

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number 010786

PERMIT ISSUED

JUN - 4 2008

CITY OF PORTLAND

This is to certify that SULLIVAN PETER E & JUDITH ANNE ITS/David Holme
has permission to 571.5 sq ft addition in back of house -Master bedroom, office & bath

AT 72 PINELOCH DR 395 K008001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

6/3/08 City of Portland
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0485	Issue Date: 6/3/08	CBL: 395 K008001
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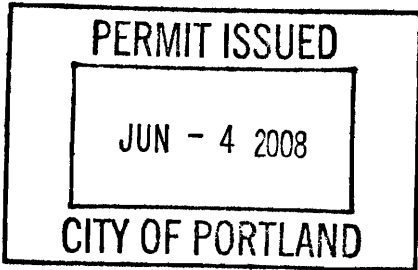
Location of Construction: 72 PINELOCH DR	Owner Name: SULLIVAN PETER E & JUDITH	Owner Address: 72 PINELOCH DR	Phone:
Business Name:	Contractor Name: David Holmes	Contractor Address: 467 Auburn St Portland	Phone: 2074156682
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home - remove rear deck and add 571.5 sq ft addition in back of house -Master bedroom, office & 3/4 bath	Permit Fee: \$720.00	Cost of Work: \$70,000.00	CEO District: 5
Proposed Project Description: Remove rear deck and add 571.5 sq ft addition in back of house -Master bedroom, office & 3/4 bath		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B IRL-2003	
		Signature: 6/3/08 CE		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 05/08/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/23/08	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Lot - 100' x 100'

use for setbacks

see plans revised
received 5/22/08 400/55

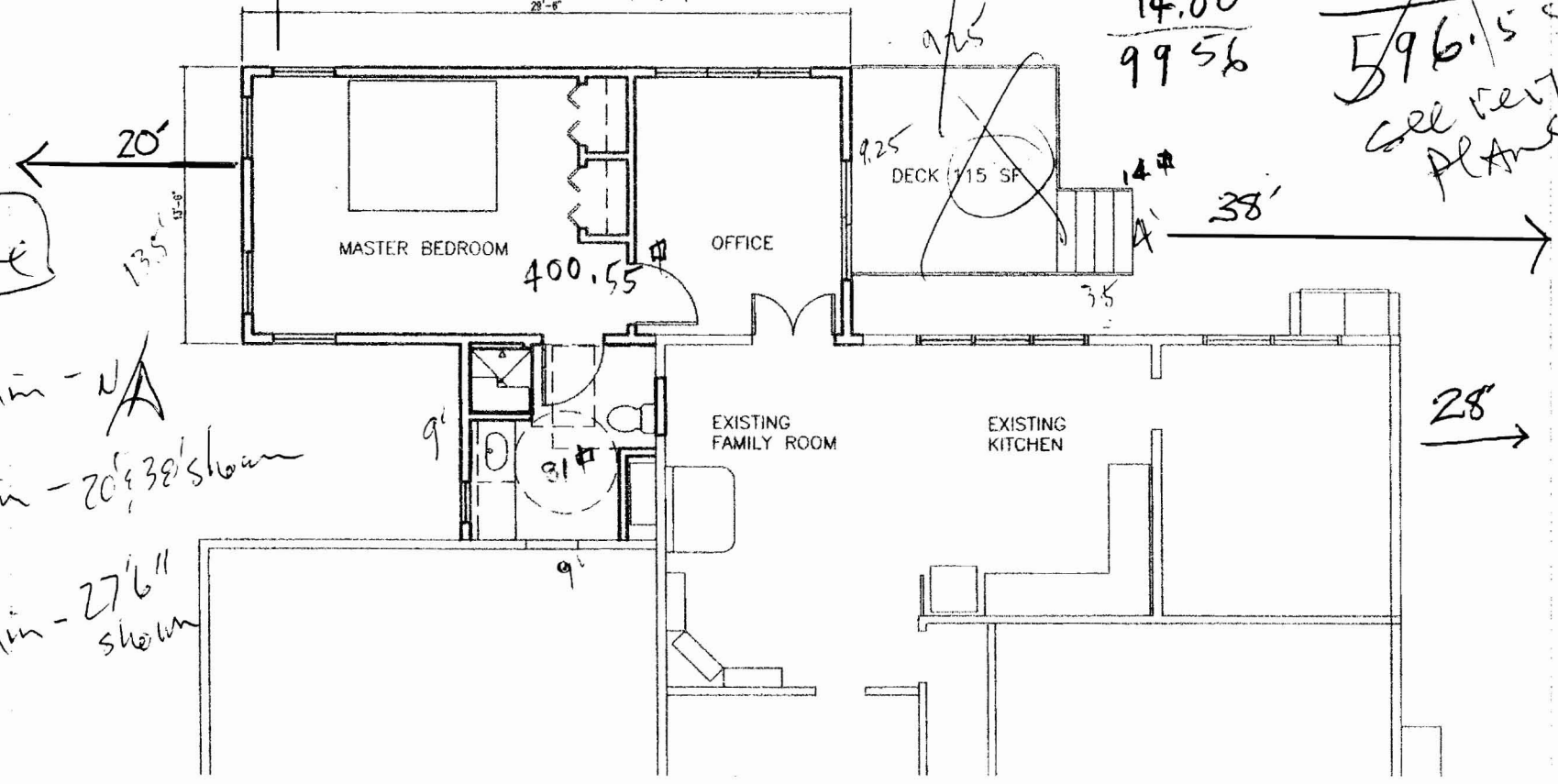
27'6" 485 SF ADDITION

$$\begin{array}{r}
 9.25 \times 9.25 = 85.56 \\
 14.00 \\
 \hline
 99.56
 \end{array}$$

$$\begin{array}{r}
 400 \\
 115 \\
 8 \\
 \hline
 596.55 \\
 \text{see revised} \\
 \text{plans}
 \end{array}$$

R-2 Zone

Front: 25' min - NA
 Side: 12' min - 20' & 38' shown
 1st story
 Rear: 25' min - 27'6" shown



72 Pinebrook Dr.

SULLIVAN ADDITION

Carol Gillis -
699-3300 Arch.

4/2/08 1/8" = 1'-0"
Not quite done

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0485	Date Applied For: 05/08/2008	CBL: 395 K008001
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Location of Construction: 72 PINELOCH DR	Owner Name: SULLIVAN PETER E & JUDITH	Owner Address: 72 PINELOCH DR	Phone:
Business Name:	Contractor Name: David Holmes	Contractor Address: 467 Auburn St Portland	Phone (207) 415-6682
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - remove rear deck and add 571.5 sq ft addition in back of house -Master bedroom, office & 3/4 bath	Proposed Project Description: Remove rear deck and add 571.5 sq ft addition in back of house - Master bedroom, office & 3/4 bath
--	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 05/23/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. It is understood that NO KITCHEN FACILITIES shall be added in this addition. 4) This permit is being approved on the basis of revised plans submitted on 5/22/08. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 06/03/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Fastener schedule per the IRC 2003 2) This permit is issued based on the plans submitted. Variations in actual construction that effect grades may change the requirements for handrails and guards. 3) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process. 			

