

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMITPlease Read
Application And
Notes, If Any,
Attached

Permit Number: 090957

PERMIT ISSUED**OCT - 2 2009**This is to certify that The Vesta Corp / Mike DiMille the Vestahas permission to Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 garageAT 189 HOPE AVE

City of Portland A020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. MacKinnon 9/28/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

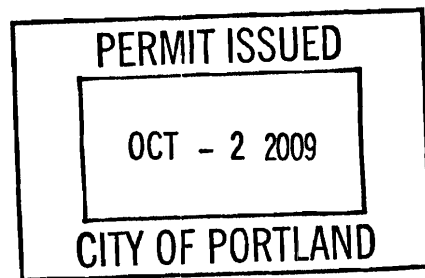
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0957	Issue Date:	CBL: 392 A020001
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Location of Construction: 189 HOPE AVE	Owner Name: The Vesta Corp / Mike DiMillo	Owner Address: P.O. Box 1464	Phone: 207-232-8050
Business Name:	Contractor Name: The Vesta Corp	Contractor Address: P.O. Box 1464 Portland	Phone: 2072328050
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage	Permit Fee: \$3,175.00	Cost of Work: \$308,000.00	CEO District: 5
Proposed Project Description: Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage		FIRE DEPT: ☐ Approved ☐ Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>FRC 2003</i> Signature: <i>Jim</i> 9/27/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 09/24/2009	Zoning Approval		
- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. - Building permits do not include plumbing, septic or electrical work. - Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews ☐ Shoreland <i>N/A</i> ☐ Wetland <i>N/A</i> ☐ Flood Zone <i>Panel 2-200X</i> ☐ Subdivision ☒ Site Plan <i>2009-0068</i> Maj ☐ Minor ☐ MM ☒ <i>Ok w/ conditions</i> Date: <i>7/16/09</i> <i>ABN</i>	Zoning Appeal ☐ Variance ☐ Miscellaneous ☐ Conditional Use ☐ Interpretation ☐ Approved ☐ Denied Date: _____	Historic Preservation ☒ Not in District or Landmark ☐ Does Not Require Review ☐ Requires Review ☐ Approved ☐ Approved w/Conditions ☐ Denied <i>ABN</i> Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

10/14/09 Footings/Setbacks 15' 4" (16 on plan) from footing edge (not center)
to closest side setback (left front the property).
contractor states no changes in surveyed layout to
forms, footings already poured. JGR

10/20/09 - Checked Foundation Before
Backfill - all OK to Backfill.
JGR

10-29-09 OK - underground service (temp power) 200A UG by G.

11/5/09 - checked under slab plumbing - pressure
test on & held required time. OK to Backfill.
11-4-10 OK - rough in elec/plumb (AT) by JGR

3-27-10 20 minute gas test? OK
- gas test - Dishwasher OK
new Electric panel grounded to H₂O meter JGR
Chimney disclosure received OK
Beam specs "

3-28-10 Close
Temp CO site won't be
completed.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0957		Date Applied For: 09/02/2009	CBL: 392 A020001
Location of Construction: 189 HOPE AVE	Owner Name: The Vesta Corp / Mike DiMillo	Owner Address: P.O. Box 1464	Phone: 207-232-8050
Business Name:	Contractor Name: The Vesta Corp	Contractor Address: P.O. Box 1464 Portland	Phone: (207) 232-8050
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	
Proposed Use: Single Family Home - Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage		Proposed Project Description: Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage	
Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 09/16/2009 Note: Zoning review is based on revised siteplan received 9/16/09. Ok to Issue: ☒ 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building Status: Approved with Conditions Reviewer: Tom Markley Approval Date: 09/28/2009 Note: Ok to Issue: ☒ 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office. 3) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy. 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process. 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: DRC Status: Approved with Conditions Reviewer: Philip DiPierro Approval Date: 10/01/2009 Note: Ok to Issue: ☒ 1) No wetland impacts are allowed for home construction including the installation of utilities ie, U/G electric/cable/telephone installations. Wetland areas shall be marked for preservation prior to ground disturbance and the installation of the foundation. 2) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed. 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.			

Location of Construction: 189 HOPE AVE	Owner Name: The Vesta Corp / Mike DiMillo	Owner Address: P.O. Box 1464	Phone: 207-232-8050
Business Name:	Contractor Name: The Vesta Corp	Contractor Address: P.O. Box 1464 Portland	Phone (207) 232-8050
Lessee/Buyer's Name	Phone:		Permit Type: Single Family

- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

9/3/2009-amachado: Spoke to Mike DiMillo. Site plan shows 4' x 24' deck on the front of the house. Building plans don't. Mike said that there wuld be no deck just the 8' x 7' porch. I told him that he needed to revise the site plan. Moving the permit forward to plan reviewer.

