

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0900	Issue Date: SEP 25 2003	CBL: 392 X 022001
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Location of Construction: 161 Hope Ave <i>City</i>	Owner Name: Volger Theodore J Jr &	Owner Address: 1705 Washington CITY OF PORTLAND	Phone: 97-8800
Business Name:	Contractor Name: Paul Volger Ted Volger	Contractor Address: 1705 Washington Avenue Portland	Phone: 2077978800
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R2

Past Use: Vacant Land	Proposed Use: New Single Family w/Attached Garage	Permit Fee: \$2,106.00	Cost of Work: \$190,000.00	CEO District:
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B BOCA 1999
Signature:	Signature: JMB 9/25/03

Proposed Project Description:
Construct a 30'x40' SF w/10'x22" Breezeway and a 25'x24' Attached 2 Car Garage

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 07/24/2003	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>NA</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Amely zone</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan # 2003-0161</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>of with conditions</i></p> <p>Date: 9/2/03</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0900	Date Applied For: 07/24/2003	CBL: 392 B022001
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Location of Construction: 161 Hope Ave	Owner Name: Volger Theodore J Jr &	Owner Address: 1705 Washington Ave	Phone: () 797-8800
Business Name:	Contractor Name: Paul Volger Ted Volger	Contractor Address: 1705 Washington Avenue Portland	Phone: (207) 797-8800
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: New Single Family w/Attached Garage	Proposed Project Description: Construct a 30'x40' SF w/10'x22" Breezeway and a 25'x24' Attached 2 Car Garage
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/18/2003**Note:** 08/04/03 No site plan review for this project is in the system - side setback is 8.25 - the R-2 zone does not permit less than 12' - I will write letter 08/18/03 received revised drawings **Ok to Issue:**

- 1) No certificate of occupancy shall be issued for any house lot in the subdivision until the base pavement has been completed along the entire length of Hope Avenue in Portland as well as Falmouth.
- 2) "No Parking" street signs shall be installed along the subdivision roadways PRIOR to the issuance of the first house lot certificate of occupancy (whether permanent or temporary) for this subdivision.
- 3) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum of 12' wide. Individual homeowners shall be responsible for paving of driveways.
- 4) Your setbacks are very close to the minimum allowed. It is the responsibility of the owner/developer/contractor to call the Code Enforcement Officer to measure setbacks PRIOR to placing any concrete. There may be a requirement of a written certificate of placement by a surveyor prior to placement.
- 5) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 6) This permit is being approved on the basis of revised plans submitted on 8/18/03. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/25/2003**Note:** 8/27/03 Contacted Ted V. For more information based on the review sheets w/permit 9/9/03 Received call from Chris Brown @ Associated Design Partners verifying the information required for the review and said new plans would be submitted. **Ok to Issue:**

- 1) Hard-wired battery back up smoke detectors are required in every bedroom, protecting the bedroom and on each level
- 2) Exterior stairs & rails to be built to BOCA 1999
- 3) Tempered windows may be required for any window within 3' of the tub/shower under 60" from the walking surface
- 4) Separate permits are required for any electrical or plumbing work.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

08/05/2003-kwd: 8.25' setback denied, letter sent 8/5/03 by Marge.

161 Hope Ave lot 22
392-B-22

	Soil type/Presumptive Load Value (Table 401.4.1) ≥ 2000 min PSF	OK per owner
STRUCTURAL	Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2) 2' x 1' \odot scaled	OK
Foundation Drainage Dampproofing (Section 406)	? not shown	OK
Ventilation (Section 409.1) Crawlspace ONLY	4 windows	OK
Anchor Bolts/Straps (Section 403.1.4)	? not shown	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	4" lally shows - 8'0" - 6'6" max span allowed 6'1" + 7'0"	per design prof. stamp calculations & built up
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	3-2x12 not sufficient	beam are adequate 9/18/03 Chris Brown
Sill/Band Joist Type & Dimensions	2x10	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 16 O.C.	OK

3
2
1

Stairs Number of Stairways Interior Exterior Treads and Risers (Section 314) Width Headroom Guardrails and Handrails (Section 315)	<p>4 3 1 beam Basement 7 3/4" = 10" 1st - 7 7/16" = 10" ? Garage - not shown 3'4" 6'8"</p> <p>? not shown</p>	<p>per BOCA OK OK OK</p>
Private Garage Section 309 and Section 407 1999 BOCA) Living Space - ? Living Space - ? (for beside)	<p>5/8 wall</p>	<p>OK</p>
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	<p>? Door not shown 4" OK</p>	<p>OK</p>
Egress Windows (Section 310)	<p>? verify type</p>	<p>3046 OK - 5.7.</p>

4.

