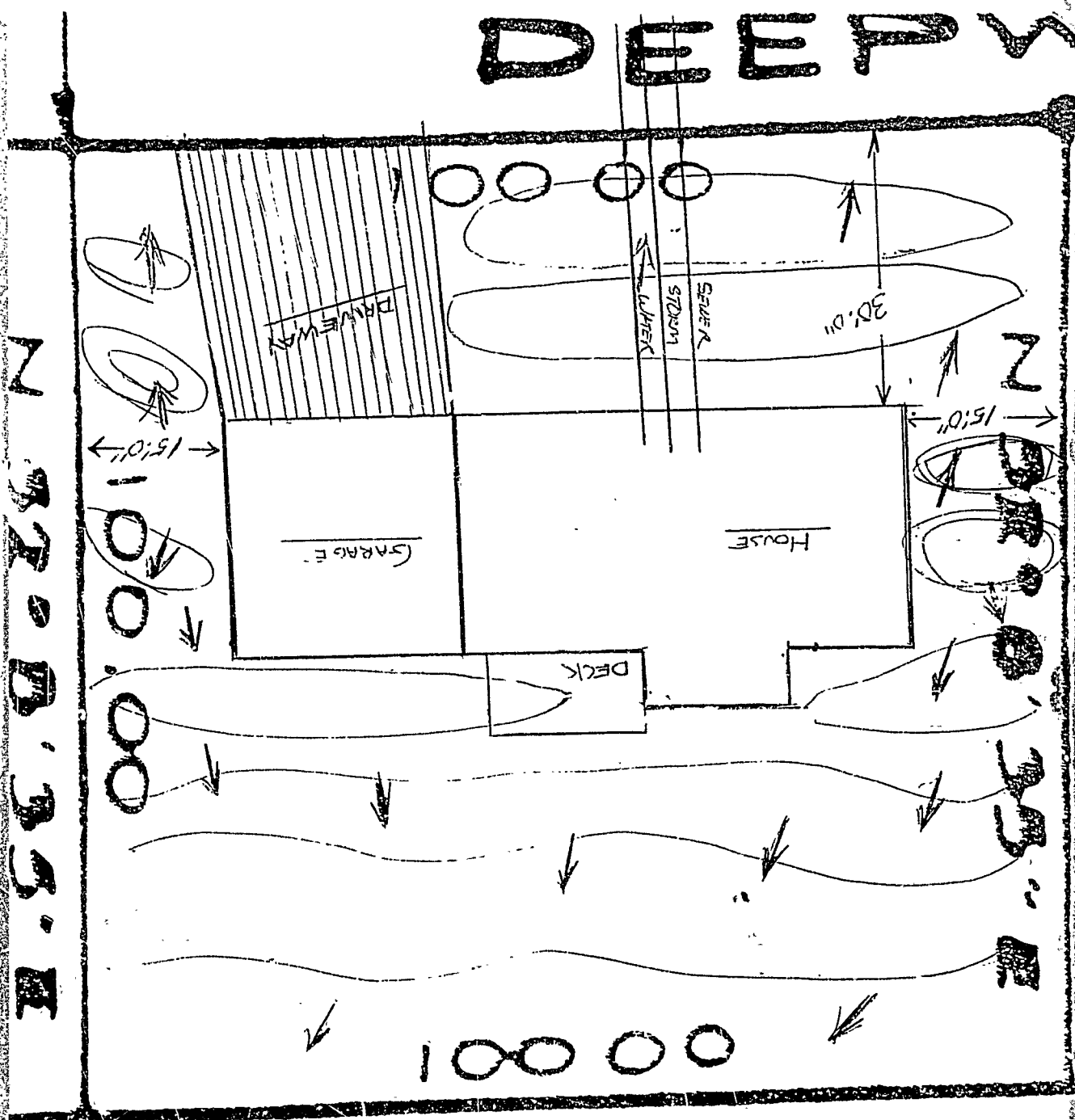
white pipe storm

59' From SHH #16

30' From DMH #19



DEEP



N 32° 08' 33" E

S 27° 51' 23" W

52

SCALE { 1" = 12.66'
1" = 1.27'



SHINGLES

1" CONT. SKEDGED VENT

REPAIR - 1/2" x 1/2"

SHINGLES

SHINGLES

1" EVEL. BOARD

1/2" REPAIR CUTTER

1" CONT. VENT

7/8" x 6" CEILING

CEILING PLATE

10" x 12" CONC. FLOOR

STEEL FLOOR

ELEVATION



FRONT ELEVATION

SCALE 1/4" = 1'-0"

ASPHALT SHINGLES

1" CONT. SCREENED VENT

REAR WALL

ASPHALT SHINGLES

4" LEVEL SIDING

FL

6" ALUM GUTTER

1" CONT.

2/4" x 6" C.E.