Comments:
5/12/2008-mes: I spoke with David Holmes - this project puts the lot coverage ratio over the 20% allowed in the R-2 Zone. A maximum of 2,000 sq. ft is allowed - I tally up 2,217.11 sq. feet. David said that Carol Gillis did the design. She will call me - permit is on hold. Carol Gillis stated that there was a previous permit on file for a 600 sq foot deck. - the assessors are showing only a 482 sq. ft deck. I asked Carol G. If she had a survey of what exists now that she could fax me.
5/23/2008-mes: On May 20th David Holmes gave me a schematic that shows the existing deck (including stairs) 571.5 sq ft in size and is currently over the minimum lot coverage for this zone. This deck will be removed and replaced with the same size addition. Carol Gillis will send me revised floor plans - which she did late on 5/22/08 showing that the new addition including stairs will be 571.5 sq ft in size.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

David Holmes
Signature of Applicant/Designee

6/4/08
Date

Signature of Inspections Official

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>72 Pinebeck Dr.</u>		
Total Square Footage of Proposed Structure/Area <u>485 sq ft</u>		Square Footage of Lot <u>10,000</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer* Name <u>Peter Sullivan</u> Address <u>72 Pinebeck Dr.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: _____
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>70,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>485 sq. ft addition in back of house.</u> <u>Included: Masterbedroom, office, + 3/4 bathroom.</u>		
Contractor's name: <u>David Holmes</u> Address: <u>467 Auburn St.</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>415-6682</u> Who should we contact when the permit is ready: <u>David Holmes</u> Telephone: <u>" "</u> Mailing address: <u>Same</u>		

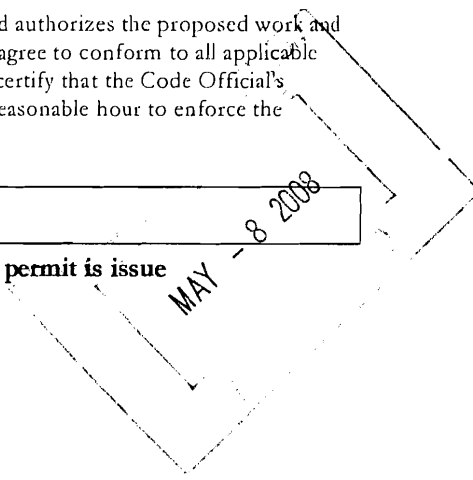
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

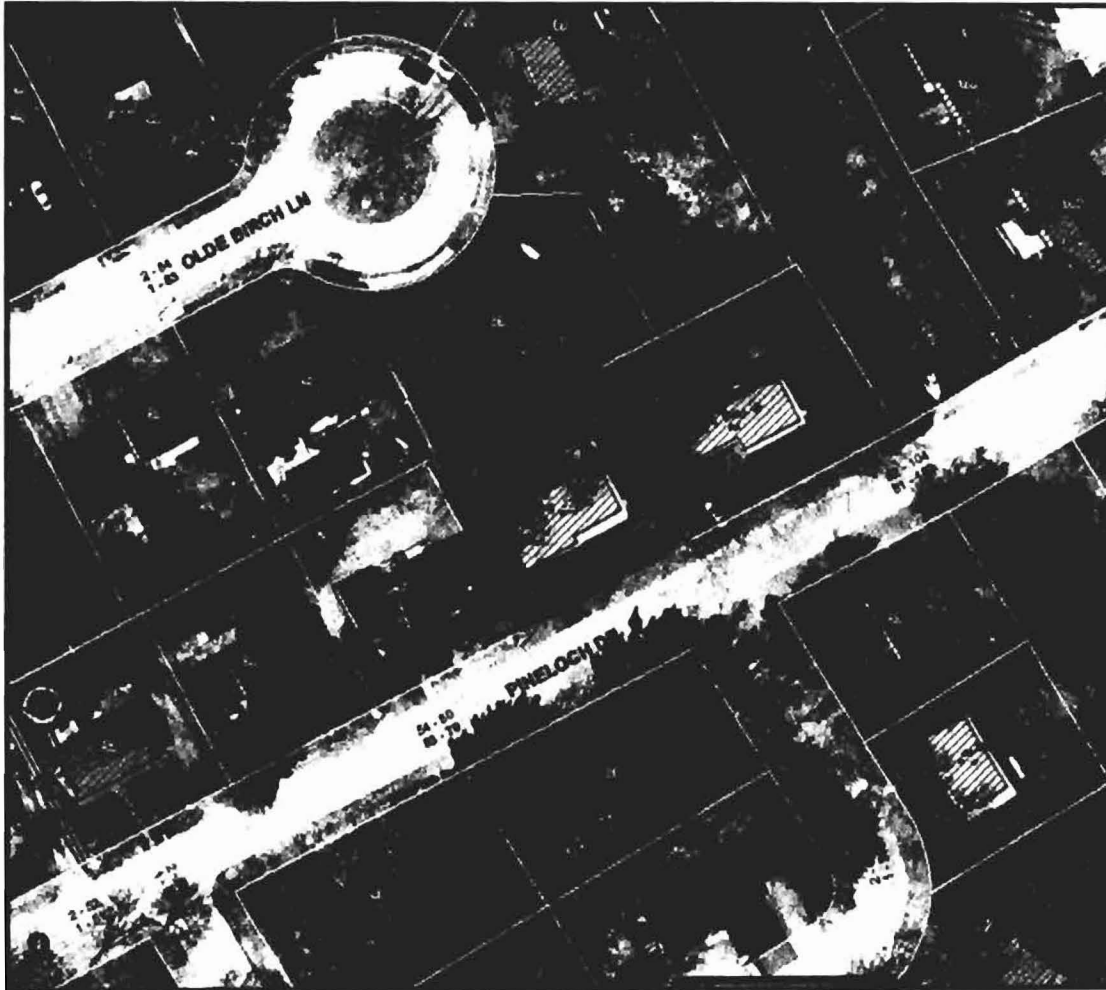
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: David Holmes Date: 5/8/08