5.

6.

7.

8.

	Roof Covering (Chapter 9)	Asphalt	OK
9.	Safety Glazing (Section 308)	? 2nd FL. BATH	Condition of tempered
10.	Attic Access (BOCA 1211.1)	? NOT shown	OK in hall
	Draft Stopping around chimney	EXterior	
	Header Schedule	Schedule Garage 3 1/2" x 11 1/4" LVL Garage 3 1/2" x 11 1/4" LVL	Beam OK
11.	Type of Heating System	? verify	
12.	Smoke Detectors Location and type/interconnected	? verify where	Condition OK

See Chimney Summary Checklist

Rear Deck
2x10 + 6 O.C.
3-2x10 Beams

OK Screen porch
16 O.C.
Joists 2x10
Beam 2-1 3/4" x 9 1/4" PSL
2-2x10 sides 3'0
HPS 2-2x12
rafters 2x10 16 O.C.
ceiling joists - 2x8
Header 3-2x8 OK

Front Deck
2-2x10 Beams
condition.
Don Bath
? stairs

		Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10 16 o.c.	OK
	Attic or additional Floor Joist Species Dimensions and Spacing Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8 16 o.c. 2x8 collars ties	OK	
	Roof Rafter: Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	8:12 2x10 16 o.c. 2-2x12 Ridge Beam posted LVL HIPS	OK	
	Sheathing: Floor, Wall and roof (Table 503.2.1(1))	3/4 T&G 1/2" CDX 5/8" fir	OK	
14.	Fastener Schedule (Table 602.3(1) & (2))	? Typical not shown	OK	

13.

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1
		2-inch minimum thickness for hearth extension.	1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10
		12 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10
		20 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11
		12-inch minimum firebox depth for Rumford fireplaces.	
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber	H	6 inches lined; 8 inches unlined.	1003.8
		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional five.	1003.3.1
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;
		1/2-inch grout or airspace between liner and wall.	1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances	N	From chimney	2 inches interior, 1 inch exterior.
		From fireplace	2 inches front, back or sides.
		Combustible trim or materials	6 inches from opening.
		Above roof	3 feet above roof penetration, 2 feet above part of structure within 10 feet.
Anchorage ^a	O	Strap	3/16 inch by 1 inch.
		Number	Two.
		Embedment into chimney	12 inches hooked around outer bar with 6-inch extension.
		Fasten to	Four joists.
		Bolts	Two 1/2-inch diameter.
Footing	P	Thickness	12-inch minimum.
		Width	6 inches each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2003-0161

Application I. D. Number

07/24/2003

Application Date

DRC Copy

(Lot #22)

Volger Theodore J Jr &

Applicant

1705 Washington Ave , Portland , ME 04103

Applicant's Mailing Address

Project Name/Description

161 - 161 Hope Ave , Portland, Maine

Address of Proposed Site

392 B022001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2790 s.f.

37566 sf

R-2

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date 08/05/2003

Status:

Reviewer Jay Reynolds

- Approved Denied

Approval Expiration 08/28/2004 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds 08/28/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0161

Application I. D. Number

07/24/2003

Application Date

Volger Theodore J Jr &

Applicant

1705 Washington Ave , Portland , ME 04103

Applicant's Mailing Address

Project Name/Description

161 - 161 Hope Ave , Portland, Maine

Address of Proposed Site

Consultant/Agent

Agent Ph:

Agent Fax:

392 B022001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

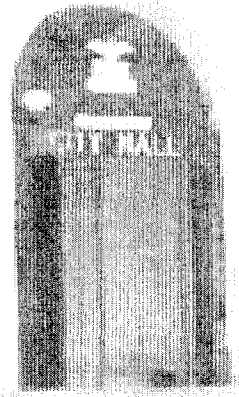
Approval Conditions of DRC

- 1 THE EXISTING UNDISTURB ZONE SHALL NOT BE AFFECTED BY CONSTRUCTION.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now #161 HOPE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Ted Volger</u>	FROM: <u>Jeanie Bourke</u>
FAX NUMBER: <u>878-6300</u>	NUMBER OF PAGES, WITH COVER: <u>5</u>
TELEPHONE: _____	RE: <u>Permit Review Record</u>
DATE: <u>8/27/03</u>	_____

Comments: ^{Ted} Hopefully This will be clear —
please call if questions —
874-8715
Jeanie

Applicant: Ted & Paul Volger

Date: 8/4/03

Address: 161 Hope (lot #22)

