

# A. Settlement Statement

U.S. Department of Housing  
and Urban Development

Loan #  
OMB No. 2502-0285

<b>B. Type of Loan</b>			
1. <input type="checkbox"/> FHA 2. <input type="checkbox"/> FmHA 3. <input type="checkbox"/> Conv. Unins	6. File Number	7. Loan Number	8. Mortgage Insurance Case Number
4. <input type="checkbox"/> VA 5. <input type="checkbox"/> Conv. Ins	CL-1065-B-22		

C. Note: This form is furnished to give you a statement of actual settlement costs. Amounts paid to and by the settlement agent are shown. Items marked "(P.O.C.)" were paid outside the closing; they are shown here for informational purposes and are not included in the totals.

D. Name/Address of Buyer: **Julia B. Volger and Theodore J. Volger, Jr.**  
1705 Washington Avenue, Portland, Maine 04103

E. Name and Address of Seller: **Goldeneye Corp.**  
25 Alice Street, Portland, Maine 04103

**BU ER**

F. Name and Address of Lender:

G. Property Location: **Lot 22, Hope Avenue, Portland, Maine 04103**

H. Settlement Agent: **Cumberland Title Company** I. Settlement Date **12/04/2002**  
Agent's Address: **One Canal Plaza, P.O. Box 4843, Portland, Maine 04112-4843**  
Place of Settlement: **One Canal Plaza, P.O. Box 4843, Portland, Maine 04112-4843**

J. Summary of Buyer's Transaction			K. Summary of Seller's Transaction		
100. Gross Amount Due from Buyer			400. Gross Amount Due To Seller		
101. Contract sales price	\$80,000.00		401. Contract sales price	\$80,000.00	
102. Personal property			402. Personal property		
103. Settlement charges to Buyer (line 1400)	\$856.00		403.		
104.			404.		
105.			405.		
Adjustments for items paid by seller in advance			Adjustments for items paid by seller in advance		
106. City/town taxes	12/04/02 to 12/31/02	P.O.C.	406. City/town taxes	12/04/02 to 12/31/02	P.O.C.
107. County Tax			407. County Tax		
108. Assnmts			408. Assnmts		
109.			409.		
110.			410.		
111.			411.		
112.			412.		
120. Gross Amount Due From Buyer	\$80,856.00		420. Gross Amount Due To Seller	\$80,000.00	
200. Amounts Paid By Or In Behalf of Buyer			500. Reductions in Amount Due to Seller		
201. Deposit or Earnest Money	\$5,000.00		501. Excess Deposit (see instructions)	\$5,000.00	
202. Principal Amount of New Loan			502. Settlement charges to seller (line 1400)	\$187.00	
203. Existing Loan(s) taken subject to			503. Existing Loan(s) taken subject to		
204.			504. BankNorth (Release)	\$71,072.35	
205.			505.		
206.			506. Dep. Retained by R.E. Agent		
207.			507.		
208.			508.		
209.			509.		
Adjustments for items unpaid by seller			Adjustments for items unpaid by seller		
210. City/town taxes			510. City/town taxes		
211. County Tax			511. County Tax		
212. Assnmts			512. Assnmts		
213.			513.		
214.			514.		
215.			515.		
216.			516.		
217.			517.		
218.			518.		
219.			519.		
220. Total Paid By/For Buyer	\$5,000.00		520. Total Reduction Amount Due Seller	\$76,259.35	
300. Cash At Settlement From/To Buyer			600. Cash At Settlement To/From Seller		
301. Gross Amount due from Buyer (line 120)	\$80,856.00		601. Gross Amount due to seller (line 420)	\$80,000.00	
302. Less amounts paid by/for Buyer (line 220)	\$5,000.00		602. Less reductions in amt due seller (line 520)	\$76,259.35	
303. Cash from Buyer	\$75,856.00		603. Cash to Seller	\$3,740.65	

We, the undersigned, identified in section D hereof and Seller in section E hereof, hereby acknowledge receipt of this completed Settlement Statement on December 4, 2002.

Buyers: Julia B. Volger  
Sellers: Goldeneye Corp. by its Treasurer  
Sellers: Lloyd B. Wolf

Theodore J. Volger, Jr.