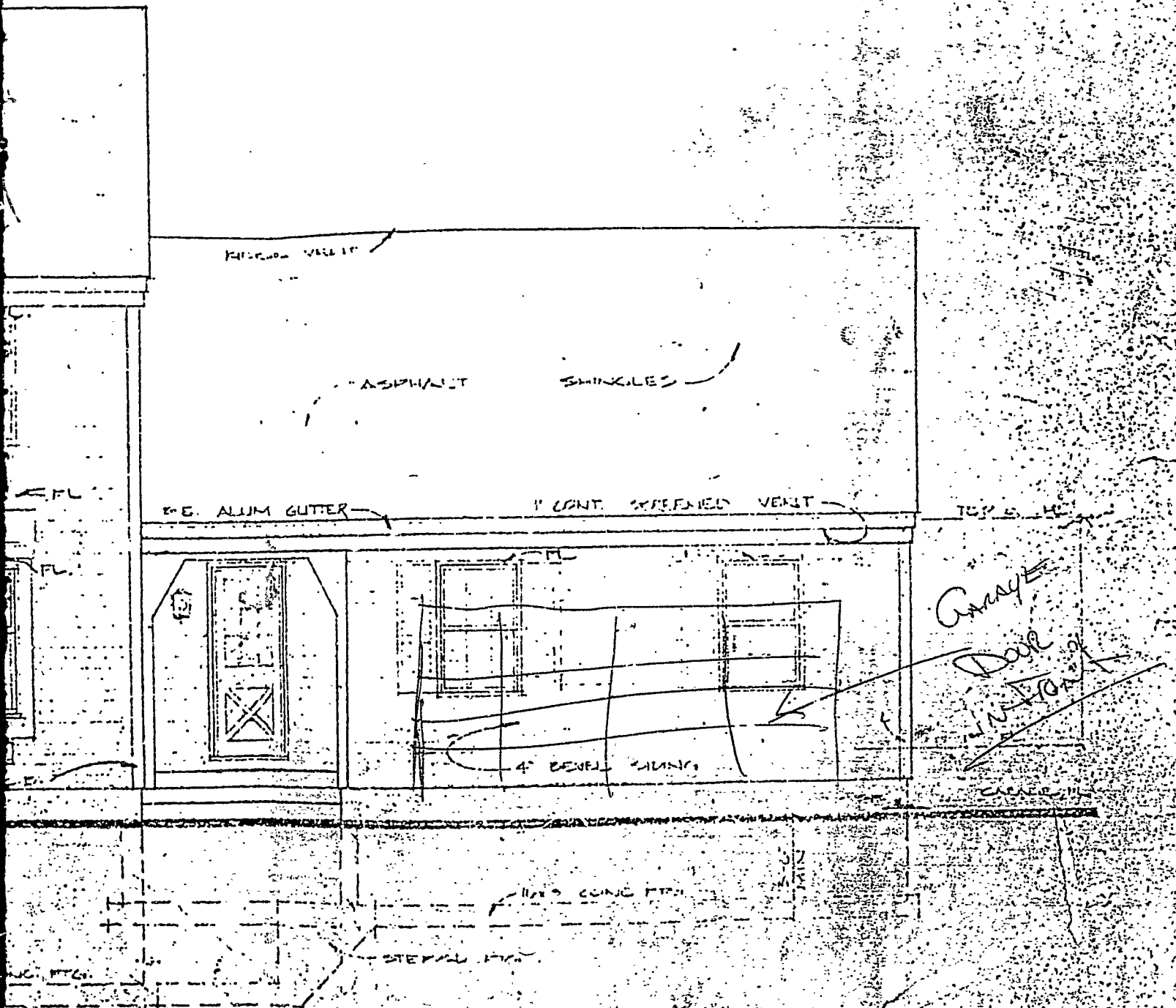
CEMENT WALK

10" x 12" CONC. FTG.