C-B-L: 392-B-22

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Construction # 03-0900

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct New single family dwelling with attached garage 24'x25'

Sewage Disposal - City

Lot Street Frontage - 50' min $\approx 140'$ scaled

Front Yard - 25' min req - ~~25.25'~~ 25.25' new plans 8/10/03

Rear Yard - 25' min req - 110' ft plus shown

Side Yard - 14 ft min with 12' reduction ~~8.25'~~ 30.3' shown NO 8/10/03 new plans 12' 0" min 34.4' shown (12 min permitted)

Projections - left side chimney - 25' x 5' - 12x12 rear screened porch - 12x23 rear deck

Width of Lot - 80' req - 120' scaled

Height - 35' max - 29.5' to ridge

Lot Area - 10,000 sq ft 37,566 sq ft

Lot Coverage/Impervious Surface - 20% max = 7513.2 sq ft max

Area per Family - 10,000 sq ft

Off-street Parking - 2 req - 2 car garage attached

Loading Bays - N/A

Site Plan - many/minors not assigned yet

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 Zone X

6 x 40	=	240
12 x 12	=	144
12 x 23	=	276
30 x 40	=	1200
10 x 25	=	250
24 x 25	=	600
<hr/>		
		2710

SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

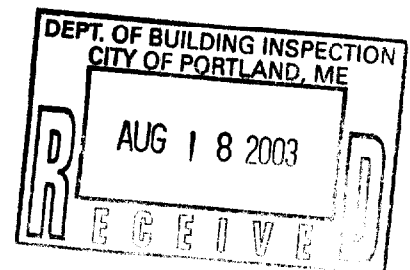
MINIMUM LOT WIDTH: 80 FT.
OTHER USES:

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

*2nd submitted plot plans
used for reviewing*

*Zoning
8/18/03*



Design: DER	Date: JAN 2003
Draft: SCB	Job No.: 712
Checked: AMP	Scale: NTS
File Name: 712-sp.dwg	

GP	Traffic and Civil Engineering Services
	PO Box 1237, 15 Shaker Road
	Gray, ME 04039
	207-657-6910

Drawing Name:	Space & Bulk Requirements
Project:	PRESUMPCOT RIVER PLACE

Figure No.	1
------------	----------

**LETTER OF
 TRANSMITTAL**

PO Box 1237
 15 Shaker Road
 Gray, ME 04039

(207) 657-6910
 Fax : (207) 657-6912
 E-mail: mailbox@gorrillpalmer.com

To: Ms. Marge Schmuckal
 City of Portland - Planning Dept.
 389 Congress Street
 Portland, ME 04101

Via: US Mail

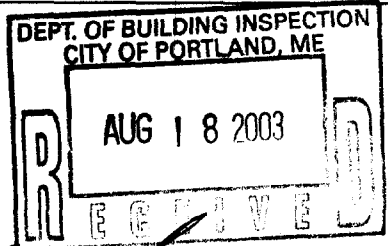
RE: 157-167 Hope Avenue (Lot 22)

Date: August 14, 2003

Project No: 712

For your use <input checked="" type="checkbox"/>		As requested <input type="checkbox"/>		For Review and comment <input type="checkbox"/>	
Shop Drawings <input type="checkbox"/>	Prints <input type="checkbox"/>	Plans <input checked="" type="checkbox"/>	Specifications <input type="checkbox"/>	Copy of letter <input type="checkbox"/>	Other <input type="checkbox"/>
Copies	Date	Number	Description		
3	8/12/03		Revised Lot layout		

Remarks:
 Relocated building to meet 12' side setback



Doug Reynolds
 Signed Doug Reynolds, P.E.

Copy To: Ted Volger

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Building Copy**

2003-0161

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7/24/2003

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392 B022001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2790 s.f.

37566 sf

R-2

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 7/24/2003

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

OLD PLANS

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

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Design: DER	Date: JAN 2003
Draft: SGB	Job No.: 712
Checked: AMP	Scale: NTS
File Name: 712-sp.dwg	

GP Traffic and Civil Engineering Services
PO Box 1237, 15 Shaker Road
Gray, ME 04039
207-657-6910

Drawing Name:
Space & Bulk Requirements

Project:
PRESUMPCOT RIVER PLACE

Figure No.
1

CBL ??