# Settlement Charges.

700. Total Sales/brokerage commission based on price: (\$80,000.00 @ 0.0000% = \$0.00)		Paid From Buyer's Funds at Settlement	Paid From Sellers Funds at Settlement
Division of Commission (line 700) as follows:			
701.	\$0.00 to		
702.	\$0.00 to		
703. Commission paid at Settlement			
704.			
800. Items Payable in Connection With Loan			
801. Loan Origination Fee	to		
802. Loan Discount	to		
803. Appraisal Fee	to		
804. Credit Report	to		
805. Lender's Inspection Fee	to		
806. Mortgage Insurance Application Fee	to		
807. Assumption Fee	to		
808.	to		
809.	to		
810.	to		
811.	to		
900. Items Received by Lender To Be Paid in Advance			
901. Interest from / / to / / @ \$0.0000 /day 0 days			
902. Mortgage Insurance Premium for 0 months to			
903. Hazard Insurance Premium for 0 years to			
904.	to		
905.			
1000. Reserves Deposited With Lender			
1001. Hazard Ins	months @ per month		
1002. Mortgage Ins	months @ per month		
1003. City Tax	months @ per month City of Portland, ME		
1004. County Tax	months @ per month		
1005. Assessments	months @ per month		
1006.	months @ per month		
1007.	months @ per month		
1008. Aggregate Adjustment		\$0.00	
1100. Title Charges			
1101. Settlement/Closing Fee	to		
1102. Abstract/Title Search	to		
1103. Title examination	to		
1104. Title Insurance binder	to		
1105. Document preparation	to Terry Snow, Esq. POC		
1106. Notary fees	to		
