

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
MAR 02 2004
CITY OF PORTLAND
Permit Number: 040174

This is to certify that Anderson David L & Karen Decks Unlimited

has permission to Re-build 6' x 25' rear deck with 6' x 16' screen

AT 10 Overset Rd 393 J006001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

DB

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is occupied or otherwise closed-in. YOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
CITY OF PORTLAND
Department Name

PERMIT ISSUED
MAR 02 2004
CITY OF PORTLAND

Donnie Bonte 3/2/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0174	Issue Date: MAR 02 2004	BL: 393 J006001
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Location of Construction: 10 Overset Rd	Owner Name: Anderson David L & Karen S Jts	Owner Address: 10 Overset Rd	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Decks Unlimited	Contractor Address: 921 Lewiston Road New Glouster	Phone: 2079263732
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R2

Past Use: Single Family	Proposed Use: Single Family w/rear 6'x 25' deck & screen room	Permit Fee: \$102.00	Cost of Work: \$8,200.00	CEO District: 5	12,075 SF
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Proposed Project Description: Re-build 6' x 25' rear deck w/ 6' x 16' screen room	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied </td> <td style="width: 50%;"> INSPECTION: Use Group: R3 Type: 5B BOA 1999 accessory Signature: JMB 3/2/04 </td> </tr> </table>	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B BOA 1999 accessory Signature: JMB 3/2/04
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B BOA 1999 accessory Signature: JMB 3/2/04		

Permit Taken By: jmb	Date Applied For: 03/02/2004	Zoning Approval
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<ol style="list-style-type: none"> 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 3/2/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Date: JMB
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0174	Date Applied For: 03/02/2004	CBL: 393 J006001
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Location of Construction: 10 Overset Rd	Owner Name: Anderson David L & Karen S Jts	Owner Address: 10 Overset Rd	Phone:
Business Name:	Contractor Name: Decks Unlimited	Contractor Address: 921 Lewiston Road New Glouster	Phone (207) 926-3732
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family w/rear 6'x 25' deck & screen room	Proposed Project Description: Re-build 6' x 25' rear deck w/ 6' x 16' screen room
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Dept: Zoning	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 03/02/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Per Sec. 14-428 dwellings on a corner when the front yard is facing the long side, the rear yard may be reduced to a depth of not less than the width required for the side yard			
2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 03/02/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Sec. 1005.5.1 requires a guard @ 34" in a scen porch when the walking surface is located more than 30" above the grade below.			
2) The new deck is being placed on the existing sona tubes			

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>10 Overset</u>		
Total Square Footage of Proposed Structure <u>150 SF</u>	Square Footage of Lot <u>12075</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>3393-J-60</u> Block# Lot#	Owner: <u>David + Karen Anderson's</u>	Telephone: <u>Decks unlimited Tony 240-2970</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Decks unlimited 921 Lewiston Rd New Gloucester ME 04260</u>	Cost Of Work: \$ <u>8200</u> Fee: \$ <u>102.00</u>
Current use: <u>home</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: <u>6 x 25 Deck w/ 6 x 16 screen porch</u>		
Contractor's name, address & telephone: <u>Decks unlimited 921 Lewiston Rd New Gloucester ME 04260</u>		
Who should we contact when the permit is ready: <u>Tony Ganan</u> Cell # <u>240-2970</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: Cell # <u>240-2970</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Anthony Ganan</u>	Date: <u>3-2-04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 393 J006001
 Location 10 OVERSET RD
 Land Use SINGLE FAMILY