This is not a permit; you may not commence ANY work until the permit is issued



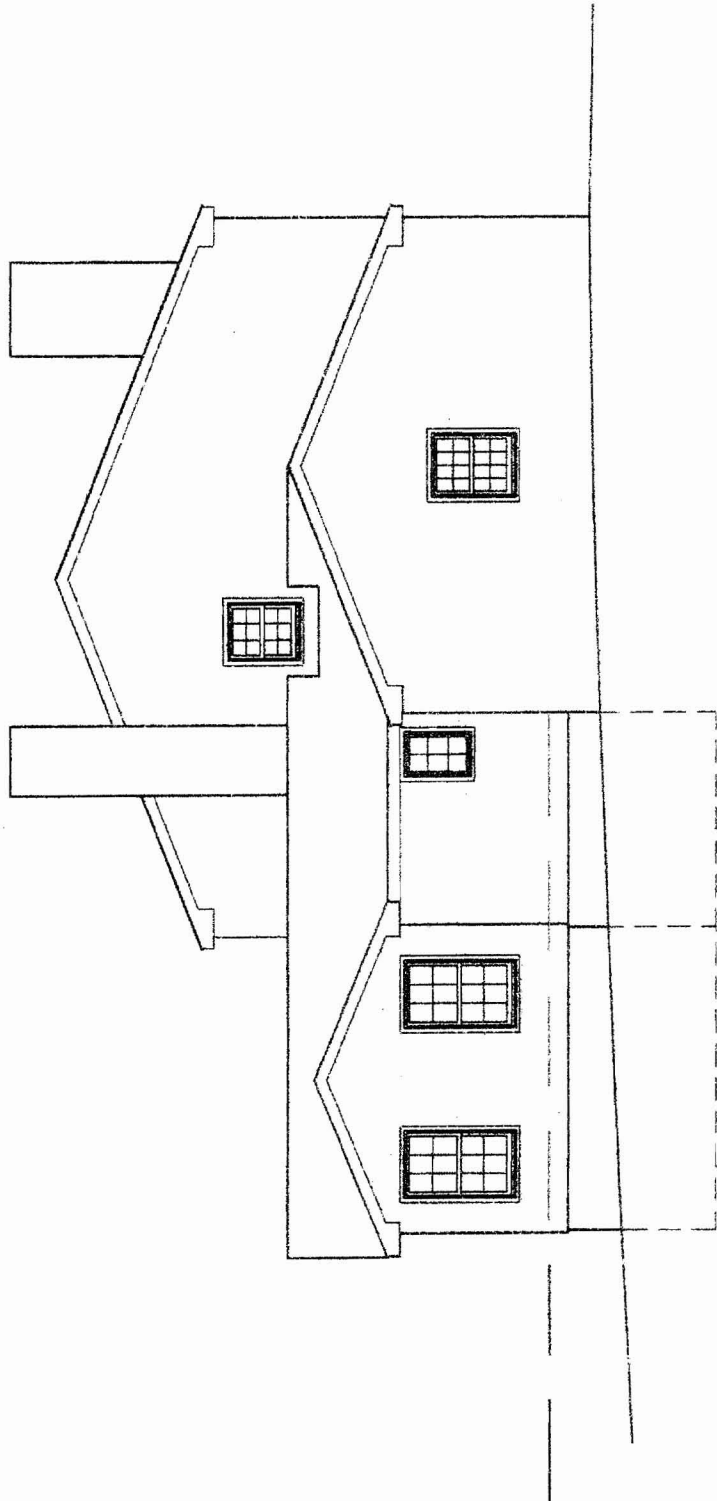


City of Portland
GIS



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389 Congress St.
Portland, Maine
04101

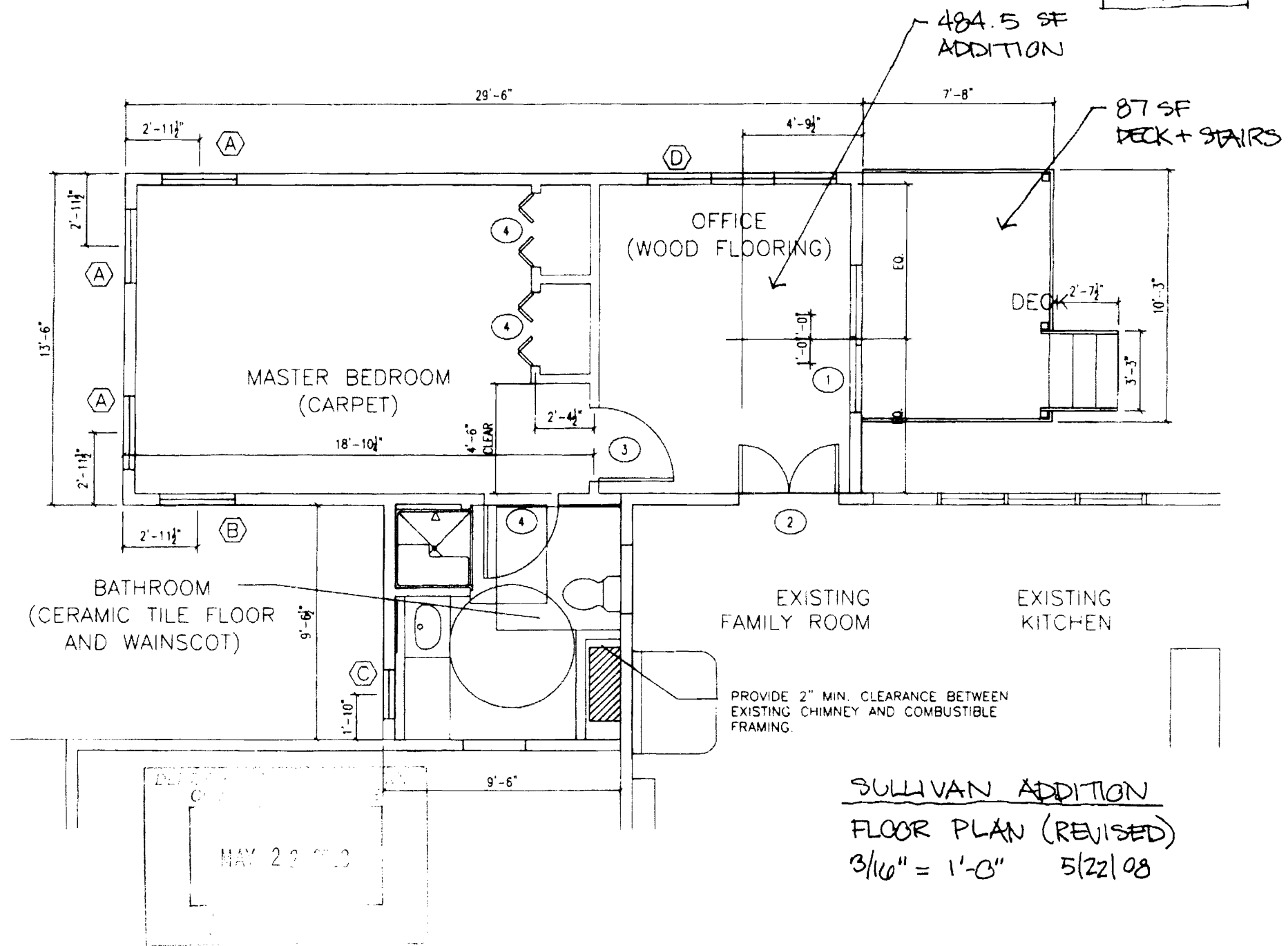


SULLIVAN
ADDITION
4/2/08 1/8" = 1'-0"