1107. Attorney's Fees	to Cumberland Title Company	\$425.00	
(includes above line numbers) 1101 & 1102			
1108. Title Insurance	to Lawyers Title Insurance Corporation	\$240.00	
(includes above line numbers) 1103 & 1104			
1109. Lender's coverage	\$0.00 @ \$0.00		
1110. Owner's coverage	\$80,000.00 @ \$240.00		
1111.	to		
1112.	to		
1200. Government Recording and Transfer Charges			
1201. Recording Fee:	Deed \$15.00 Mtg \$0.00 File \$11.00	\$15.00	\$11.00
1202. City/county tax/stamps:	Deed \$0.00 Mtg \$0.00		
1203. State tax/stamps:	Deed \$352.00 Mtg \$0.00	\$176.00	\$176.00
1204. Assignment Recording	to		
1205.	to		
1300. Additional Settlement Charges			
1301. Obtain/Review Survey	to Cumberland Title Company		
1302.	to		
1303.	to		
1304.	to		
1305. Courier Fee	to Cumberland Title Company		
1306.	to		
1307.	to		
1308.	to		
1400. Total Settlement Charges		\$856.00	\$187.00

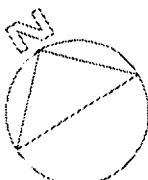
We, the undersigned, identified in section D hereof and Seller in section E hereof, hereby acknowledge receipt of this completed Settlement Statement (pages 1 and 2) on December 4, 2002.

Buyers: Julia B. Volger Theodore J. Volger, Jr.

Sellers: Goldeneye Corp. by its Treasurer Lloyd B. Wolf

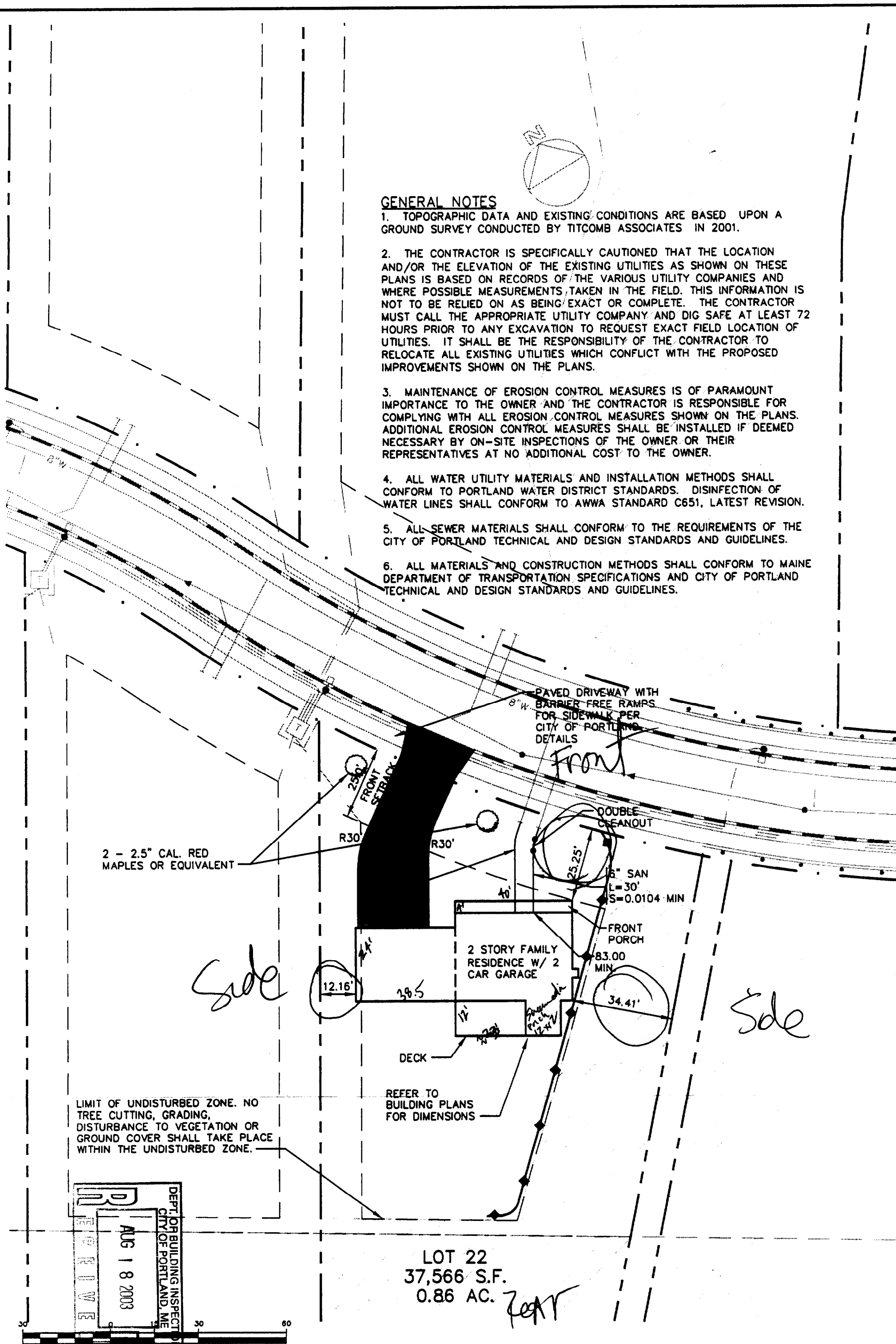
The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. I have caused or will cause funds to be disbursed in accordance with this statement.