Owner Address ANDERSON DAVID L & KAREN S JTS
 10 OVERSET RD
 PORTLAND ME 04103

Book/Page 13938/214
 Legal 393-J-6
 OVERSET RD 2-16
 CURTIS RD 153-155
 12075 SF

10 AM 3/2
 Tony

04-0174
 R-2

Valuation Information

Land	Building	Total
\$35,600	\$79,430	\$135,030

Property Information

Year Built 1986	Style Ranch	Story Height 1	Sq. Ft. 1232	Total Acres 0.277
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 5	Attic None
				Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 06/29/1998	Type LAND + BLDING	Price \$135,000	Book/Page 13938-214
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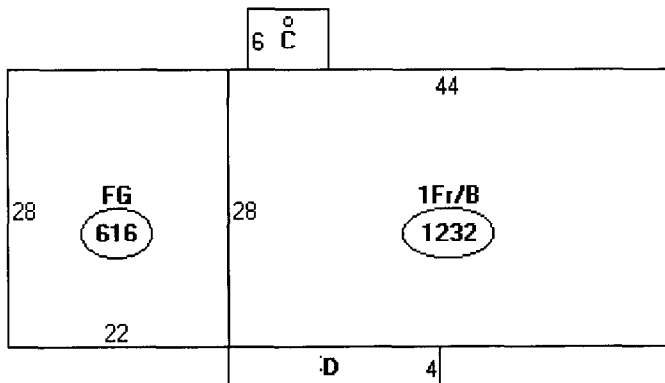
Picture and Sketch

Picture Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



Descriptor/Area

- A: 1Fr/B
1232 sqft
- B: FG
616 sqft
- C: WD
48 sqft
- D: OFF
84 sqft

1980
150 SF Deck
2130 SF

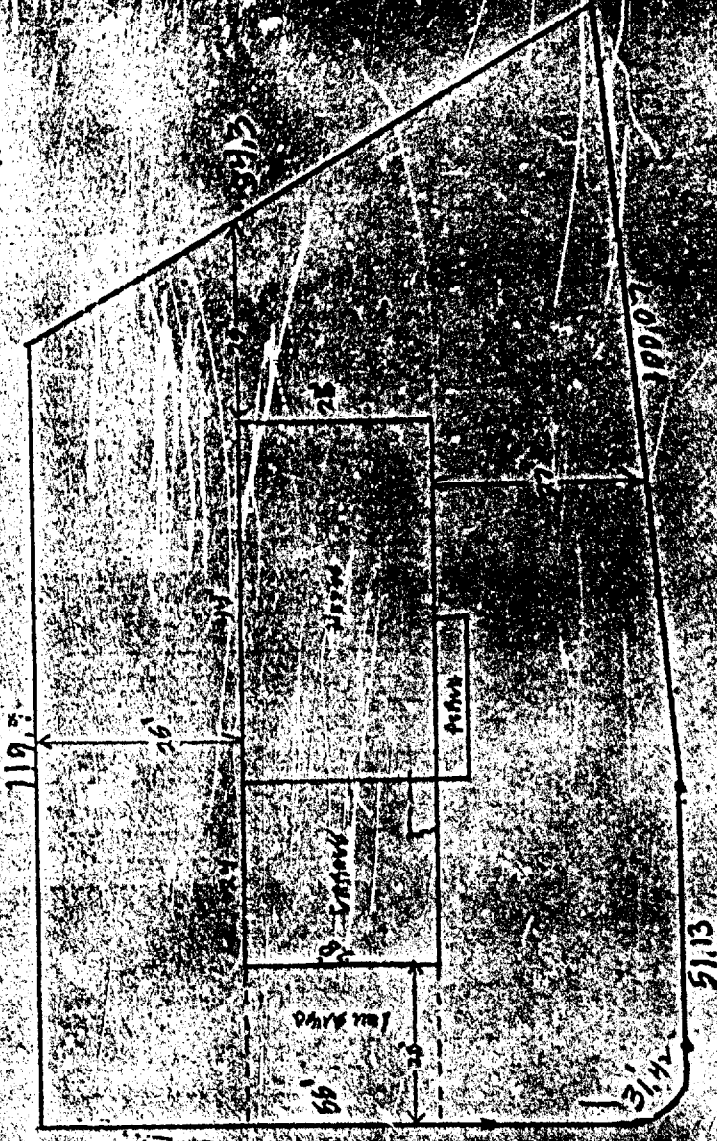
OK

Lot 12,075
x 20%
2,415 SF

1" = 20'

LOT 26

PLANS SUBMITTED FOR APPROVAL



CITY OF PORTLAND

RECEIVED

MAR - 7 1936

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

84.3'

81'

Screen porch 6' x 16'

Existing Deck

15'

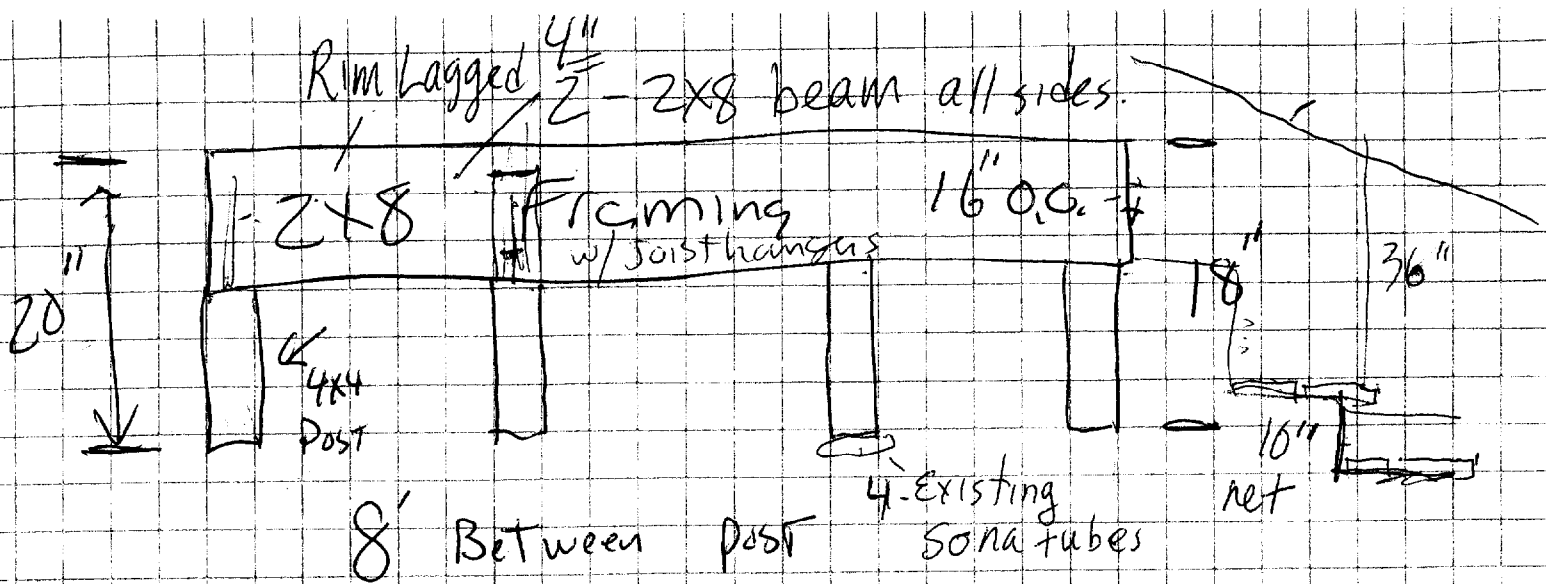
8'

21'
to side walk

25'

R2 Zone
Sec 14-428
allows reduction
of Rear setback
When on a
Corner lot
To 12' min
15' shown

existing Deck to be removed
and replace on same tubes
Grade guard Rails on Deck
From Screen Room Down to End
to Steps



Roughly 6" steps with risers 10" net tread

all material is pressure treated.
For the Deck.

all Screen porch will be
Spruce

2x6 walls
2x8 RAFTERS > gable roof
3-2x8 headers
all sides

$\frac{1}{2}$ plywood.

Vinyle Side to match House.

36" Gourd Rail on Deck. of Stairs

< 4" space on balusters

Attached handrail one side w/return ends

Sec. 14-428. Corner lots.

In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

(Code 1968, § 602.19.G)

Existing facing long side- aggregate of yards		Required setbacks if facing on short side	
Front yard	27' feet	Front yard	26 feet
Rear yard	19 feet	Rear yard	25 feet
Side yard -rt	25 feet	Side yard -rt	20 feet
Side yard -lft	20 feet	Side yard -lft	18 feet
TOTALS 91 feet		82 feet	

is greater than

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8692 must~~ also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

NA **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of Applicant/Designee

3-2-04
Date

[Signature]
Signature of Inspections Official

3/2/04
Date

CBL: 393-J-6

Building Permit #: 04-0174