STEEL

ELEVATION

RESIDENCE FOR



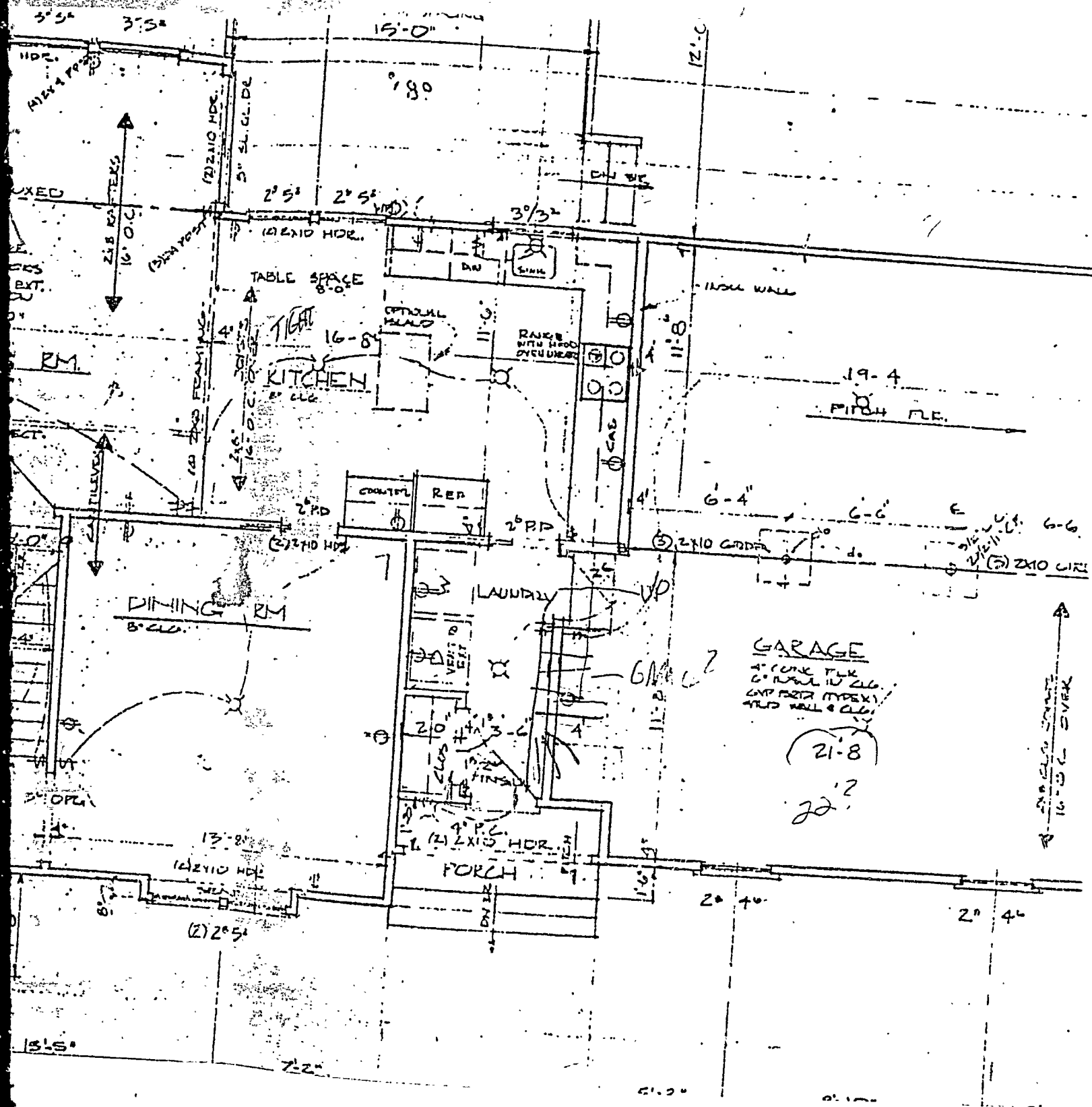
FOR