Settlement Agent: \_\_\_\_\_ Date: December 4, 2002



**GENERAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



2 - 2.5" CAL. RED MAPLES OR EQUIVALENT

PAVED DRIVEWAY WITH BARRIER FREE RAMPS FOR SIDEWALK PER CITY OF PORTLAND DETAILS

Front

DOUBLE CLEANOUT

16" SAN  
L=30'  
S=0.0104 MIN

FRONT PORCH

83.00 MIN

2 STORY FAMILY RESIDENCE W/ 2 CAR GARAGE

DECK

REFER TO BUILDING PLANS FOR DIMENSIONS

LIMIT OF UNDISTURBED ZONE. NO TREE CUTTING, GRADING, DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

RECEIVED  
AUG 18 2003  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

LOT 22  
37,566 S.F.  
0.86 AC.

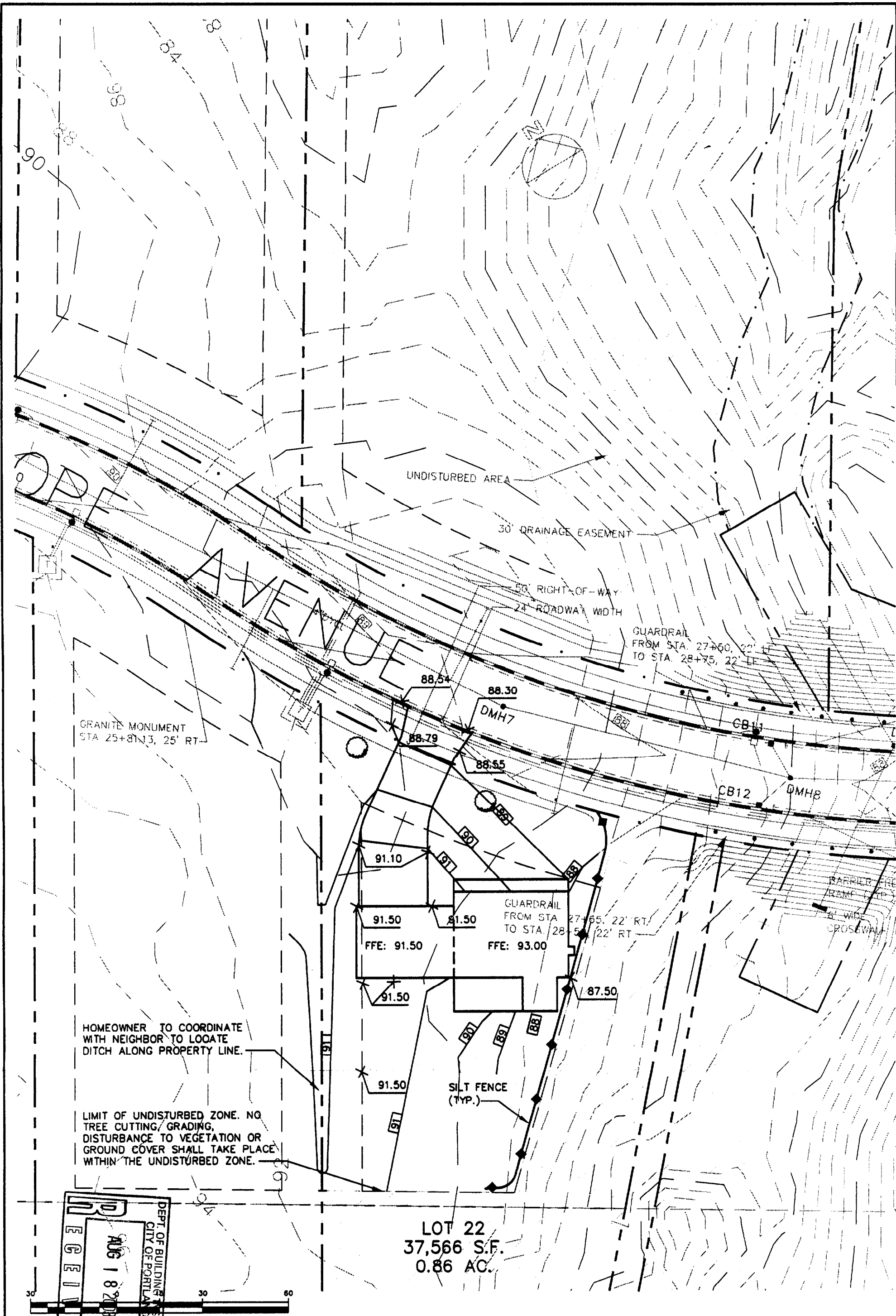
FEET

Design: DER	Date: JUNE 03
Draft: CAM	Job No.: 808
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237  
 15 Sable Road  
 Gray, ME 04530  
 207-687-8810  
 FAX: 207-687-8812  
 E-Mail: mail@gorrillpalmer.com

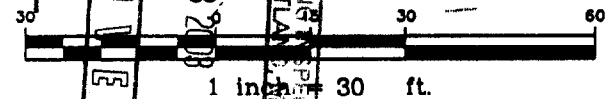
Drawing Name: Lot 22 Site and Utility Plan
Project: PRESUMPCOT RIVER PLACE

Figure No.  
2



LOT 22  
37,566 S.F.  
0.86 AC.

RECEIVED  
AUG 18 2008  
DEPT. OF BUILDING & CONSTRUCTION  
CITY OF PORTLAND, ME



Design: DEW	Date: JUNE 03
Draft: CAP	Job No.: 806
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

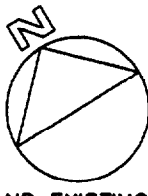
**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237  
15 Solar Road  
Gray, ME 04830  
207-687-6910  
FAX: 207-687-6913  
E-Mail: info@gorrillpalmer.com

Drawing Name: **Lot 22 Grading and Drainage Plan**

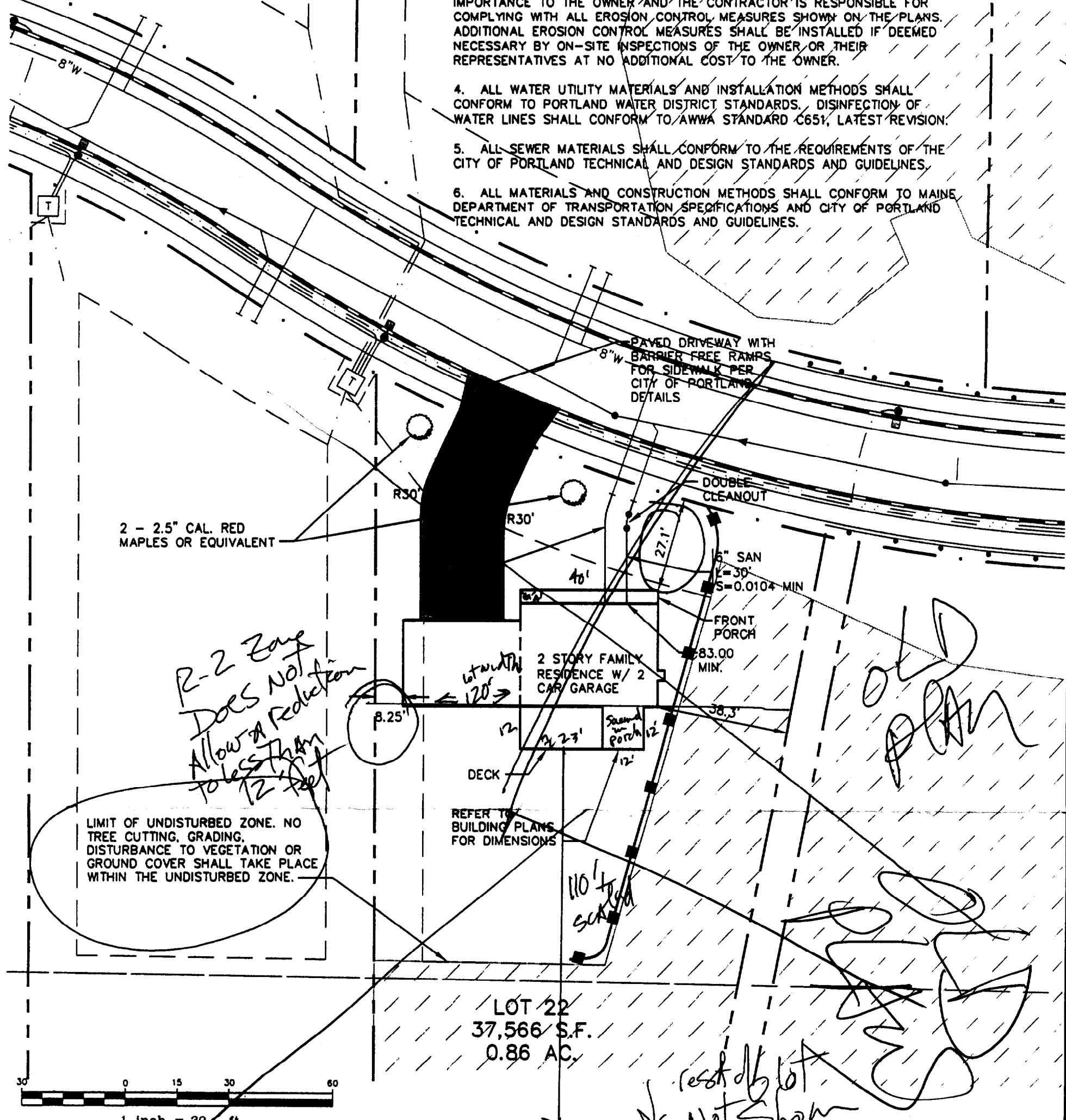
Project: **PRESUMPCOT RIVER PLACE**

Figure No.  
**3**



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DOUBLE CLEANOUT

6" SAN  
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REFER TO BUILDING PLANS FOR DIMENSIONS

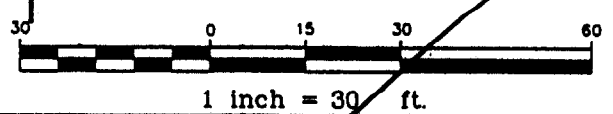
LOT 22  
37,566 S.F.  
0.86 AC.

*R-2 Zone Does Not Allow a Reduction to less than 12 feet*

LIMIT OF UNDISTURBED ZONE. NO TREE CUTTING, GRADING, DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

*OLD PLAN*

*resub d/b lot Not Show*



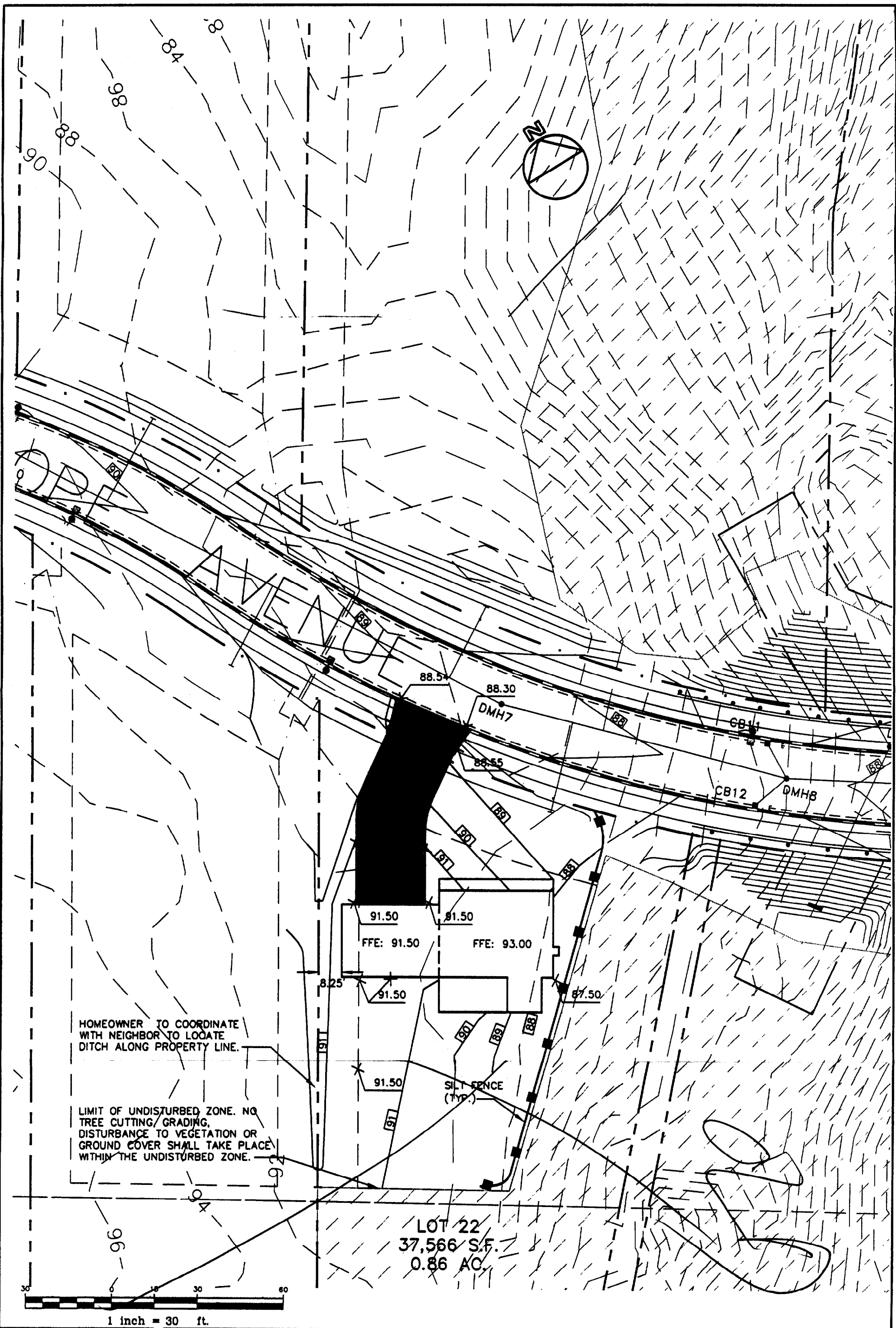
Design: DER	Date: JUNE 03
Draft: CAH	Job No.: 806
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237  
 18 Solar Road  
 Gray, ME 04039  
 207-687-8910  
 FAX: 207-687-8912  
 E-Mail: mal@gpwrpalmer.com

Drawing Name: <b>Lot 22 Site and Utility Plan</b>
Project: <b>PRESUMPCOT RIVER PLACE</b>

Figure No.  
**2**





HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE.

LIMIT OF UNDISTURBED ZONE. NO TREE CUTTING/ GRADING, DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

LOT 22  
37,566 S.F.  
0.86 AC.

Design: DER	Date: JUNE 03
Draft: CAM	Job No.: 806
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

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PO Box 1237  
18 Debar Road  
Orono, ME 04469  
207-687-0910  
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Drawing Name: Lot 22 Grading and Drainage Plan

Project: PRESUMPCOT RIVER PLACE

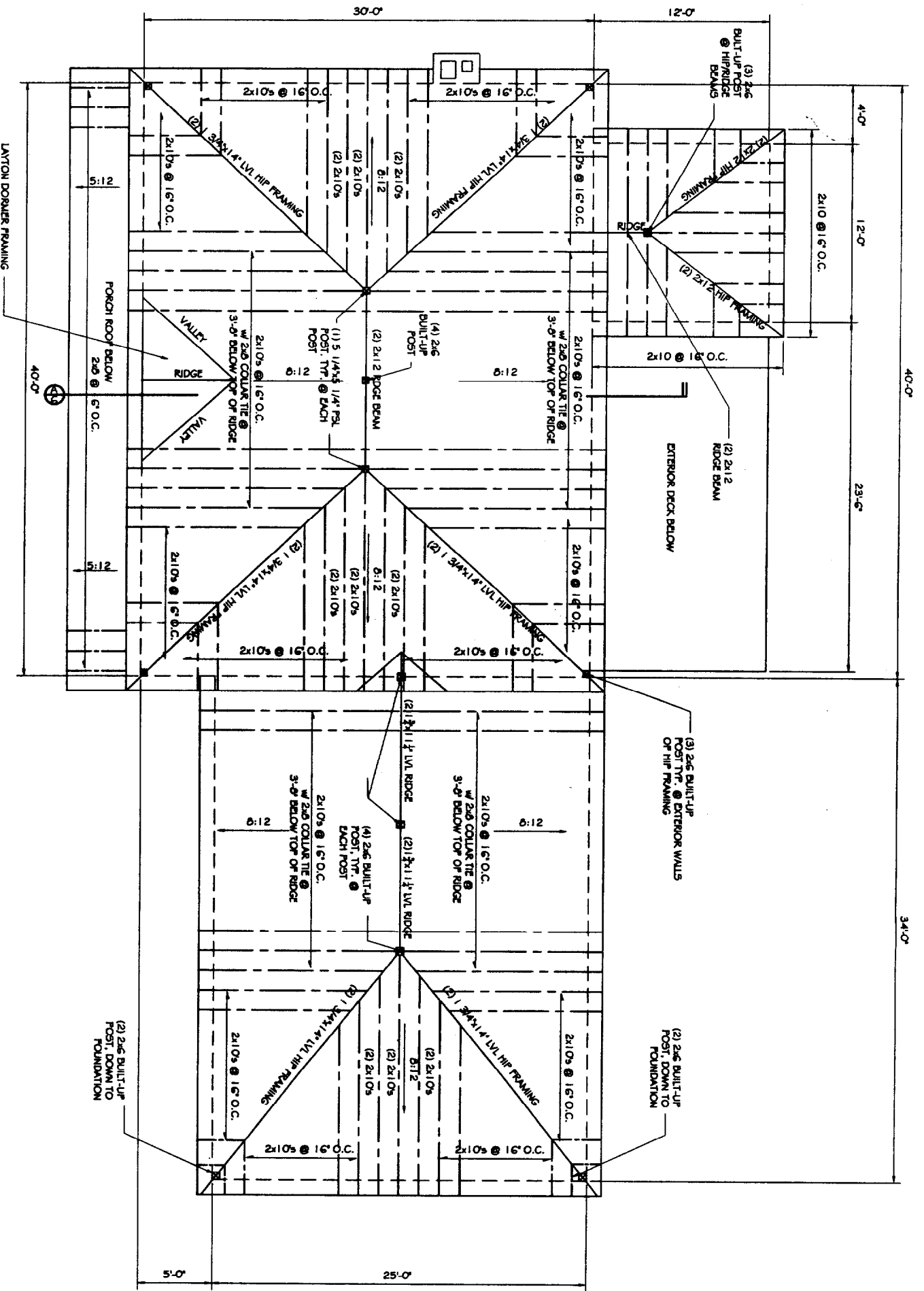
Figure No. 3











**ROOF PLAN**  
SCALE: 1/4" = 1'

NOTE:  
PROVIDE (2) 2x10s @ 16" O.C.  
FOR ROOF RAFTERS W/ A  
SLOPE LENGTH GREATER THAN 12'-0"

- NOTES:
1. ALL PLYS ARE 2 O.E. PARALAM UNLESS OTHERWISE NOTED.
  2. ALL LVLS ARE 1.5E MICROLAM LVLS UNLESS OTHERWISE NOTED.
  3. ALL SPECIFIED HEADER POSTS ARE JACK STUDS. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD. QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER READ @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
  4. PROVIDE & INSTALL ALL SIMPSON STRONG TIE CONNECTIONS AS RECOMMENDED BY MANUFACTURER.
  5. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.

THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBER SIZES FOR NEW OR MODIFIED STRUCTURE ONLY. DESIGN AND DETAIL FOR FOUNDATION ELEMENTS, FRAMING CONNECTIONS, COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL.

DATE:	2/28/23
SCALE:	1/4" = 1'
DRAWN BY:	AVT
CHECKED BY:	AVT
PROJECT NUMBER:	03017
SHEET:	A4 of 6

REVISION	DESCRIPTION	DATE

PROJECT: **VOLGER RESIDENCE**  
PORTLAND, MAINE

SHEET TITLE:  
**ROOF PLAN**

STATE OF MAINE  
Professional Seal Area  
Professional Seal No. 12345  
Professional Seal Expiration Date 12/31/2025

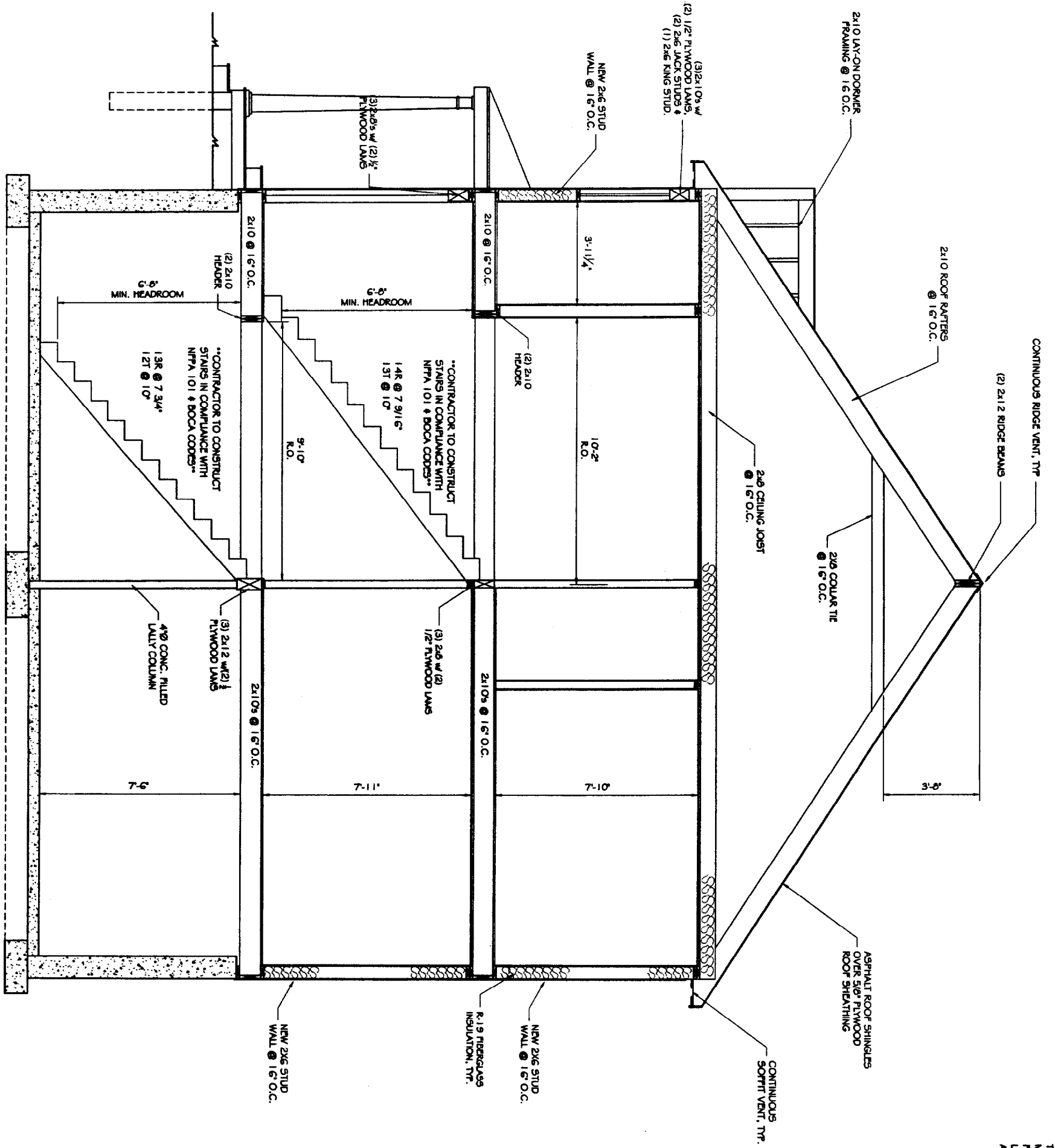
**ASSOCIATED DESIGN PARTNERS INC.**

60 Leighton Road  
Portland, Maine 04105

Office: (207) 878-1751  
Fax: (207) 878-1788  
Email: info@adpartners.com







THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS ONLY FOR NEW OR MODIFIED STRUCTURES ONLY. DESIGN AND DETAIL FOR FOUNDATION ELEMENTS, FRAMING CONNECTIONS, COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE JURISDICTION OF THIS P.E. SEAL.

- NOTES:**
1. ALL PLYS ARE 2 O.E. PARALLEL UNLESS OTHERWISE NOTED.
  2. ALL LVIS ARE 1.92 INCH DIAM UNLESS OTHERWISE NOTED.
  3. ALL SPECIFIED HEADER POSTS ARE JACK STUDS & SHOULD EXTEND TO THE UNDERSIDE OF HEADER. QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER RECD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
  4. PROVIDE & INSTALL ALL SIMPSON STRONG TIE CONNECTORS AS RECOMMENDED BY MANUFACTURER.
  5. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.

**A** FRAMING SECTION A  
SCALE: 1/2" = 1'

NO.	REVISIONS	DESCRIPTION	DATE

PROJECT: **VOLGER RESIDENCE**  
PORTLAND, MAINE

SHEET TITLE:  
**SECTION DETAILS**

ASSOCIATED DESIGN PARTNERS INC.  
30 Leighton Road  
Portland, Maine 04105

**ASSOCIATED DESIGN PARTNERS INC.**

Office: (207) 899-1751  
Fax: (207) 876-1781  
E-Mail: [adp@adpartners.com](mailto:adp@adpartners.com)



DATE: 5/19/03  
SCALE: 1/2" = 1'  
DESIGNED BY: JAT  
DRAWN BY: JAT  
FILE NO.: 03017-1.DWG  
PROJECT NUMBER: 03017

SHEET: **A6** OF **6**