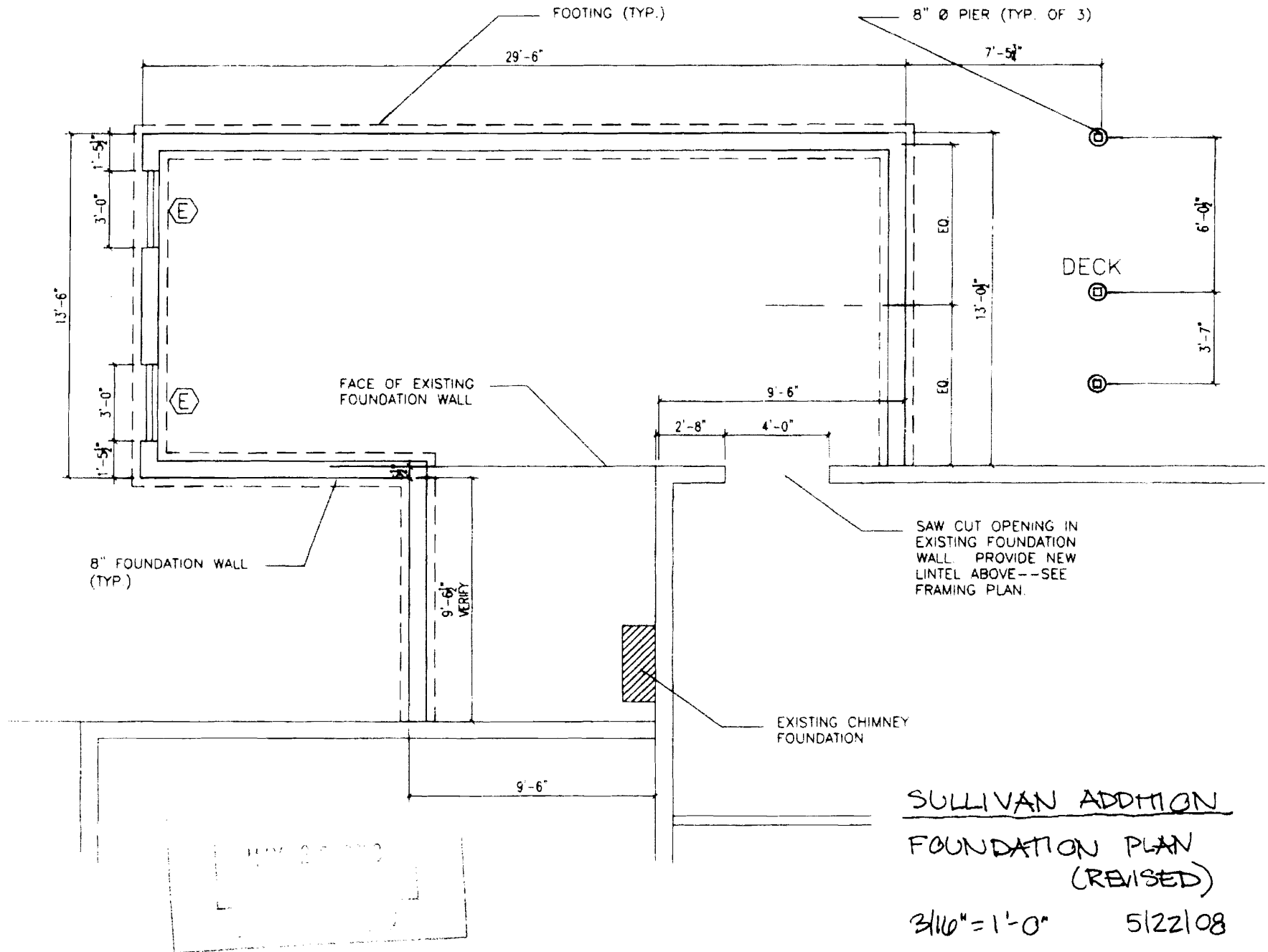
Revised Plans for size

571.5 SF
TOTAL



SULLIVAN ADDITION
FLOOR PLAN (REVISED)
3/16" = 1'-0" 5/22/08

Revised Plans for size

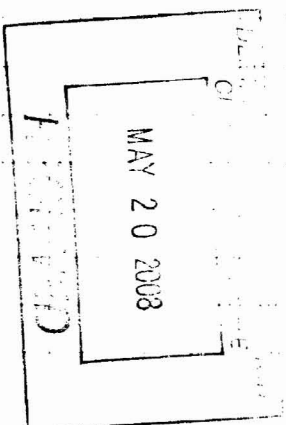
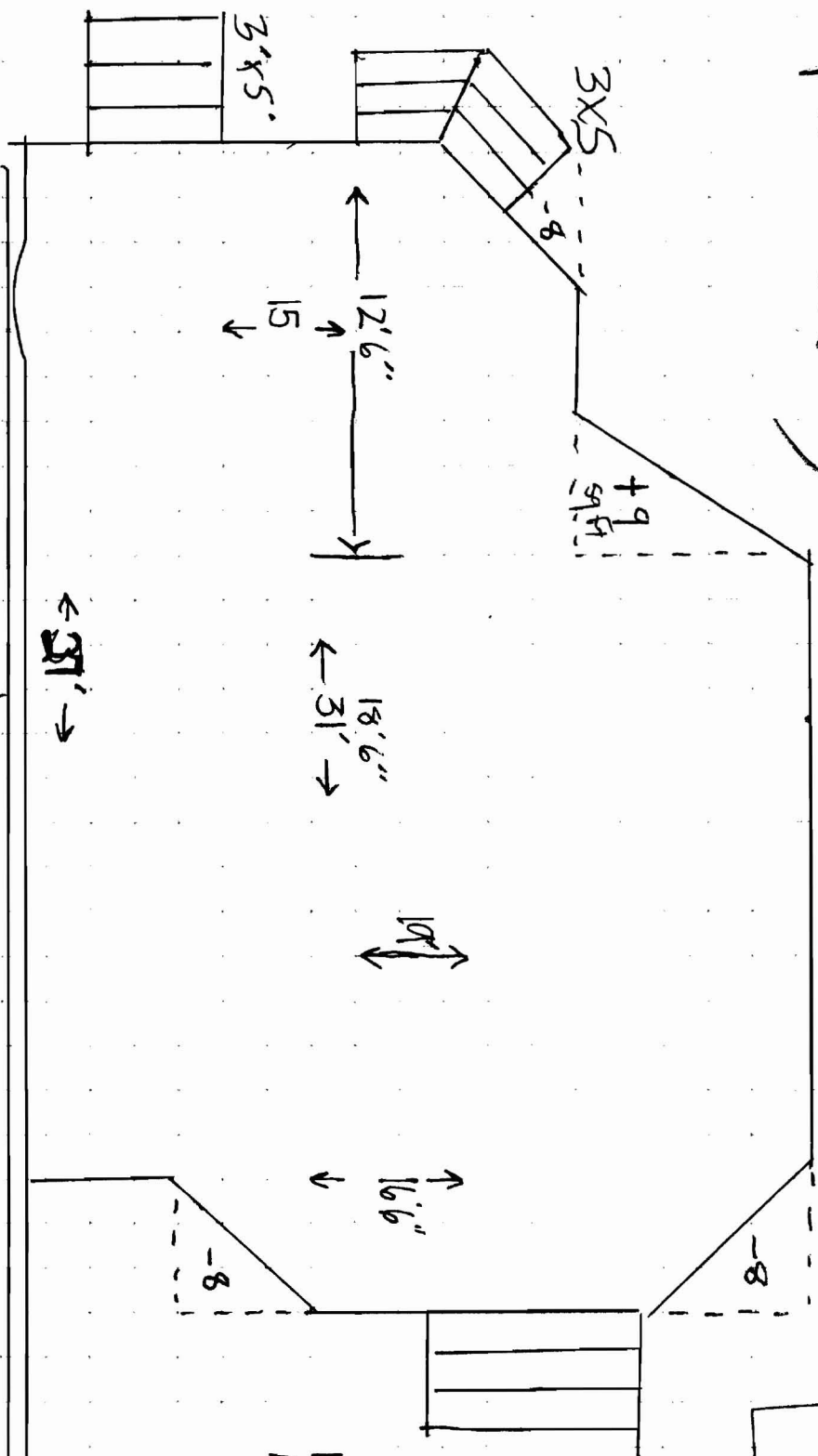


Sullivan Residence

David Holmes 415-6682

Pinebeck Dr.

Our Mural like Shows A permit issued in 1986 for a 20' x 30' deck (no plans shown)



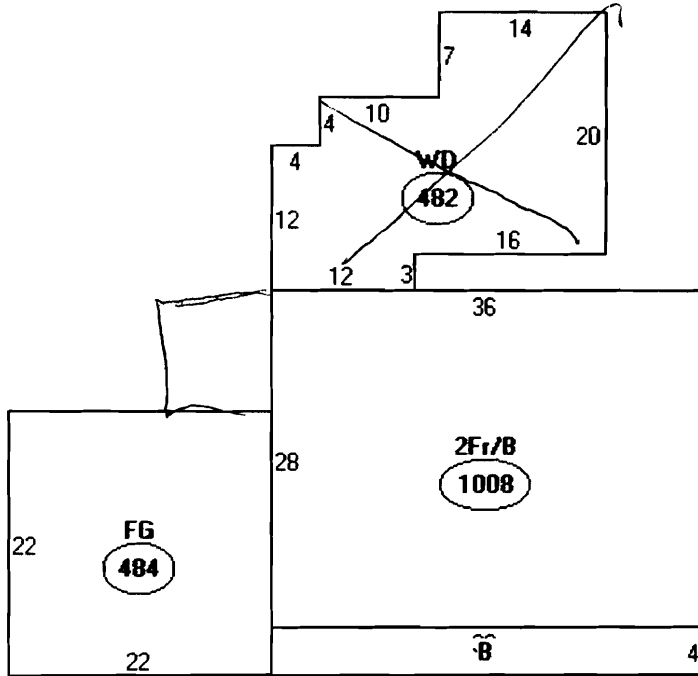
$12'6" \times 15' = 187.5 \text{ sq. ft.}$
 $18'6" \times 19' = 351.5$

Stairs
 15
 15

586.5 sq. ft.
 $+ 9$
 595.5
 $- 24$
 571.5

House
 Existing

built 1987



Descriptor/Area

A: 2Fr/B	1008 sqft	1008
B: OFP	144 sqft	144
C: FG	484 sqft	484
D: WD	482 sqft	482

2118.4

1636 existing
~~2118.4~~
 $85.56 = 9.25 \times 9.25$
 $14 = 3.5 \times 4$
 $81 = 9 \times 9$
 $400.55 = 13.5 \times 29.67$

$10,000 \text{ sq ft} \times 20\% = 2000 \text{ sq ft}$ max lot cov. NO

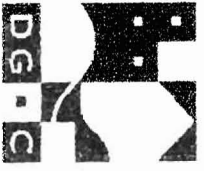
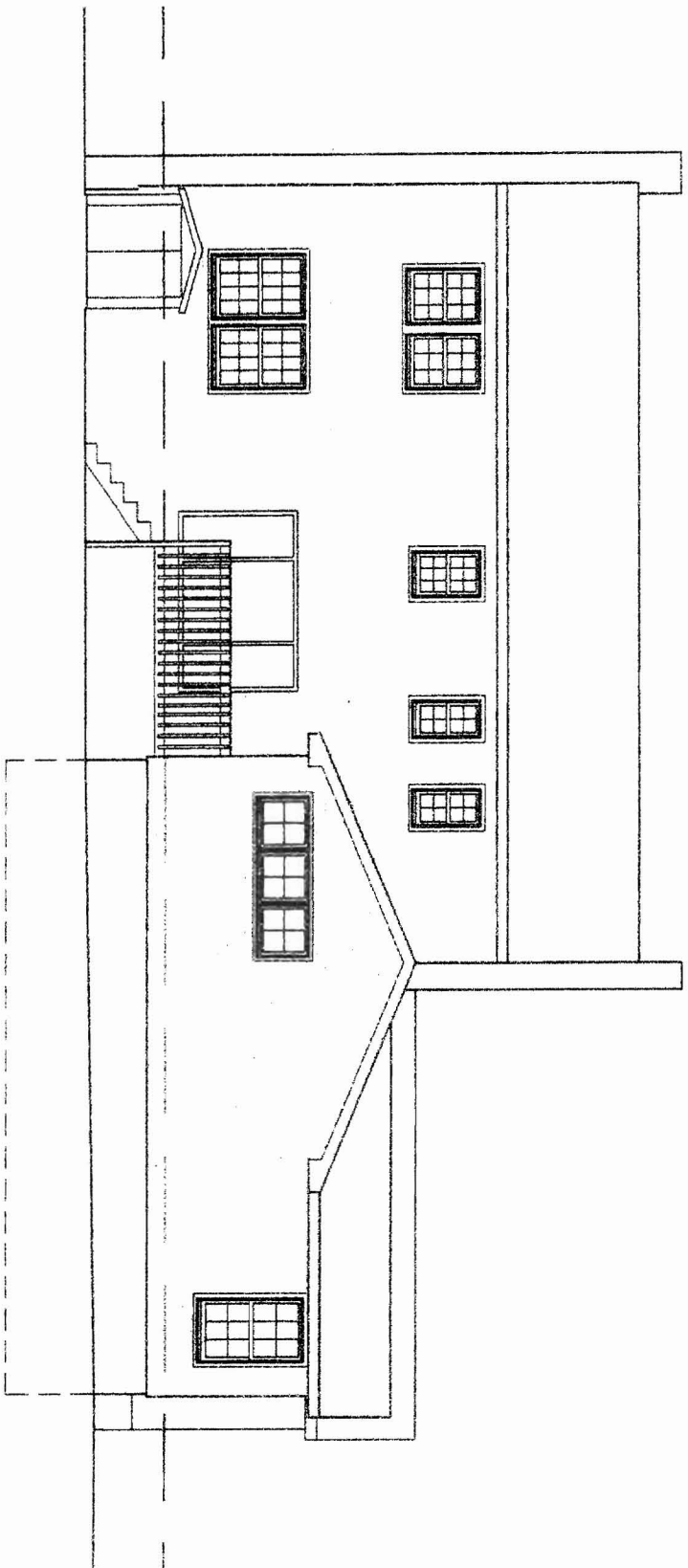
R-2 Zone

Front - 25' min - N/A
 Rear: 25' min - 27'6" given
 Side: 12' min - 20' & 38' given

single story

1008
484
144
571.5
<hr/>
2207.5

replacing exactly 571.5 sq ft
 & removing old Deck
 which was approved in 1986 -
 no increase in the lot coverage



SULLIVAN
ADDITION

4/2/08

1/8" = 1'-0"

2 X 6 RAFTERS. SEE ROOF FRAMING PLAN FOR RAFTER SPACING. TIE TO CEILING JOISTS.

2" PROPA-VENT

(2) 2X6 TOP PLATE

TRIM TO MATCH EXISTING CONTINUOUS SOFFIT VENT

HEADERS AS REQUIRED, WITH 2" THICK RIGID INSULATION.

1/2" GYP. BD. CEILING OVER 6 MIL. POLY VAPOR BARRIER

12" THICK UNFACED FIBERGLASS BATT INSULATION (R-38)

2 X 6 CEILING JOISTS @ 16" O.C.

5/8" PLYWOOD SHEATHING WITH AIR INFILTRATION BARRIER

2 X 6 STUDS @ 16" O.C. WITH 5 1/2" THICK UNFACED INSULATION (R-21)

1/2" GYP. BD. OVER 6 MIL. POLY VAPOR BARRIER

SIDING MATERIAL TO BE CEDAR SHINGLES, REDWOOD OR CEDAR CLAPBOARD, OR VINYL SIDING, AS SELECTED BY OWNER.

(2) 2 X 6 SUB-SILL AT WINDOW LOCATIONS

2 X 6 SOLE PLATE

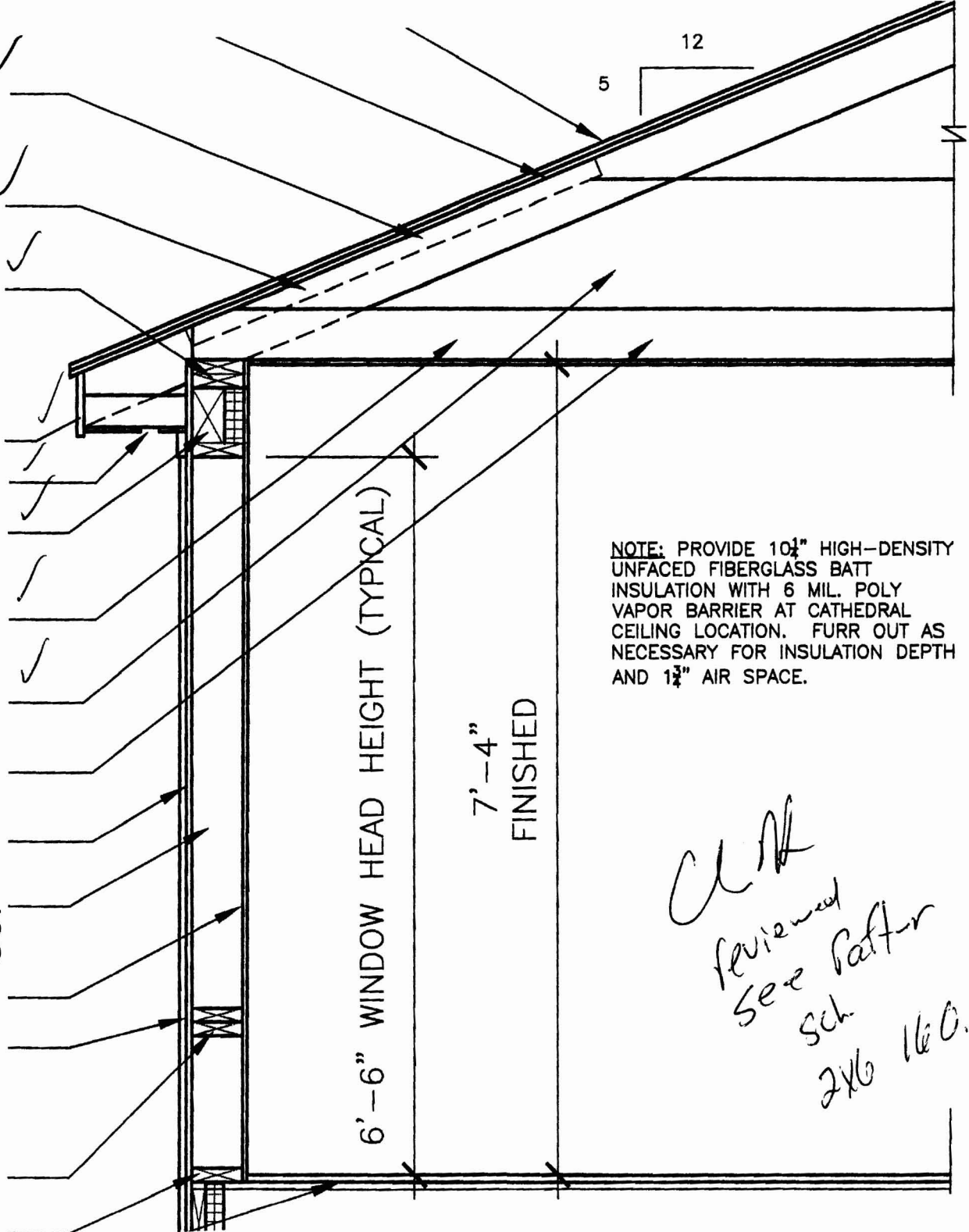
5 12

6'-6" WINDOW HEAD HEIGHT (TYPICAL)

7'-4" FINISHED

NOTE: PROVIDE 10 1/2" HIGH-DENSITY UNFACED FIBERGLASS BATT INSULATION WITH 6 MIL. POLY VAPOR BARRIER AT CATHEDRAL CEILING LOCATION. FURR OUT AS NECESSARY FOR INSULATION DEPTH AND 1 1/2" AIR SPACE.

CLM reviewed see Rafter sch 2x6 16" O.C.

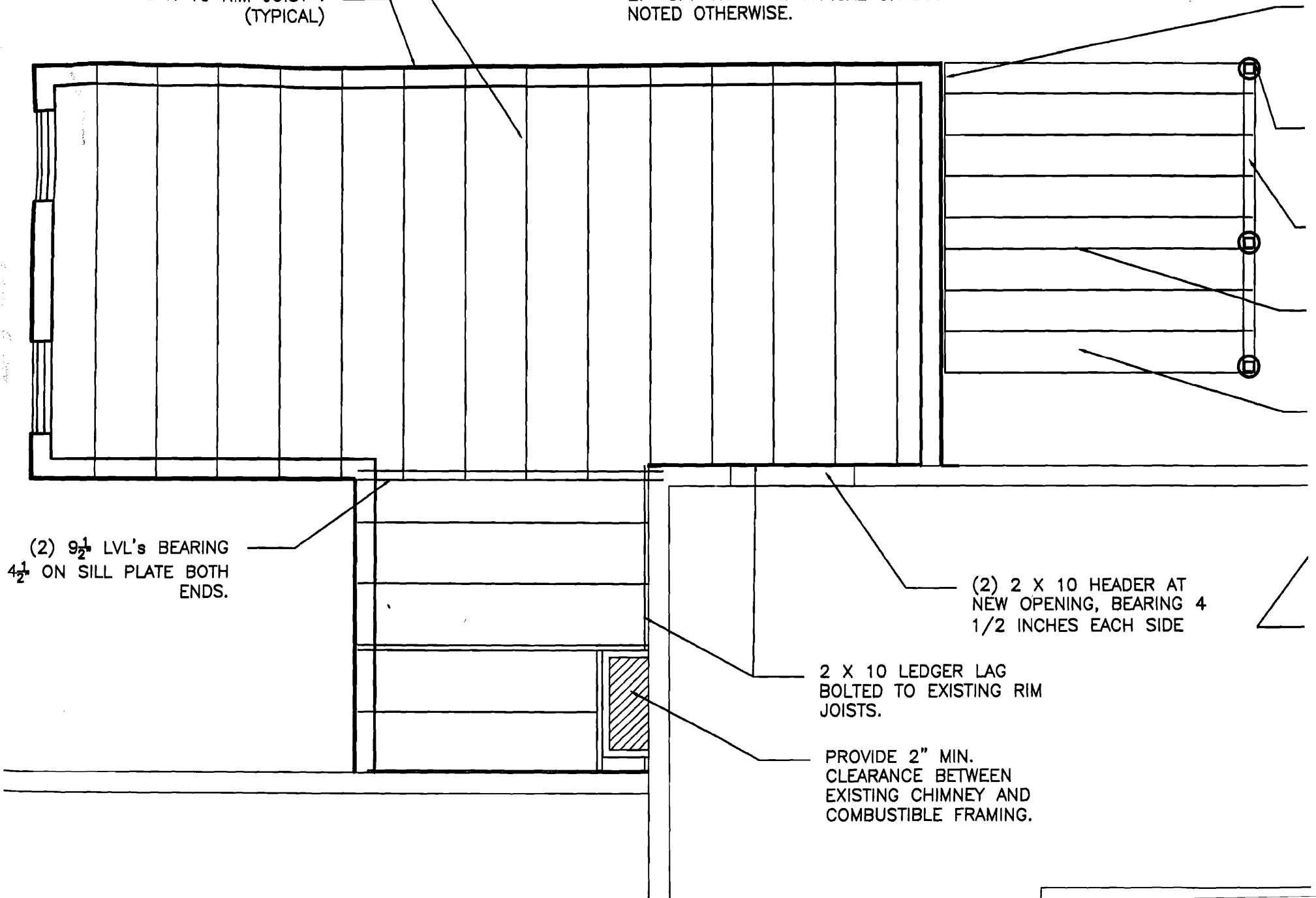


2 X 10 @ ~~24~~ O.C.
(TYPICAL)

2 X 10 RIM JOIST
(TYPICAL)

NOTES:

1. JOISTS TO BE SUPPORTED BY JOIST HANGERS AT CONNECTIONS TO LEDGERS AND BEAMS.
2. SPF NO. 1-2 TYPICAL UNLESS NOTED OTHERWISE.

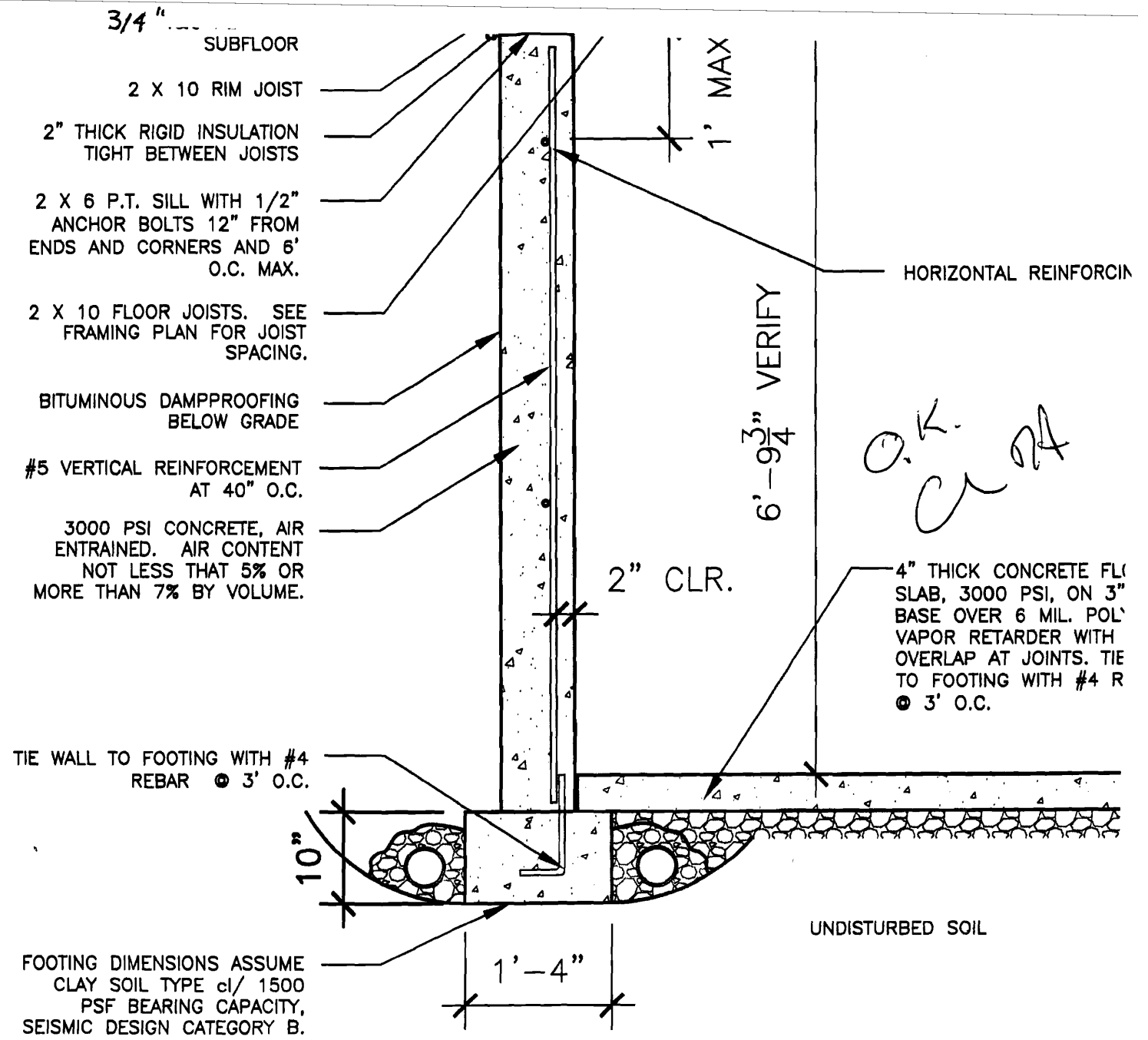


(2) 9 1/2" LVL's BEARING
4 1/2" ON SILL PLATE BOTH
ENDS.

(2) 2 X 10 HEADER AT
NEW OPENING, BEARING 4
1/2 INCHES EACH SIDE

2 X 10 LEDGER LAG
BOLTED TO EXISTING RIM
JOISTS.

PROVIDE 2" MIN.
CLEARANCE BETWEEN
EXISTING CHIMNEY AND
COMBUSTIBLE FRAMING.



3/4" SUBFLOOR

2 X 10 RIM JOIST

2" THICK RIGID INSULATION
TIGHT BETWEEN JOISTS

2 X 6 P.T. SILL WITH 1/2"
ANCHOR BOLTS 12" FROM
ENDS AND CORNERS AND 6'
O.C. MAX.

2 X 10 FLOOR JOISTS. SEE
FRAMING PLAN FOR JOIST
SPACING.

BITUMINOUS DAMPPROOFING
BELOW GRADE

#5 VERTICAL REINFORCEMENT
AT 40" O.C.

3000 PSI CONCRETE, AIR
ENTRAINED. AIR CONTENT
NOT LESS THAT 5% OR
MORE THAN 7% BY VOLUME.

TIE WALL TO FOOTING WITH #4
REBAR @ 3' O.C.

FOOTING DIMENSIONS ASSUME
CLAY SOIL TYPE cl/ 1500
PSF BEARING CAPACITY,
SEISMIC DESIGN CATEGORY B.

1' MAX

6'-9 3/4" VERIFY

2" CLR.

HORIZONTAL REINFORCIN

O.K.
CR DA

4" THICK CONCRETE FL
SLAB, 3000 PSI, ON 3"
BASE OVER 6 MIL. POL'
VAPOR RETARDER WITH
OVERLAP AT JOINTS. TIE
TO FOOTING WITH #4 R
@ 3' O.C.

UNDISTURBED SOIL

10"

1'-4"

OVERBUILD LOWER ROOF TO
CREATE GABLE END AND VALLEYS

2 X 6 RAFTERS @ 24" O.C.

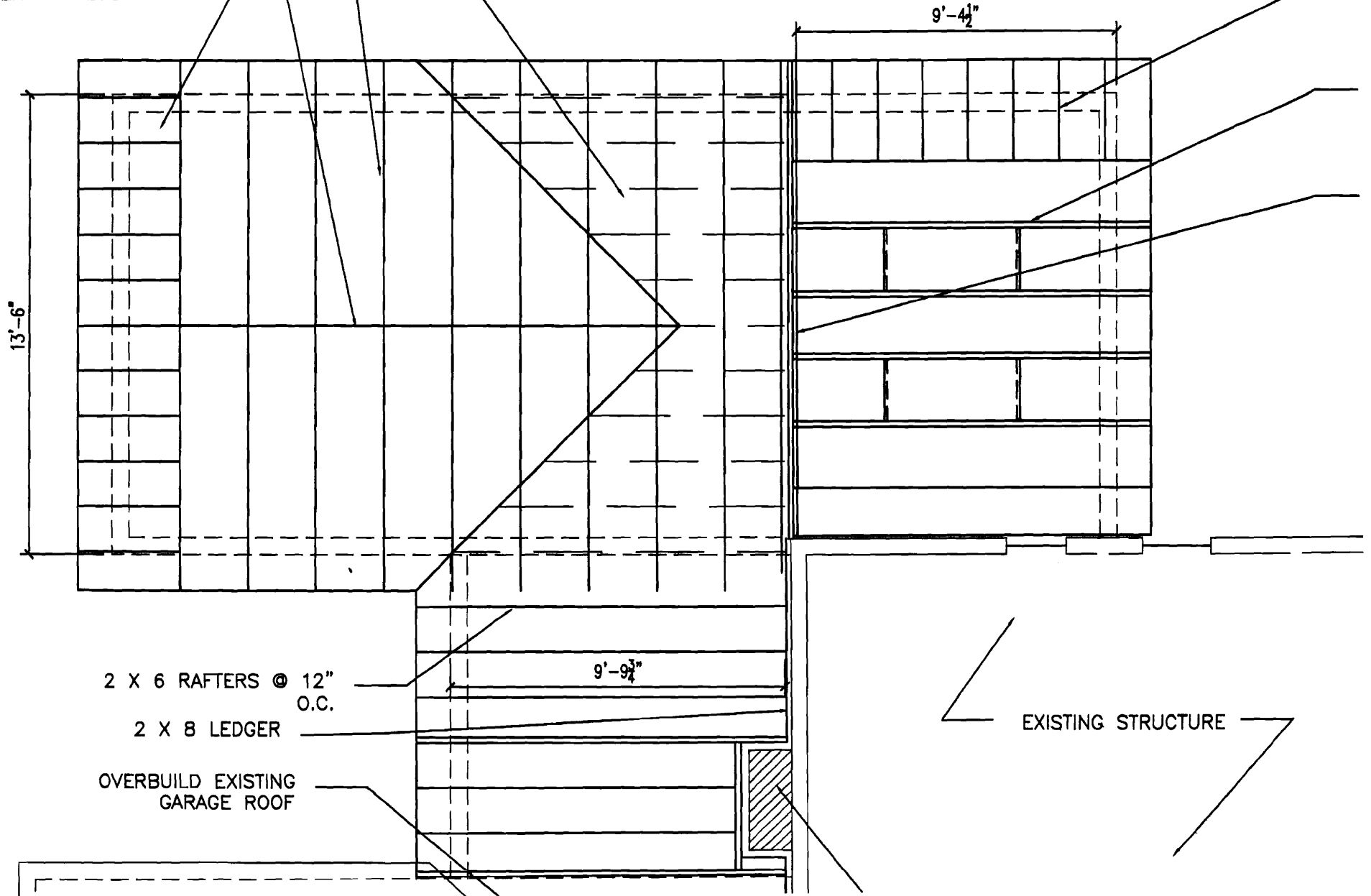
2 X 8 RIDGE BOARD

2X6 OUTLOOKER

16.0 c.

NOTES:

1. JOISTS TO BE SUPPORTED BY JOIST HANGERS AT CONNECTIONS TO LEDGERS AND BEAMS.
2. SPF NO. 1-2 TYPICAL UNLESS NOTED OTHERWISE.



2 X 6 RAFTERS @ 12"
O.C.

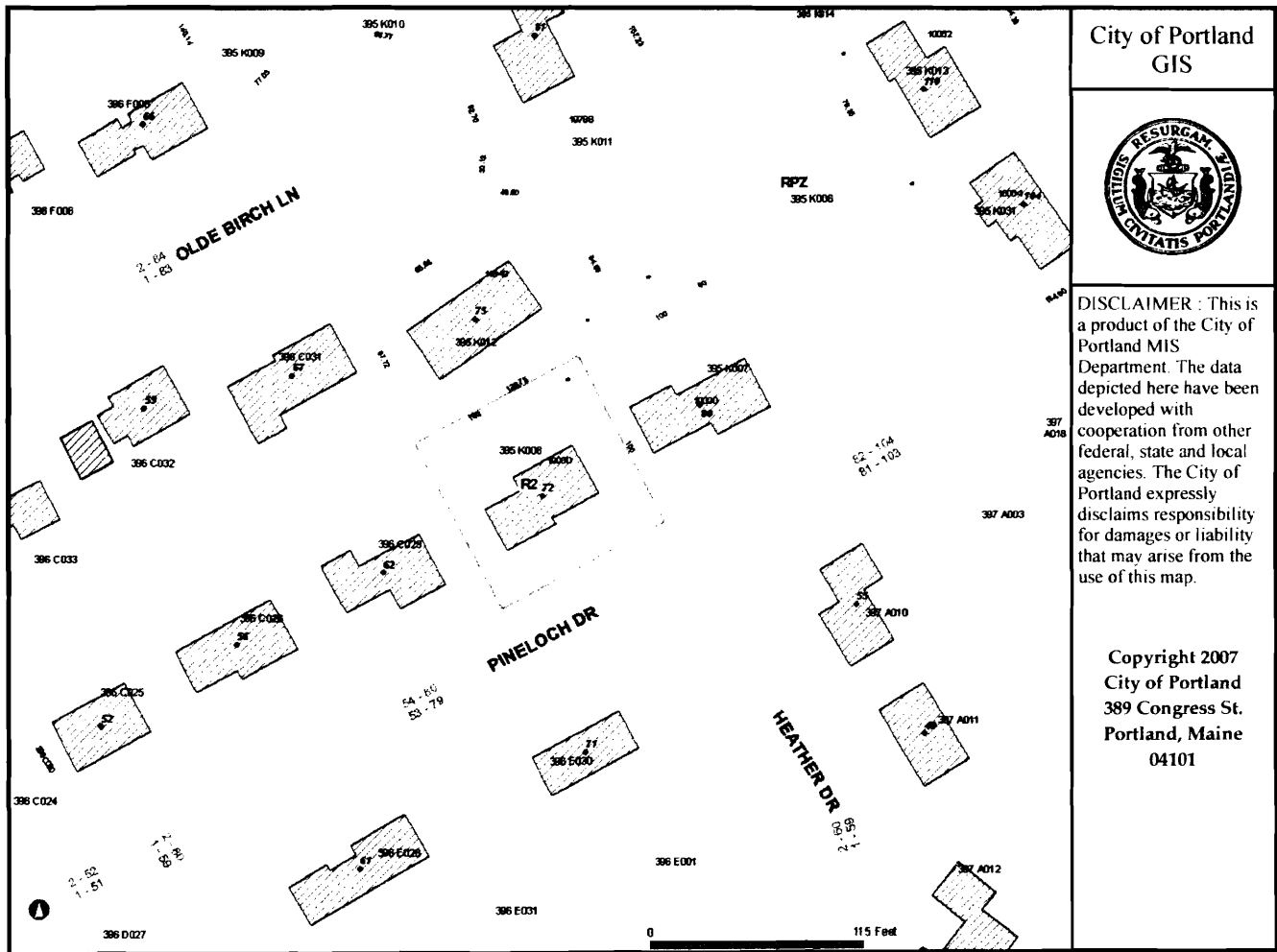
2 X 8 LEDGER

OVERBUILD EXISTING
GARAGE ROOF

9'-9 3/4"

9'-4 1/2"

EXISTING STRUCTURE



City of Portland
GIS



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04101

APPLICATION FOR PERMIT

60989

PERMIT ISSUED
JUL 3 1986
City of Portland

B.O.C.A. USE GROUP
C.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION ... R-R ... PORTLAND, MAINE July 23, 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following information:

LOCATION ... 72. Pineloch Drive

- 1. Owner's name and address Peter Sullivan, same, 04103
- 2. Lessee's name and address
- 3. Contractor's name and address Peter Sullivan

Fire District 1 2 3
Telephone 797-4480

Proposed use of building .. Residential

Last use .. Residential

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 4,000

FIELD INSPECTOR—Mr.
@ 775-5451

Appeal Fee
Base Fee
Late Fee
TOTAL \$ 240.00

To construct a deck, 30'x20' as per plans.
One sheet of plans.

Stamp of Special Conditions

PERMIT ISSUED
WITH DEFERRED
SPECIAL CONDITIONS

NOTE TO APPLICANT: Separate permits are required by the installers of subcontractors of electrical, plumbing and mechanicals.

From: "Carol Gillis" <cgillis@dgcarchitects.com>
To: "Marge Schmuckal" <mes@portlandmaine.gov>
Date: 5/22/2008 1:57:56 PM
Subject: Sullivan Addition

Hi Marge,

Thank you for meeting with me this morning about the addition to the Sullivan's residence at 72 Pinelock Drive. A revised floor plan and foundation plan are attached for your use. The originals are 3/16" scale but may have been distorted by the scanning process. Please refer to the actual dimensions shown on the drawings. Please call if you have any questions.

Best regards,

Carol F. Gillis, AIA, LEED AP

Design Group Collaborative

22 Free Street, Suite 303

Portland, Maine 04101

Phone: (207) 699-3300

Fax: (207) 699-3310

Cell: (207) 266-8386

No virus found in this outgoing message.

Checked by AVG.

Version: 7.5.524 / Virus Database: 269.24.0/1460 - Release Date: 5/22/2008

7:06 AM