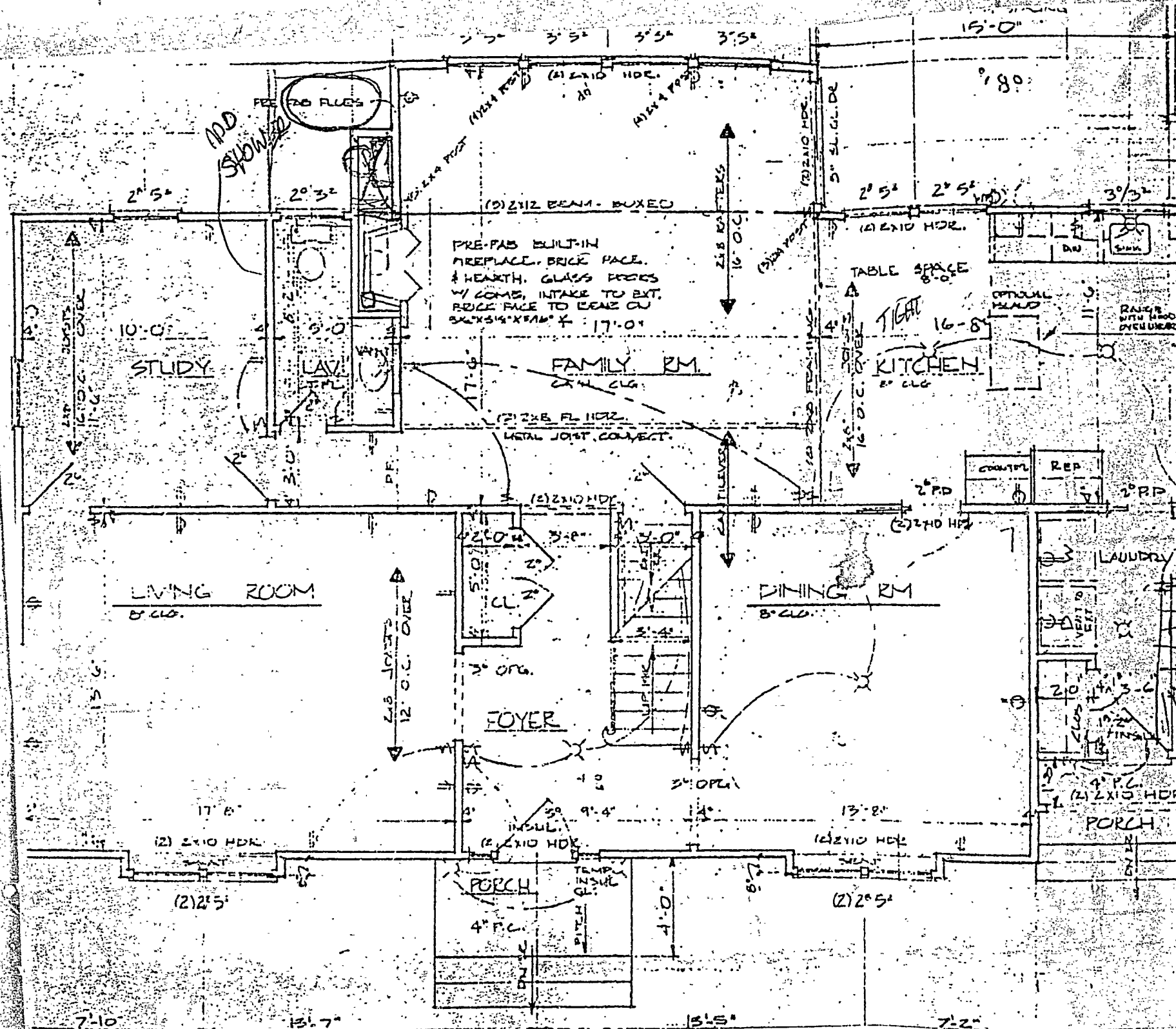
REVISIONS

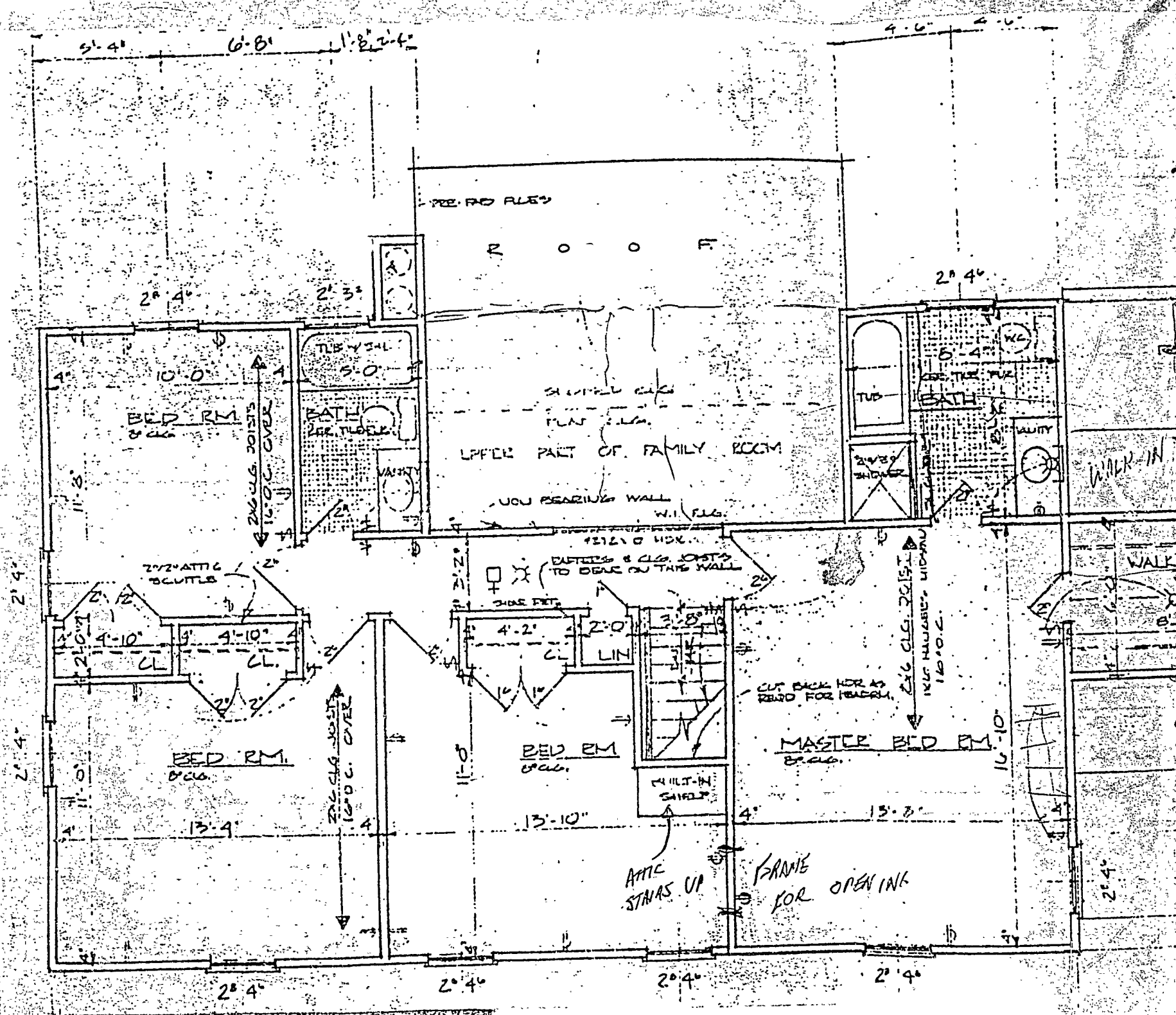
REV. 10/9/74

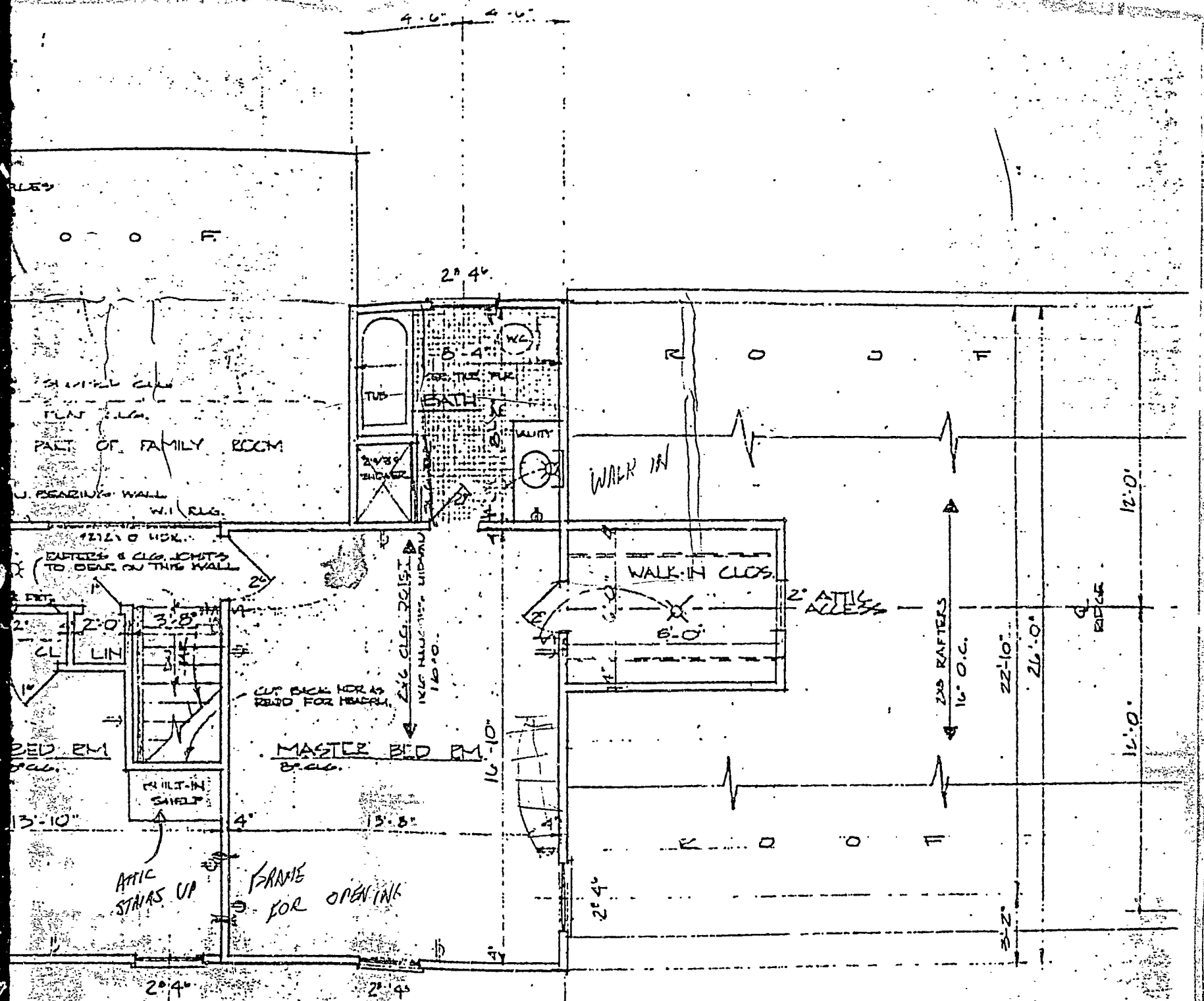
DATE 7/12/74

79109









PROPERTY FOR EXTENSION

UNEXCAVATED

19-01

SEE 1ST FL. FOR
FTR INFORMATION

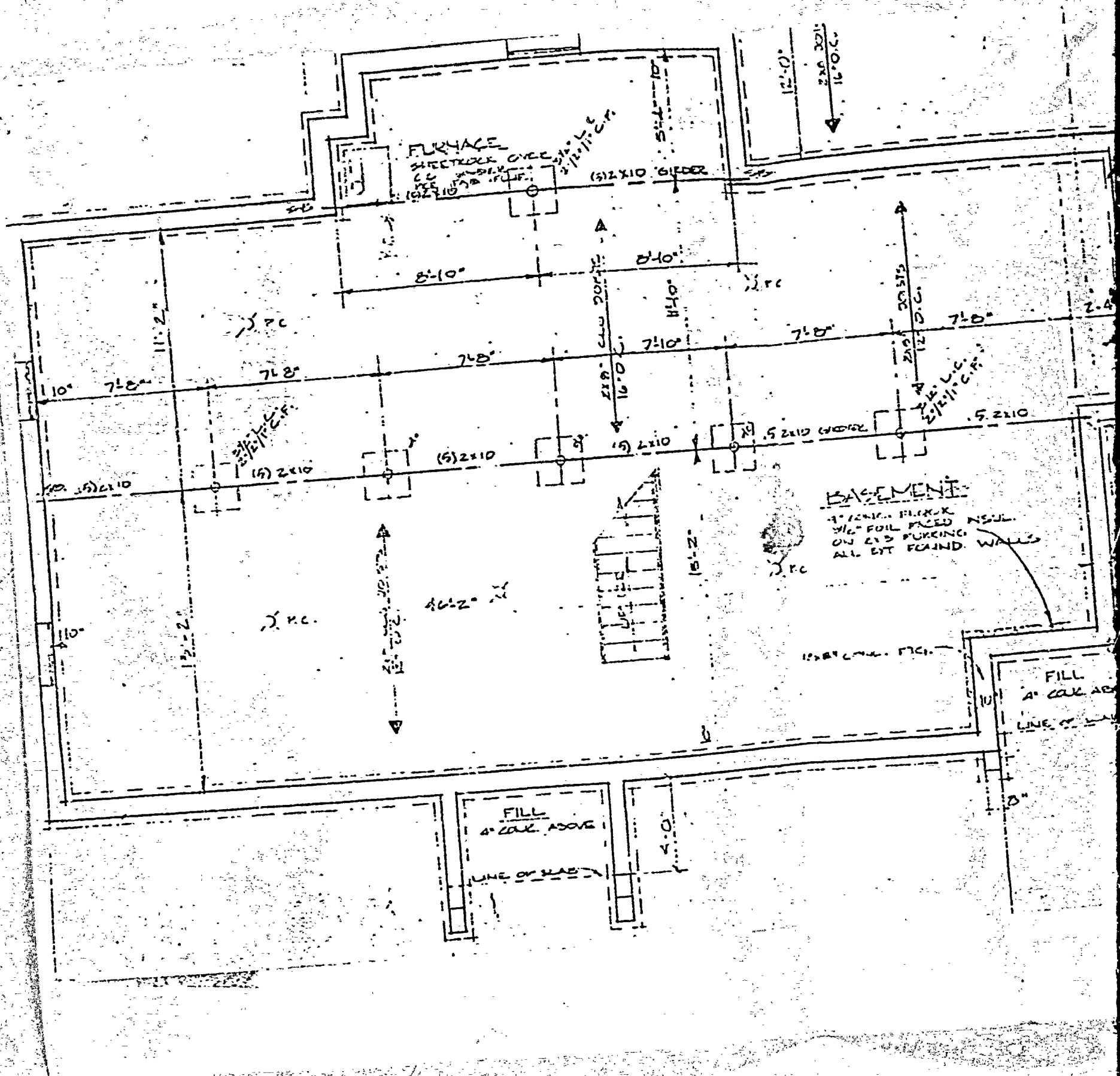
ZIL 4-

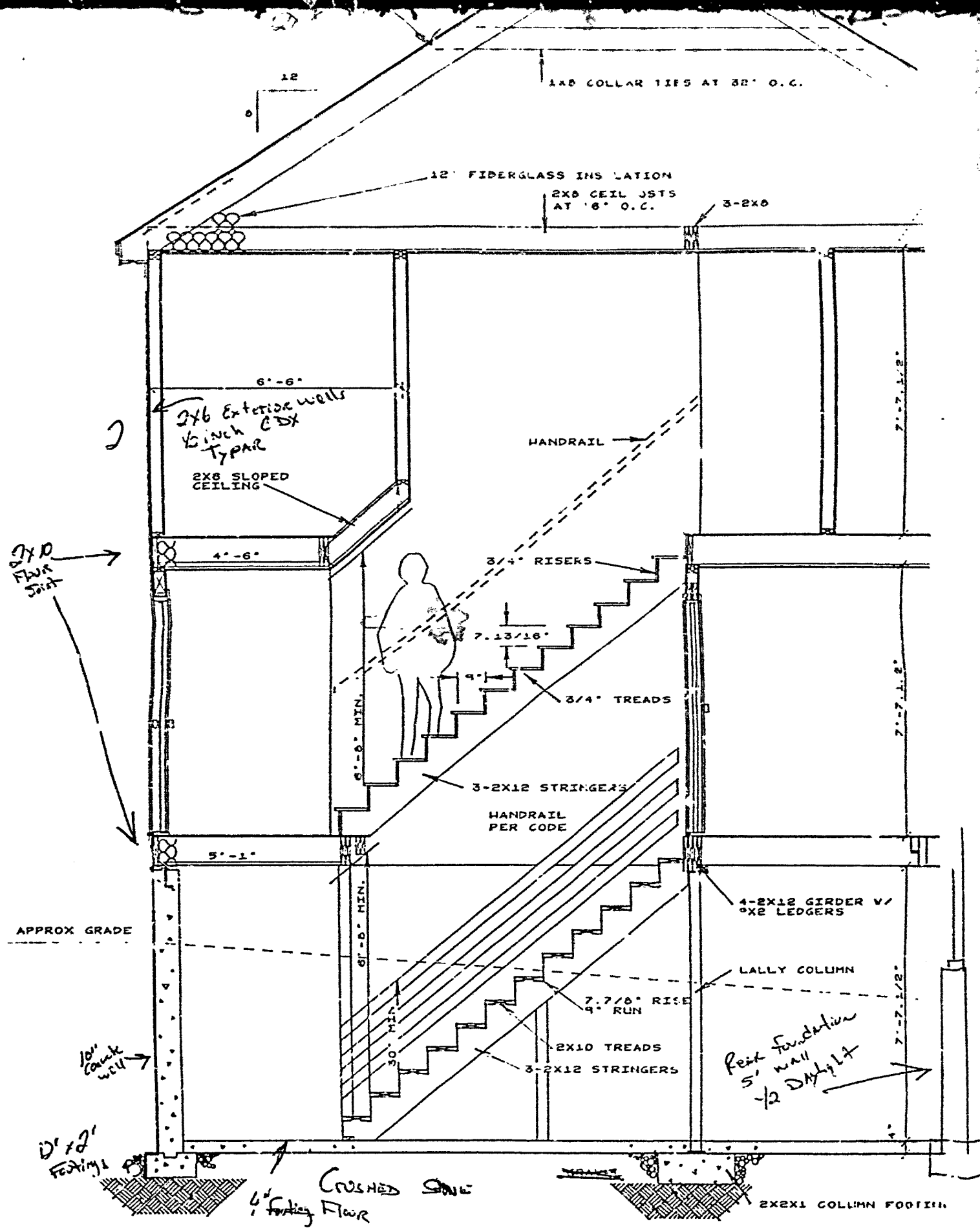
23" COAL CLK. .
16x7" CAN. FIG.

FILL
A. COUN. ABOVE
LINE OF WALS D.

BASEMENT:

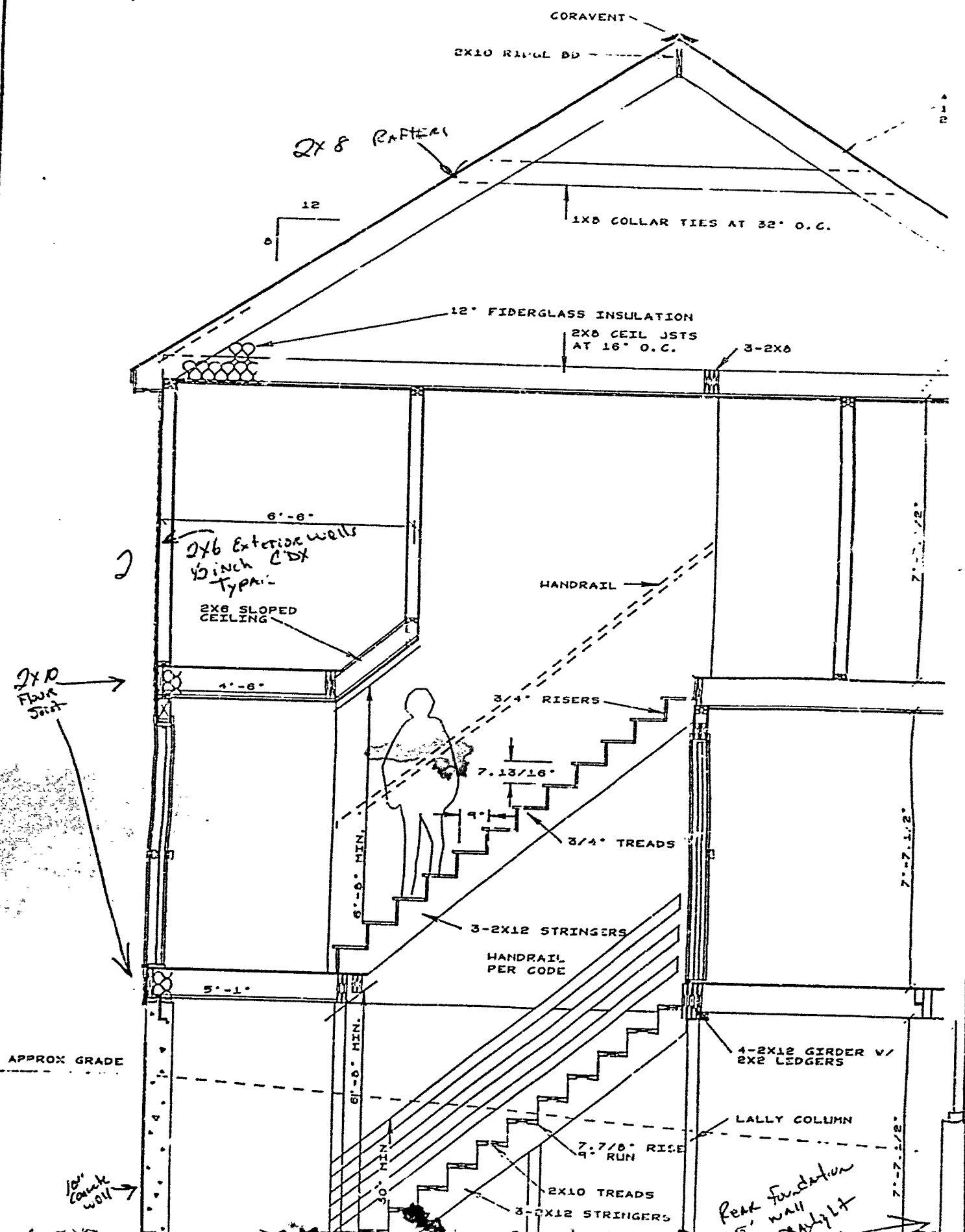
4" MIN. FLEX. 1/2" FOIL FACED INSUL.
ON E13 FLOORING.
ALL EXT. EXTERND. WALLS





HOUSE SECTION

SCALE: 3/8" = 1'-0"





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date January 29, 1993, 19__
Receipt and Permit number 0626

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 173 Deepwoods Drive

OWNER'S NAME: Vesta Corp ADDRESS: _____

	FEES
OUTLETS:	
Receptacles <u>70</u> Switches <u>40</u> Plugmold _____ ft. TOTAL _____	22.00
FIXTURES: (number of)	
Incandescent <u>18</u> Fluorescent _____ (not strip) TOTAL _____	3.60
Strip Fluorescent _____ ft. _____	
SERVICES:	
Overhead _____ Underground <u>x</u> Temporary _____ TOTAL amperes <u>100</u>	15.00
METERS: (number of) <u>1</u>	1.00
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ <u>x</u> Water Heaters _____	
Cook Tops _____ Disposals _____ <u>x</u>	
Wall Ovens _____ Dishwashers _____ <u>x</u>	
Dryers _____ <u>x</u> Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	8.00
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____ DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____	
TOTAL AMOUNT DUE: _____	49.60

INSPECTION: Temporary Ready Now

Will be ready on _____, 19__; or Will Call x

CONTRACTOR'S NAME: Place Electric

ADDRESS: 166 Summit St

TEL: 797-9954

MASTER LICENSE NO.: 10626

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

Charles W. Olan

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 6626

Location { 13-A/517, 265027-2

Owner West Corp

Date of Permit Jan 1 1962

Final Inspection 2/29/12

By Inspector W. J. Jones

Permit Application Register Page No. 1

INSPECTIONS: Service 1-29-93 by SPB
Service called in 10:30 AM
Closing-in 4-26-93 by SPB

PROGRESS INSPECTIONS: _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____

DATE:

REMARKS:

[illegible]