03-0900

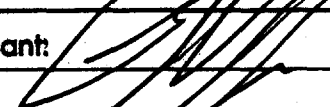
All Purpose Building Permit Application

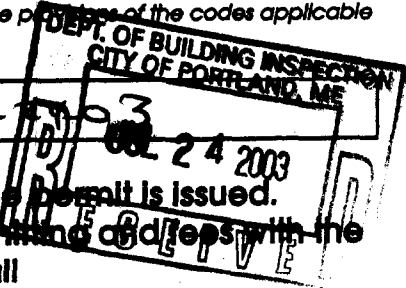
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ¹⁵⁷⁻¹⁶⁷ Lot #22 Hope Avenue Portland, Me		
Total Square Footage of Proposed Structure 2800	Square Footage of Lot 37,566 SF	
Tax Assessor's Chart, Block & Lot Chart# 392 Block# BB Lot# -022	Owner: Theodore J Volger III Julia B Volger	Telephone: 797-8800
Lessee/Buyer's Name (if Applicable) OK per latest CBL's	Applicant name, address & telephone:	Cost Of Work: \$ 190,000 Fee: \$ Bldg. 1701.00 Site 300.00 C&P 75.00 \$ 2076.00
Current use: Vacant		
If the location is currently vacant, what was prior use:		
Approximately how long has it been vacant:		
Proposed use: 30' x 40' 10' x 22' breezeway		
Project description: Garage 2 Car attached 25' x 24'		
Contractor's name, address & telephone: Deck 12' x 22'		
Who should we contact when the permit is ready: Ted + Paul Volger 12' x 12'		
Mailing address: 1705 Washington Ave Portland, Me 04103		screened Park
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 797-8800		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 7-24-03
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and steps with the Planning Department on the 4th floor of City Hall

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

August 5, 2003

Ted & Paul Volger
1705 Washington Avenue
Portland, ME 04103

*Received New plans
8/18/03*

RE: 157-167 Hope Avenue (lot #22) – R-2 zone – 392-B-022 – permit application #03-0900


Dear Ted and Paul,

I am in receipt of your permit application to construct a new single family home with an attached garage at 157-167 Hope Avenue. Your permit is being denied because your site plan does not meet the requirements of the R-2 residential zone.

new plans show 12.25' on closest side

Your construction plans show a two story dwelling. The R-2 zone requires a fourteen (14) foot side yard setback for a two story dwelling. The required side yard setback may be reduced on one side yard to no more than twelve (12) feet, if for every foot reduced on that one side, it is added to the opposite required side yard. Your plans show one side yard to be eight and one quarter (8.25) feet from the side property line. This is less than the minimum required side yard setback. Please also note that a chimney may not extend more than two (2) feet into a required setback.

You have the right to appeal my decision concerning required setbacks. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal. If you wish to amend your current submittal, you will have thirty days from the date of this letter in which to do so. After thirty days your permit application will expire. Any future application will require a separate application with all required fees.

Very truly yours,

Marge Schmuckal
Zoning Administrator

STATUTORY WARRANTY DEED

BUYER

GOLDENEYE CORP., a Maine corporation with a principal place of business in Falmouth, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

THEODORE J. VOLGER, JR., and **JULIA B. VOLGER**, whose mailing address is 1705 Washington Avenue, Portland, Maine 04103, as **JOINT TENANTS**

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 22 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650.

2. Rights and easements granted to Central Maine Power Company in instruments dated February 10, 1954 and recorded at said Registry of Deeds in Book 2167, Pages 432 and 435, subject to restrictions set forth therein.
3. Rights and easements granted to Portland Water District in an instrument dated December 30, 1955 and recorded at said Registry of Deeds in Book 2267, Page 257.
4. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
5. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
6. A ten (10) foot pedestrian easement along the easterly sideline of Lot 22 and extending in a southwesterly direction to land now or formerly of the City of Portland as shown on said Plan recorded in Plan Book 202, Page 650.
7. A thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650.
8. An easement deed from Goldeneye Corp. to the City of Portland of recent date herewith, to be recorded at said Registry of Deeds.
9. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.
10. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

IN WITNESS WHEREOF, the said GOLDENEYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by **Lloyd B. Wolf**, its Treasurer, thereunto duly authorized this 9th day of December, 2002.

GOLDENEYE CORP.

_____ By: _____
Its Treasurer

STATE OF MAINE
CUMBERLAND, SS.

December 9, 2002

Then personally appeared the above-named **Lloyd B. Wolf**, its Treasurer, of **GOLDENEYE CORP.** as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Attorney at Law/Notary Public

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

Permit Number: 030900
SF 257005

PERMIT

This is to certify that Volger Theodore J Jr & Paul Volger Ted Volger
has permission to Construct a 30'x40' SF w/10' Breezeway and 12'x24' Attached 2 Car Garage
AT 161 Hope Ave 392 3022001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on procedure before this building or part thereof is occupied or enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Carrie Bonke 9/25/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD