

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that DAVID LANDERSON

Located At 10 OVERSET RD

Job ID: 2011-11-2778-ALTR

CBL: 393-J-006-001

has permission to Revoove deckand build addition

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

12/12/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

Sec. 14-428. Corner lots.

yes over set

In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

(Code 1968, § 602.19.G)

over set

Curbs

Existing facing long side- aggregate of yards		Required setbacks if facing on short side	
Front yard	24' 1" feet	Front yard	25' feet
Rear yard	13' 2" feet	Rear yard	25' feet
Side yard -rt	5' 2" feet	Side yard -rt	20' feet
Side yard -lft	19' 7" feet	Side yard -lft	12 feet

TOTALS 108' 10" feet

is greater than

82 feet

OK to allow Rear yd to meet A side yard off setback (12' min - 13.2' shown)

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

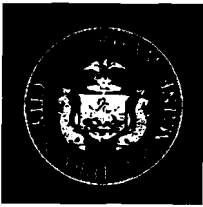
- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

1. Footings/Setbacks prior to pouring concrete
2. Close In Elec/Plmb/Frame prior to insulate or gyp
3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-11-2778-ALTR

Located At: 10 OVERSET RD

CBL: 393- J-006-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work dated December 12, 2011.
2. Fastener schedule per the IRC 2003
3. Ventilation of this space is required per ASRAE 62.2 or 62.1, 2007 edition.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

All construction shall comply with City Code Chapter 10.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

A sprinkler system is recommended but not required based on the following:

Plans indicate the addition will not exceed _50_% of the total completed structure.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2778-ALTR	Date Applied: 11/15/2011	CBL: 393- J-006-001	
Location of Construction: 10 OVERSET RD	Owner Name: DAVID L ANDERSON	Owner Address: 10 OVERSET RD PORTLAND, ME 04103	Phone: 797-5755
Business Name:	Contractor Name: None Given	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: R-2
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to remove existing deck on rear and replace with 12'x16.25' addition with a 8.5'x12'deck and 2.5'x3' stairs	Cost of Work: \$30,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Ceph Moore</i> 12/15/11	Inspection: Use Group R-3 Type 5B JRC-2009 Signature: <i>[Signature]</i>
Proposed Project Description: Revoove deck build addition		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Lannie	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input checked="" type="checkbox"/> <i>using 14-42B</i> ___ Shoreland <input checked="" type="checkbox"/> <i>for rear yard</i> ___ Wetlands ___ Flood Zone ___ Subdivision ___ Site Plan ___ Maj ___ Min ___ MM Date: <i>OK w/ty conditions</i> <i>11/30/11</i>	Zoning Appeal ___ Variance ___ Miscellaneous ___ Conditional Use ___ Interpretation ___ Approved ___ Denied Date: <i>[Signature]</i>	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark ___ Does not Require Review ___ Requires Review ___ Approved ___ Approved w/Conditions ___ Denied Date: <i>[Signature]</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2-1-12 DWM Mike 232-8050 wall concrete OK no sawing
inspection called, no wall set).

2-8-12 DWM under slab plumbing Vbaal OK need test at close-in

2-14-12 DWM/BKL Michael 232-8050 close-in OK. Running test for section
over t-bar at Smal. Drywall req'd at garage-addition.

3-8-12 DWM Michael Find provide SD (Photoelectric)



General Building Permit Application R-2

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>10 Overret Road</u>		
Total Square Footage of Proposed Structure/Area <u>195</u>	Square Footage of Lot <u>12075</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>393</u> Block# <u>J</u> Lot# <u>6</u>	Applicant: (must be owner, lessee or buyer) Name <u>David L Anderson</u> Address <u>10 Overret Rd.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-797-5755</u>
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ _____ C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>laundry & sewing room</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Removal of deck</u> <u>Construction of addition</u>		
Contractor's name: _____ Email: _____ Address: _____ City, State & Zip _____ Telephone: _____		
Who should we contact when the permit is ready: <u>David Anderson</u> Telephone: <u>797-5755</u> Mailing address: <u>10 Overret Rd. Portland, ME 04103</u> <u>797-5755</u>		

11-88-11

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11/15/11

This is not a permit; you may not commence ANY work until the permit is issued

Dept of Public Works

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

CBL 393 J006001
Land Use Type SINGLE FAMILY
Property Location 10 OVERSET RD
Owner Information ANDERSON DAVID L & KAREN S JTS
 10 OVERSET RD
 PORTLAND ME 04103
Book and Page 13938/214
Legal Description 393-J-6
 OVERSET RD 2-16
 CURTIS RD 153-155
 12075 SF
Acres 0.277

Current Assessed Valuation:

browse city services a-z

browse facts and links a-z

TAX ACCT NO. 40370 **OWNER OF RECORD AS OF APRIL 2011**
 ANDERSON DAVID L & KAREN S JTS
LAND VALUE \$87,800.00 10 OVERSET RD
BUILDING VALUE \$130,300.00 PORTLAND ME 04103
HOMESTEAD EXEMPTION (\$10,000.00)
NET TAXABLE - REAL ESTATE \$208,100.00
TAX AMOUNT \$3,804.08



Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Best viewed at 800x600, with Internet Explorer

Building 1
Year Built 1986
Style/Structure Type RANCH
Stories 1
Bedrooms 3
Full Baths 1
Half Baths 1
Total Rooms 5
Attic NONE
Basement FULL
Square Feet 1232

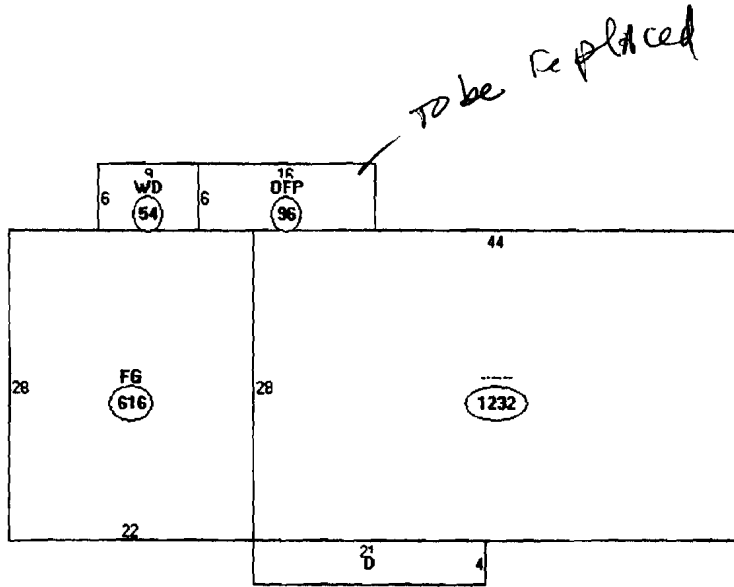
[View Sketch](#) [View Map](#) [View Picture](#)



Sales Information:

Sale Date	Type	Price	Book/Page
6/29/1998	LAND + BUILDING	\$135,000.00	13938/214

New Search!



Descriptor/Area	
A: 1232 sqft	11
B: FG 616 sqft	1232
C: WD 54 sqft	616
D: OFF 84 sqft	84
E: OFF 96 sqft	1932
96 sqft	

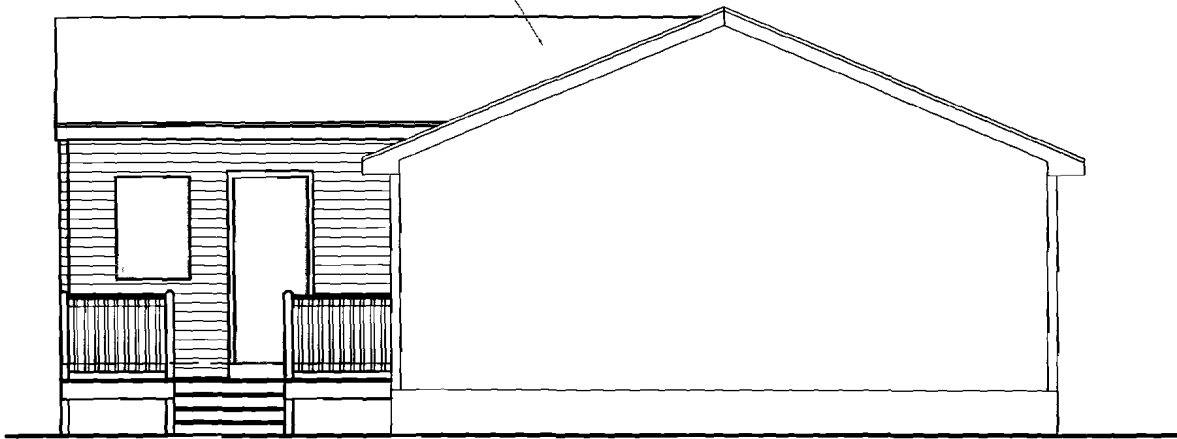
Add deck 12x16x25 = 195
 deck 8.5x12 = 105
 Stairs 2.5x3 = 7.5

2239.5[#]

OK

12075[#] x 20% = 2415[#] max lot coverage

2x8 Overlay Rafters
@ 16" o.c., Typ.



Left Elevation

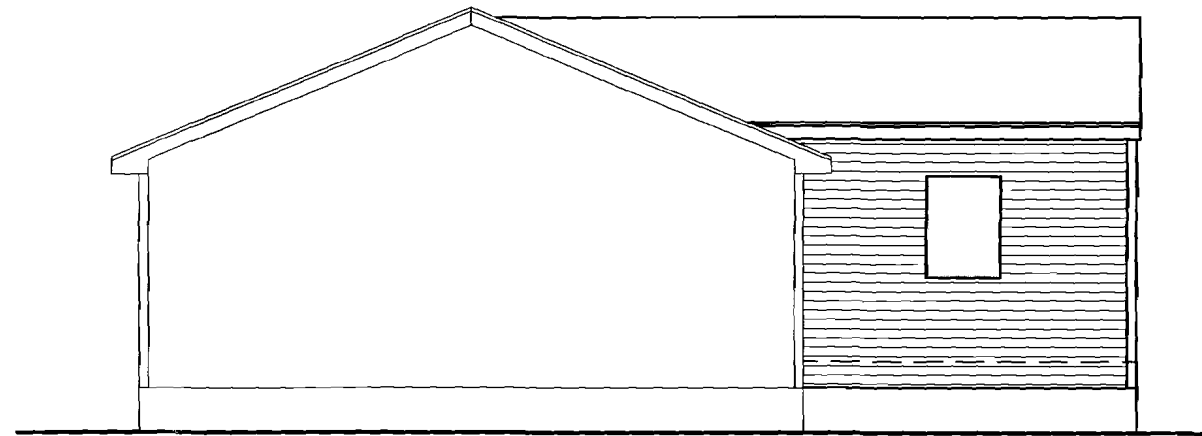
Scale: 1/4" = 1'-0"

RECEIVED

DEC 12 2011

Dept. of Building Inspections
City of Portland Maine

Drafting Plus is not an engineering firm. It is the responsibility of the general contractor to size structural beams and to ensure that this home is built according to all state & local codes in effect at the time of construction.



Right Elevation

Scale: 1/4" = 1'-0"

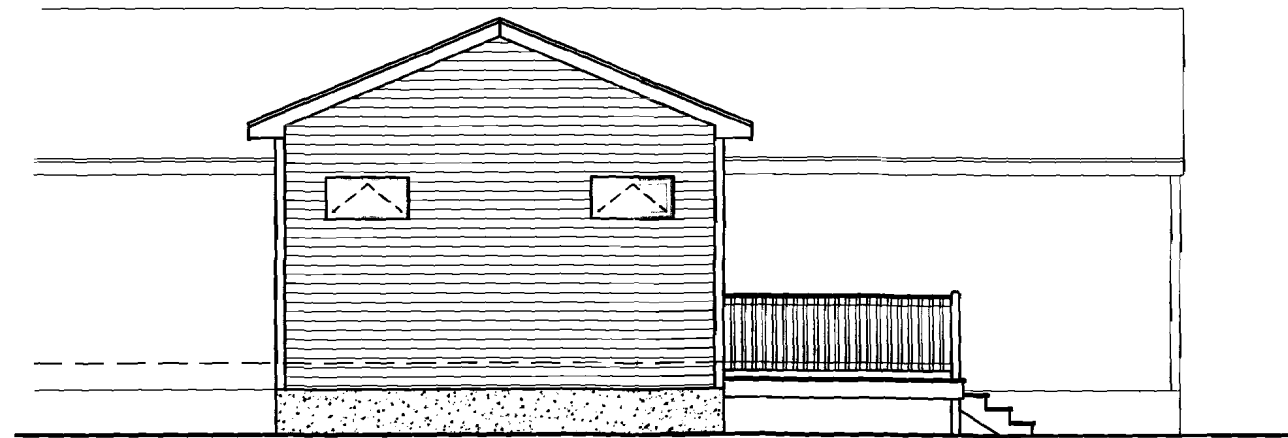
Client: David & Karen Anderson

10 Overset Road

Maine

Client

Portland



Rear Elevation

Scale: 1/4" = 1'-0"

DRAFTING PLUS

ARCHITECTURAL
DESIGN & DRAFTING
BUDDFORD, ME
207-282-7744



SPECIALIZING IN YOUR DREAM HOME

Date: 8/29/11

Issued: 9/09/11

By: J.P.

John A. Perron

Sheet No.

3

Revised: 12/09/11

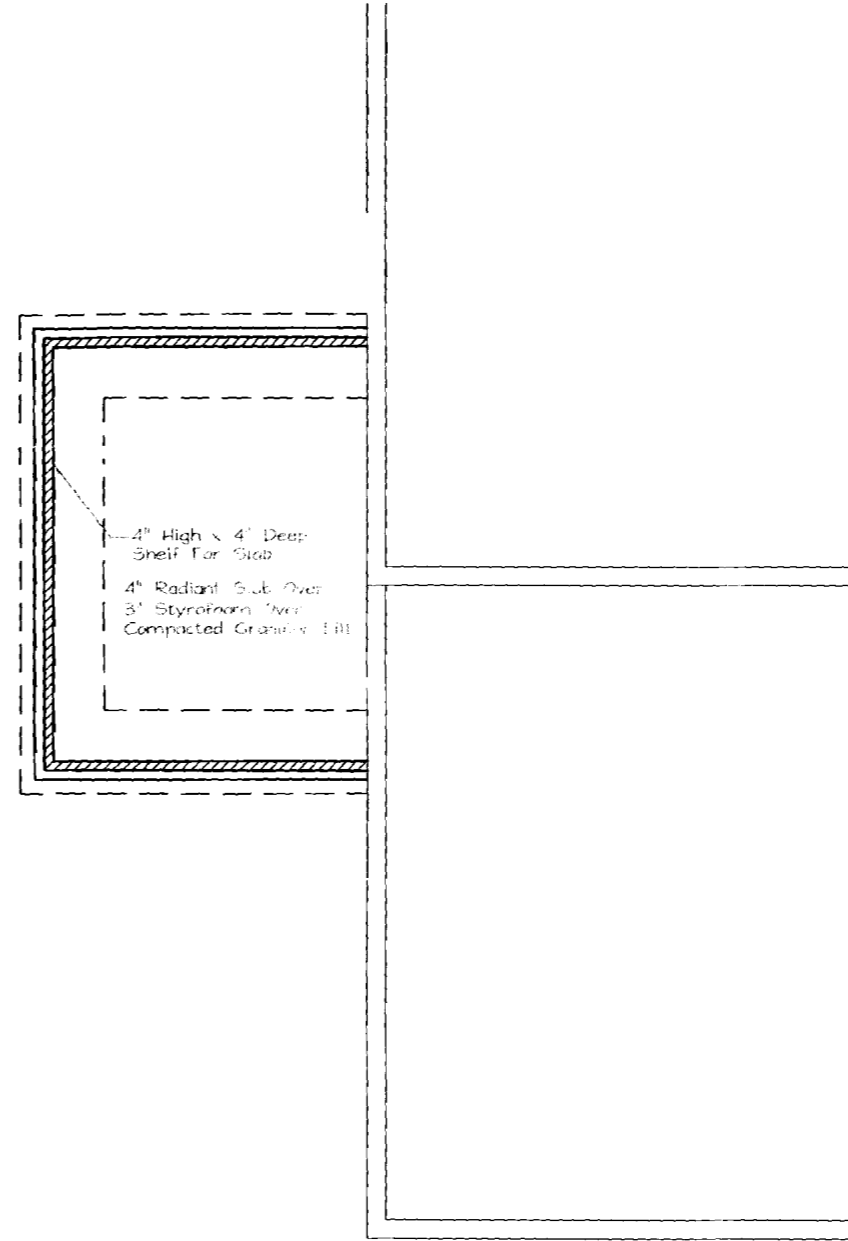
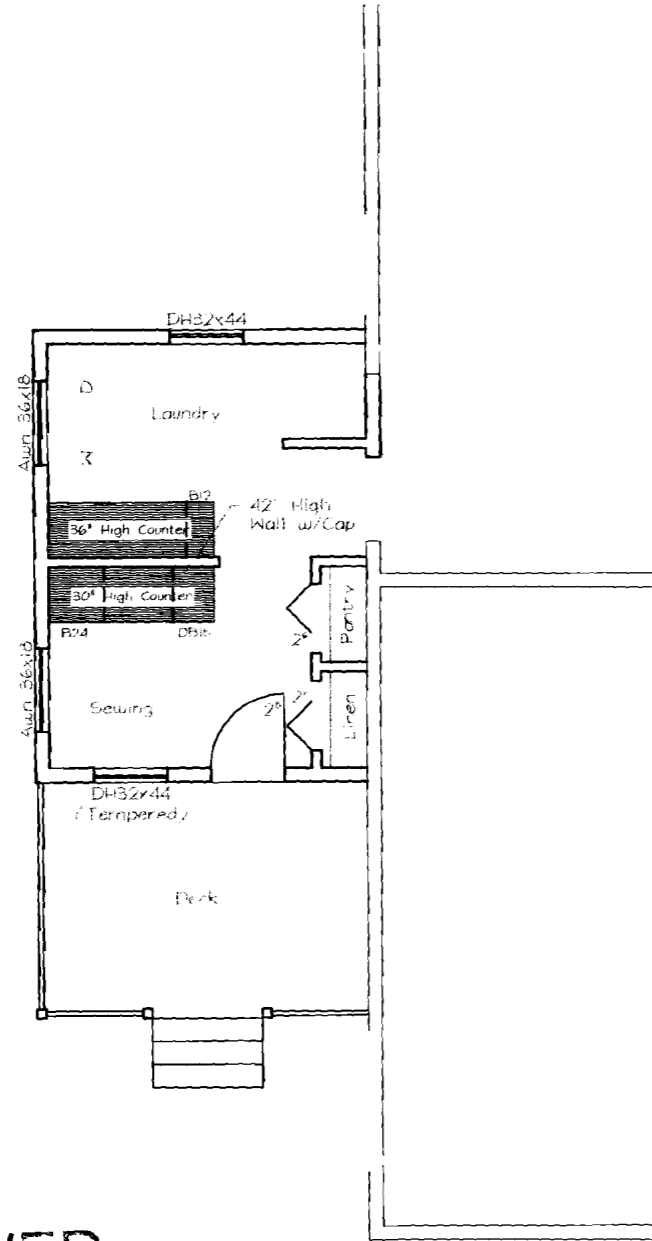
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Dept. of Building Inspections
City of Portland, Maine

First Floor Plan

Scale: 1/4" = 1'-0"



Foundation Plan

Scale: 1/4" = 1'-0"

Printed: 12/07/11



Date: 8/28/11
 Drawn: 9/09/11
 By: John A. Perron

Sheet No. 1 of 1

Client

David & Karen Anderson

10 Overset Road

Portland

Maine

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Dept. of Building Inspections
City of Portland, Maine

Exterior Wall Header & Girder Schedule		
Supporting Roof & Ceiling (Up To 28' Wide)		
(2) 2x6	Up To 4'-1"	(1) 2x6 Jack Stud Plus (1) 2x6 King Stud
(3) 2x8	Up To 6'-5"	(2) 2x6 Jack Stud Plus (1) 2x6 King Stud
(3) 2x10	Up To 7'-10"	(2) 2x6 Jack Stud Plus (2) 2x6 King Studs
(3) 2x12	Up To 9'-2"	(2) 2x6 Jack Stud Plus (2) 2x6 King Studs
Supporting 1 Center Bearing Floor, Roof & Ceiling (Up To 28' Wide)		
(2) 2x6	Up To 3'-7"	(1) 2x6 Jack Stud Plus (1) 2x6 King Stud
(3) 2x8	Up To 5'-8"	(2) 2x6 Jack Stud Plus (1) 2x6 King Stud
(3) 2x10	Up To 6'-11"	(2) 2x6 Jack Stud Plus (2) 2x6 King Studs
(3) 2x12	Up To 8'-0"	(2) 2x6 Jack Stud Plus (2) 2x6 King Studs
Supporting 2 Center Bearing Floor, Roof & Ceiling (Up To 28' Wide)		
(2) 2x6	Up To 3'-2"	(1) 2x6 Jack Stud Plus (1) 2x6 King Stud
(3) 2x8	Up To 5'-1"	(2) 2x6 Jack Stud Plus (1) 2x6 King Stud
(3) 2x10	Up To 6'-2"	(2) 2x6 Jack Stud Plus (2) 2x6 King Studs
(3) 2x12	Up To 7'-2"	(2) 2x6 Jack Stud Plus (2) 2x6 King Studs

Interior Bearing Wall Header & Girder Schedule			
Supporting 1 Floor (Up To 28' Wide)		Supporting 2 Floors (Up To 28' Wide)	
(2) 2x6	Up To 2'-11"	(2) 2x6	Up To 2'-4"
(2) 2x8	Up To 5'-0"	(2) 2x8	Up To 3'-6"
(2) 2x10	Up To 6'-1"	(2) 2x10	Up To 4'-3"
(2) 2x12	Up To 7'-0"	(2) 2x12	Up To 5'-0"
(3) 2x8	Up To 6'-3"	(3) 2x8	Up To 4'-5"
(3) 2x10	Up To 7'-7"	(3) 2x10	Up To 4'-4"
(3) 2x12	Up To 8'-10"	(3) 2x12	Up To 6'-3"
(4) 2x10	Up To 8'-9"	(4) 2x10	Up To 6'-2"
(4) 2x12	Up To 10'-2"	(4) 2x12	Up To 7'-2"

Insulation Schedule		
Exterior Walls	5 1/2" HD Fiberglass	R-21
Floors	Fill Cavity	R-19 Min
Attic	3 1/2" Over 12" Fiberglass	R-49
Basement Walls (Unconditioned)	None	n/a
Basement Walls (Conditioned)	5" Styrofoam OR 5 1/2" Fiberglass	R-15 R-19
Frost Walls	2" Styrofoam (To 4')	R-10

Fastening Schedule	
Framing To Framing	16d @ 12" o.c.
Sheathing To Framing	16d @ 12" o.c. (midspan) 8d @ 6" o.c. (edges)

Drafting Plus is not an engineering firm. It is the responsibility of the general contractor to size structural beams and to ensure that this home is built according to all state & local codes in effect at the time of construction.

Maine

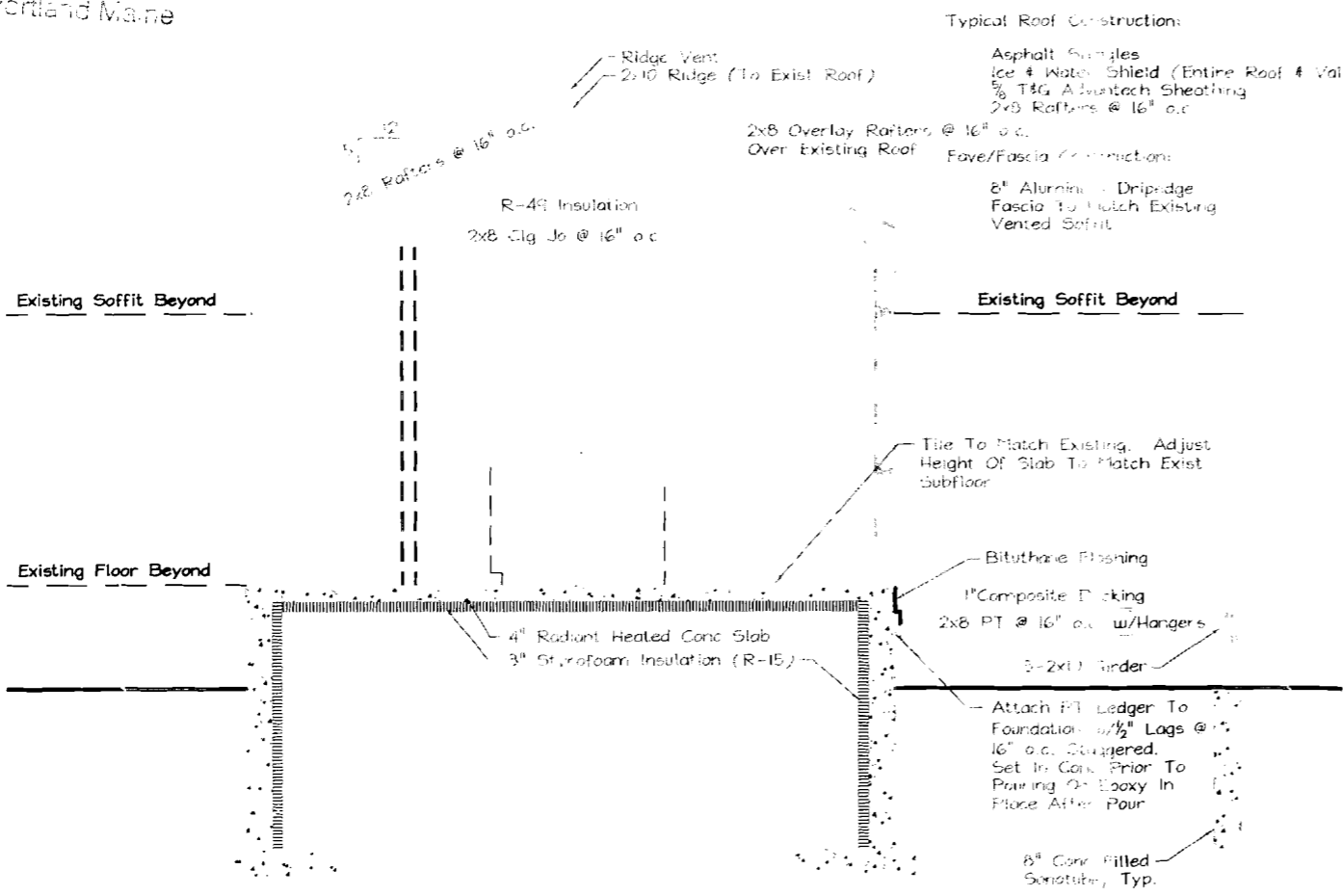
Client: David & Karen Anderson

10 Overset Road

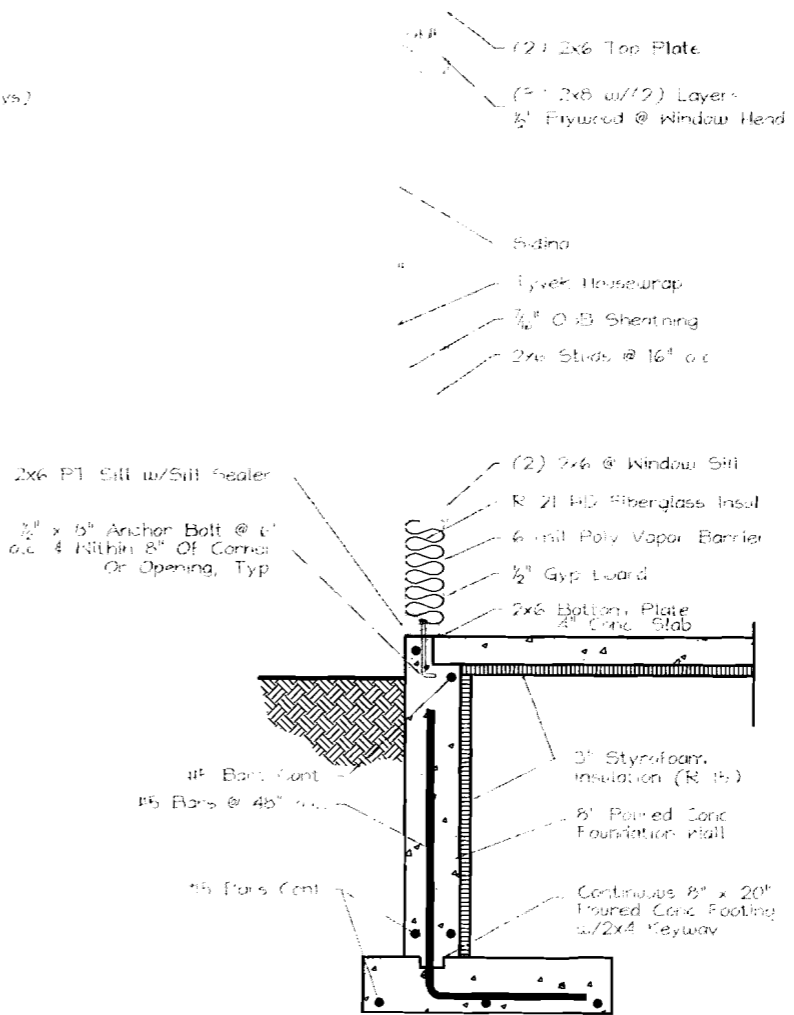
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DRAFTING PLUS
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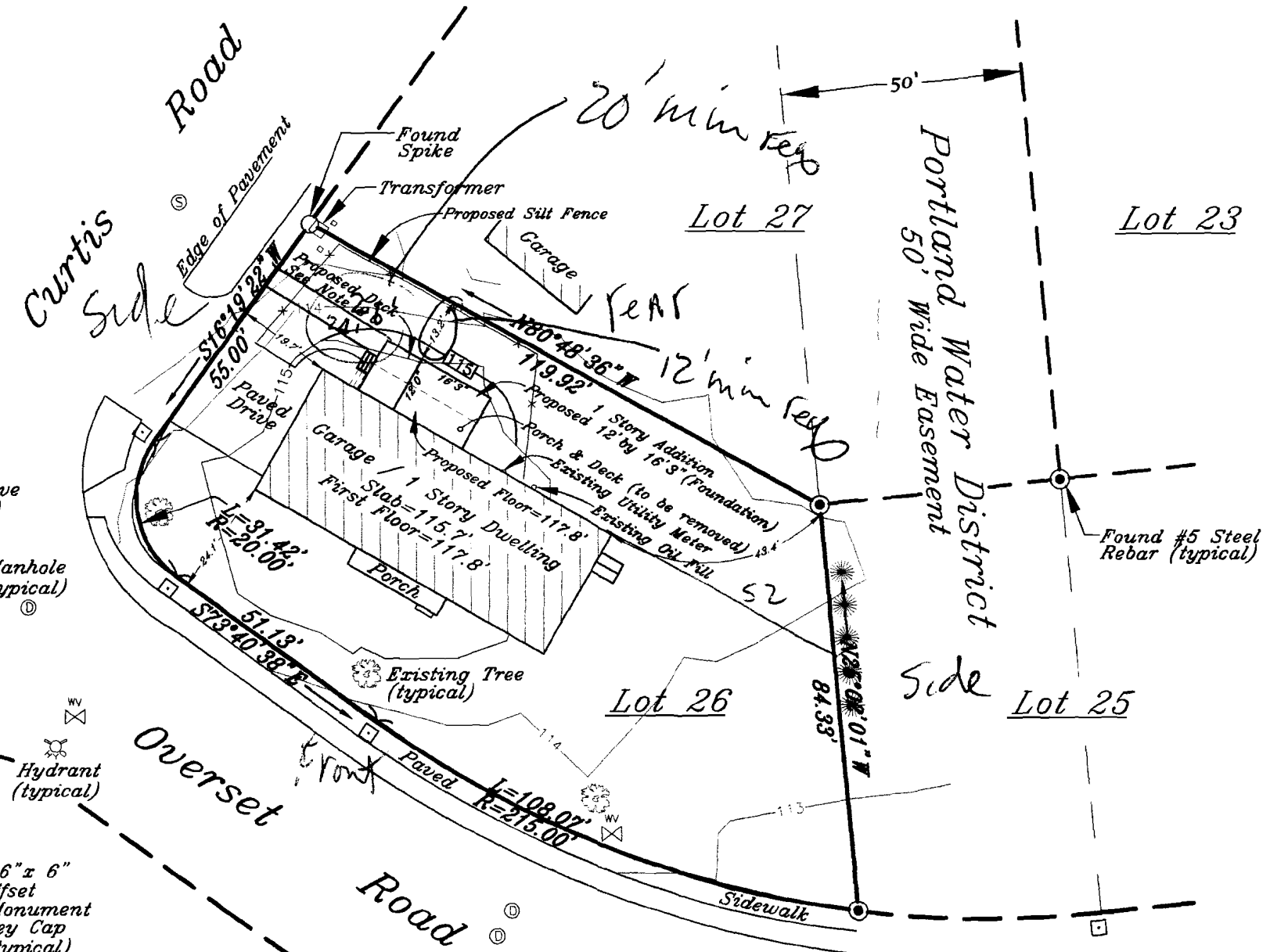
Date: 8/28/11
Issued: 9/09/11
By: John A Perron



Section A-A
Scale: 3/8" = 1'-0"



Ext Wall Detail
Scale: 3/4" = 1'-0"



Plan Reference:

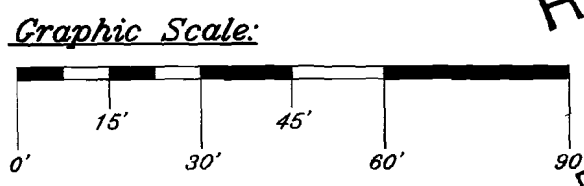
"Presumpscot River Place II Recording Plat", dated June 26, 1984, last revised August 9, 1985 by Land Use Consultants, Portland, Maine and recorded September 4, 1985 at the Cumberland County Registry of Deeds in Plan Book 149, Page 64.

General Notes:

1. This is not a Boundary Survey. This office held the Plan Reference and monumentation found in the field.
2. The surveyed parcel is subject to, and conveyed with, easements and rights of way of record (See Deed).
3. This office does not accept any liability for errors in the Plan Reference listed hereon.
4. Area of Locus Parcel is 12,075 square feet per Plan Reference listed hereon.
5. Reference is made to City Of Portland Land Use Code Of Ordinances, Section 14-428, Corner Lots, for side yard setback determination.
6. The location of the existing underground utility lines which service this home shall be determined in the field by the contractor and/or client.
7. Elevations based on NCV29 per GPS observations taken on site.
8. Proposed Deck as depicted, but was not dimensioned on floor plans provided by client.
9. The proposed addition will be serviced by existing utility connections.

[R-2]
 Sideyard - 1 story - 12' min - ~~12.2'~~
 Rearyard - 25' min - 25' shown
 w/ 14-428 - 12' min under corner lot
 13.2' shown
 Front no change

Locus Deed Reference:
 Stephen M. Morris & Linda A. Morris
 To
 David L. Anderson & Karen S. Anderson
 dated June 26, 1998 and recorded June 29, 1998 at the
 Cumberland County Registry of Deeds in Book 13938, Page 214.



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 NOV 15 2011
 Dept. of Building Inspections
 City of Portland Maine

Plan Showing Site Plan Made For
David L. Anderson & Karen S. Anderson
 10 Overset Road
PORTLAND, MAINE

MUNICIPAL REFERENCE:
 MAP: 393 BLOCK: J LOT: 6
TITLE REFERENCE: COUNTY: Cumberland
 DEED BOOK: 13938 PAGE: 214
ZONING DISTRICT: R-2 Residential Zone
 Min. Lot Size: 10,000 sq.ft. Min. Lot Width: 80'
 Front Yard: 25' Side Yard: 12' Rear Yard: 25'
 Side Yard On Side Street: 20'
 DATE: November 7, 2011 FILE#: 2111210SP
 SCALE: 1" = 30'

James D. Nadeau, LLC
 Professional Land Surveyors
 Certified Mapmaking Managers

11-7-11
 918 BRIGHTON AVE. PH (207)878-7870
 PORTLAND, ME. 04102 F. (207)878-7871

MLC