9/16/2009-amachado: Received revised site plan with porch removed.

9/28/2009-tm: all reviews completed and waiting for DRC approval before issuance. Permit in Tom's Hold Basket.

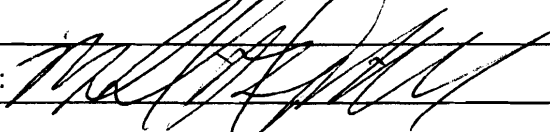
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>189 Hope Avenue (Lot 20)</u>		
Total Square Footage of Proposed Structure <u>Footprint = 3240 / Living Space = 2600</u>		Square Footage of Lot <u>.934 Acre</u>
Tax Assessor's Chart, Block & Lot Chart# <u>392</u> Block# <u>A</u> Lot# <u>20</u>	Owner: <u>The Vesta Corporation</u>	Telephone: <u>207-879-2217</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>The Vesta Corp.</u> <u>P.O. Box 1464</u> <u>Portland, ME 04104</u>	Cost Of Work: \$ <u>308,000</u> Fee: \$
Current use: <u>Vacant land</u> <u>207-879-2217</u>		
If the location is currently vacant, what was prior use: <u>vacant land</u>		
Approximately how long has it been vacant: <u>always</u> <u>3 bedrooms - 3 1/2 story</u>		
Proposed use: <u>Single family residence w/att. 3 car garage</u>		
Project description: <u>to construct new single family ranch-style home (per plans)</u>		
Contractor's name, address & telephone: <u>The Vesta Corporation - Mike DiMillo</u> <u>P.O. Box 1464, Portland, ME 04104</u> <u>232-8050</u>		
Who should we contact when the permit is ready: <u>Mike DiMillo</u>		
Mailing address: <u>P.O. Box 1464</u> <u>Portland, ME 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>232-8050</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>9/1/09</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: The Vesta Corporation

Date: 9/3/09

Address: 189 Hope Ave Lot 20 - Presumptive
River Plan)

C-B-L: 392-A-20

Permit # 09-0957

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

* revised site plan received 9/16/09

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build new one story single family house w/ 3 car garage.

Severage Disposal - City

Lot Street Frontage - 50' min. - 204.71 ft given (subdivision plat.) OK

Front Yard - 25' min. - 58' scaled OK * 53' scaled OK

Rear Yard - 25' min. 87' scaled OK * 87' scaled OK

Side Yard - 15' min. - 15' on left side (8' needed) OK
25' min. - 14' min. - 10' on right side (20' needed) OK
Side yard side street - 20' min.

Width of Lot - 80' min. - 200' scaled OK

Height - 35' max.

Lot Area - 10,000 sq ft min. - 40,696 sq ft (from subdivision plat)

Lot Coverage Impervious Surface - 20% = 8131.2 sq ft

Area per Family - 10,000 sq ft OK

Off-street Parking - 2 spaces required - 2 car + garage OK

Loading Bays - N/A

Site Plan - minor / minor 2009-0068

Shoreland Zoning/Stream Protection -

Flood Plains - panel 2 - zone X

$$\text{deck } 14 \times 12 = 168$$

$$54 \times 48 = 2592$$

$$12 \times 24 = 294$$

$$12 \times 24 = 288$$

$$24 \times 12 = 288$$

$$13 \times 12 = 156$$

$$3786$$

$$16 \times 24 = 12$$

$$11 \times 8 = 3798$$

$$4 \times 24 = 96$$

$$3881$$

$$3786$$

OK

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2009-0068
Application I. D. Number

9/1/2009
Application Date

The Vesta Corp.
Applicant
P.O. Box 1464, Portland, ME 04104
Applicant's Mailing Address

Single Family Home lot#20
Project Name/Description

Mike DiMillo
Consultant/Agent
Applicant Ph: (207) 879-2217 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

189 - 189 Hope Ave , Portland, Maine
Address of Proposed Site
392 A020001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Apt 0 ☐ Condo 0 ☐ Other (specify)
0

Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:

☐ Site Plan (major/minor) ☐ Zoning Conditional - PB ☐ Subdivision # of lots ☐ Design Review
☐ Amendment to Plan - Board Review ☐ Zoning Conditional - ZBA ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Amendment to Plan - Staff Review ☐ Zoning Variance ☐ Flood Hazard ☐ Site Location
☐ After the Fact - Major ☐ Stormwater ☐ Traffic Movement ☐ Housing Replacement
☐ After the Fact - Minor ☐ PAD Review ☐ 14-403 Streets Review ☐ Other

Fees Paid: Site Plan \$50.00 Subdivision Engineer Review \$250.00 Date 9/1/2009

Zoning Approval Status:

Reviewer

☐ Approved ☐ Approved w/Conditions See Attached ☐ Denied

Approval Date Approval Expiration Extension to ☐ Additional Sheets Attached
☐ Condition Compliance signature date

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted date amount expiration date
☐ Inspection Fee Paid date amount
☐ Building Permit Issue date
☐ Performance Guarantee Reduced date remaining balance signature
☐ Temporary Certificate of Occupancy date ☐ Conditions (See Attached) expiration date
☐ Final Inspection date signature
☐ Certificate Of Occupancy date
☐ Performance Guarantee Released date signature
☐ Defect Guarantee Submitted submitted date amount expiration date
☐ Defect Guarantee Released date signature

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL PERSONS BY THESE PRESENTS, that, **Melissa A. Procida** of Portland, Maine, for consideration paid, hereby **GRANTS** to **The Vesta Corporation**, a Maine corporation with a mailing address of PO Box 1464, Portland, ME 04104, with **WARRANTY COVENANTS**, the land with any buildings thereon situated at 189 Hope Avenue Portland, County of Cumberland and State of Maine, described as follows:

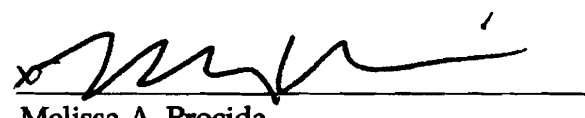
See Attached Exhibit A

Meaning and intending to convey the same premises conveyed to Melissa A. Procida by virtue of a Deed from Robert L. Adam and Lloyd B. Wolf dated August 29, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26310, Page 266.

Witness my hand and seal this 1st day of July, 2009



Witness



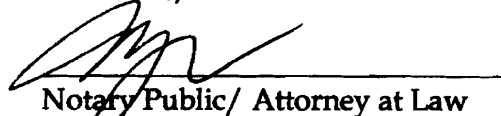
Melissa A. Procida

STATE OF MAINE
COUNTY OF Cumberland, SS.

July 1, 2009

Then personally appeared before me the above named Melissa A. Procida and acknowledged the foregoing instrument to be her free act and deed.

Before me,



Notary Public/ Attorney at Law
Printed Name:
My Comm. Exp:

MATTHEW J. MCDONALD
MAINE ATTORNEY AT LAW

MAINE REAL ESTATE TAX PAID

EXHIBIT A

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 20 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, as revised on April 28, 2003 and recorded at said Registry of Deeds in Plan Book 204, Page 373 (hereinafter sometimes referred to as "Plan"), together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.
3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
4. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
5. A ten (10) foot and thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
6. A culvert and drainage easement deed from Goldeneye Corp. to the City of Portland dated July 6, 2004 and recorded at said Registry of Deeds in Book 21610, Page 52 relating to said easements as shown on Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.

8. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

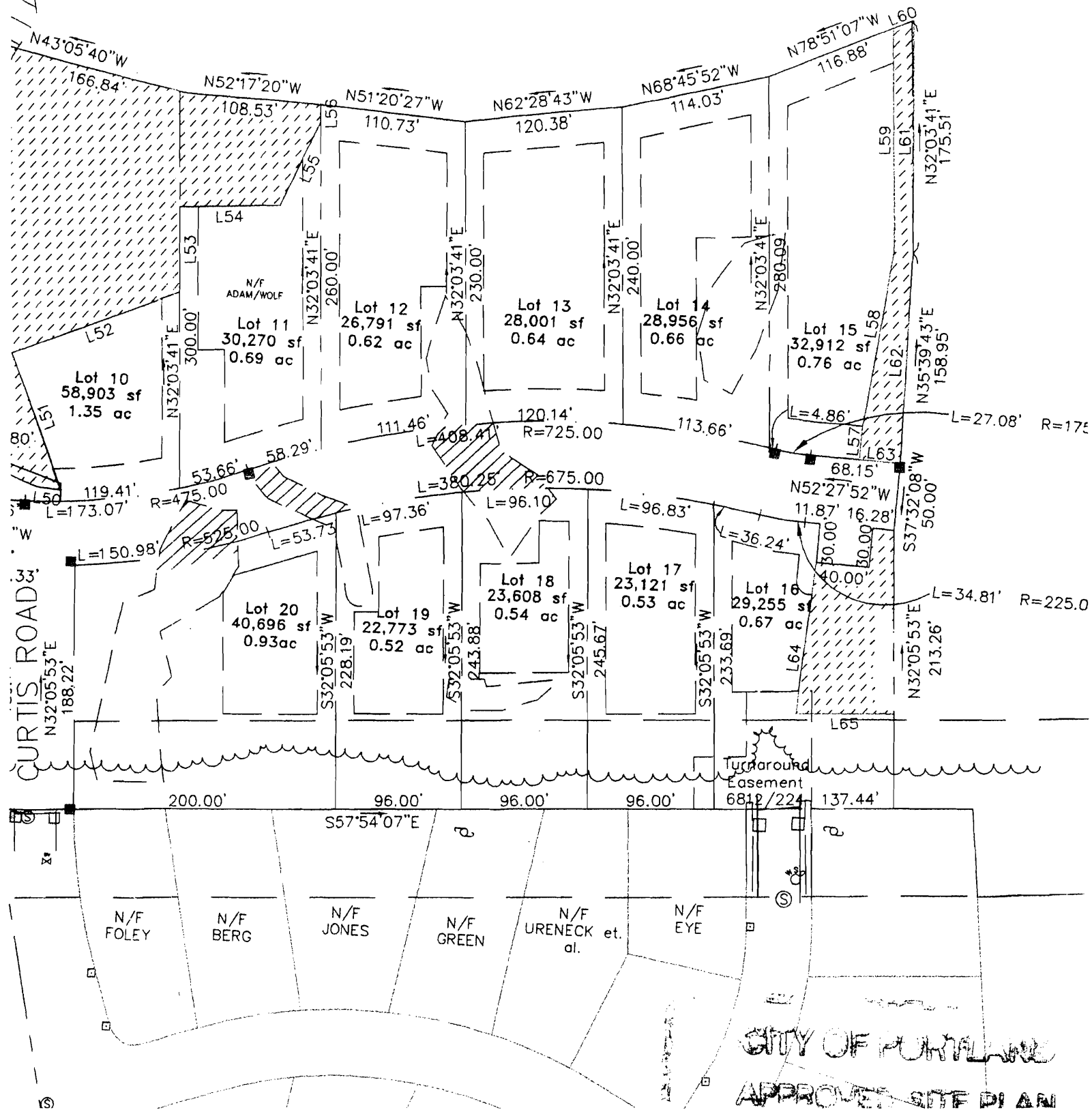
For Grantors' source of title see deed from Melissa A. Procida of even or recent date to be recorded herewith.

2009060670 The Vesta Corporation

Received
Recorded Register of Deeds
Jul 06, 2009 08:36:28A
Cumberland County
Pamela E. Lovley

30' PRIVATE DRAINAGE EASEMENT
CENTERED ON DRAINAGE COURSE

1"=100'



SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

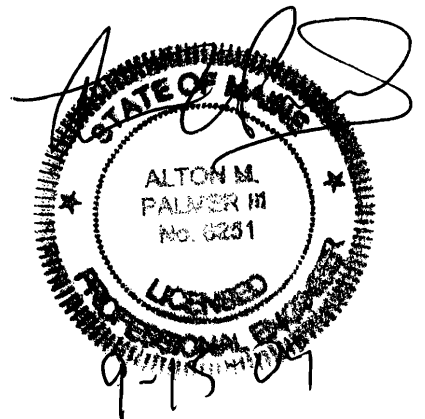
MINIMUM LOT WIDTH:

OTHER USES: 80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (2) TWO STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

SEP 16 2009



189 Hope Ave

Design: WHS	Date: JULY 04
Draft: CAH	Job No.: 1043
Checked: AMP	Scale: NTS
File Name: 98089-ALL-LOTS	

GP	<i>Traffic and Civil Engineering Services</i>
PO Box 1237, 15 Shaker Road	
Gray, ME 04039	
207-657-6910	

Drawing Name:	Space & Bulk Requirements
Project:	PRESUMPSCOT RIVER PLACE

Figure No.	1
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188 Hope Ave - H 392-A-0200001

Permit # 09-0957

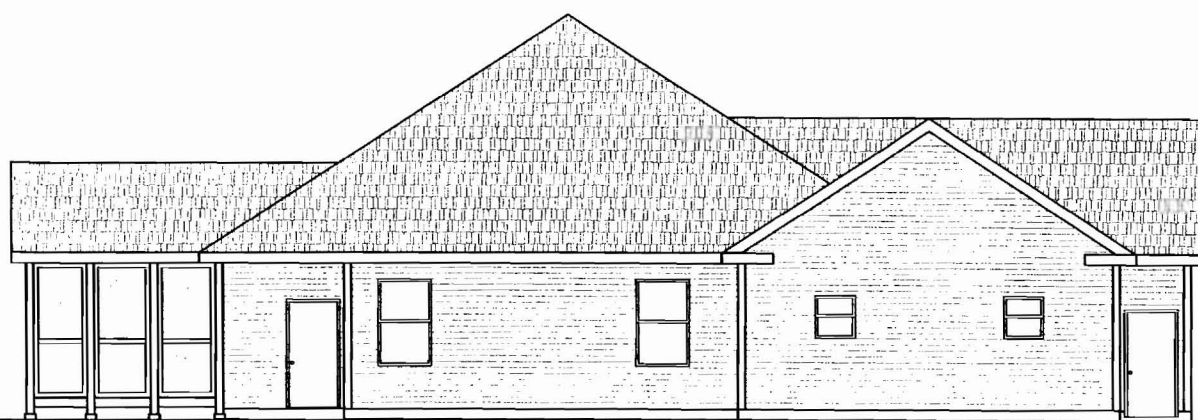
ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	2x concrete footing 8" wall - frost wall around garage	OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	perimeter drains 1/4" dia - fabric crushed stone - damp proofing	OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	NA
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 anchor bolts 48" oc - w/12 inches corners - per spec 2002	OK
Lally Column Type (Section R407)	3 1/2 concrete lally w/ Simpson LCC Cap	
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	2 (1 3/4 x 11 7/8 LVL)	OK
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	16" Floor Trusses @ 16" oc w/bracing per manufacturer	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	16" Floor Trusses 16" oc	OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	16" pre engineered trusses	OK

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8/12 slope - trusses - engineered	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8 sheathing roof 7/16 on walls	
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	OK
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	YES 1 hr	OK
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	30 yr arch shingles	
Safety Glazing (Section R308)	OK	OK
Attic Access (Section R807)	NA	NA
Chimney Clearances/Fire Blocking (Chap. 10)	2 inch min combustibles	OK
Header Schedule (Section 502.5(1) & (2))	3(2x10) 2(2x10's) per IRC	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U- Factor Fenestration	OK	OK

Type of Heating System		
Means of Egress (Sec R311 & R312)		
Basement	1	OK
Number of Stairways	2	
Interior	2	
Exterior	0	
Treads and Risers (Section R311.5.3)	10 inch net tread - 7 3/4 max rise	
Width (Section R311.5.1)	3 FT min	
Headroom (Section R311.5.2)	6' 8 min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 min Guards - Handrails 34-38	
Smoke Detectors (Section R313) Location and type/Interconnected	Each Bedroom - interconnected each level / common areas	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)		
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1)	per IRE	OK



A1 REAR ELEVATION
SCALE: 3/8" = 1'-0"

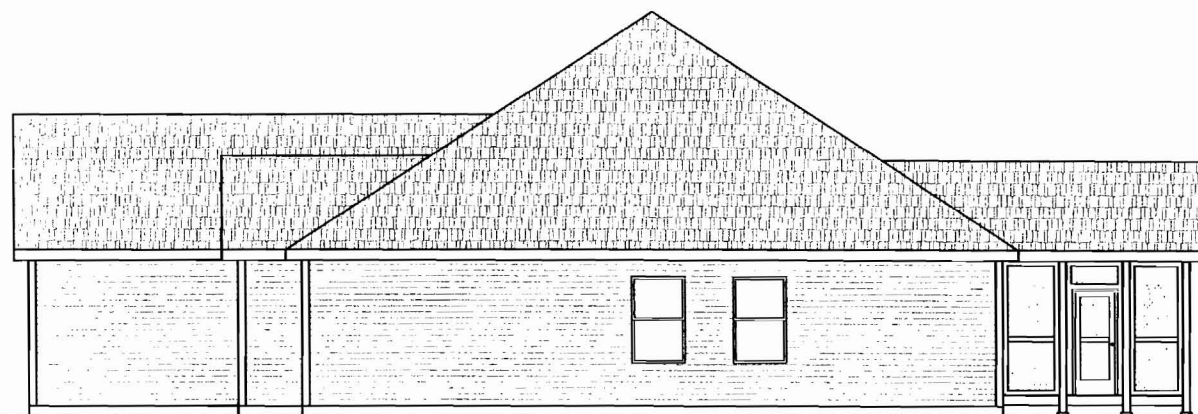


A1 LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"



RANCH HOUSE SERIES
#146 OVERHEAD
DOORS BY OVERHEAD
DOOR CO.

A1 FRONT ELEVATION
SCALE: 3/8" = 1'-0"



A1 RIGHT SIDE ELEVATION
SCALE: 3/8" = 1'-0"

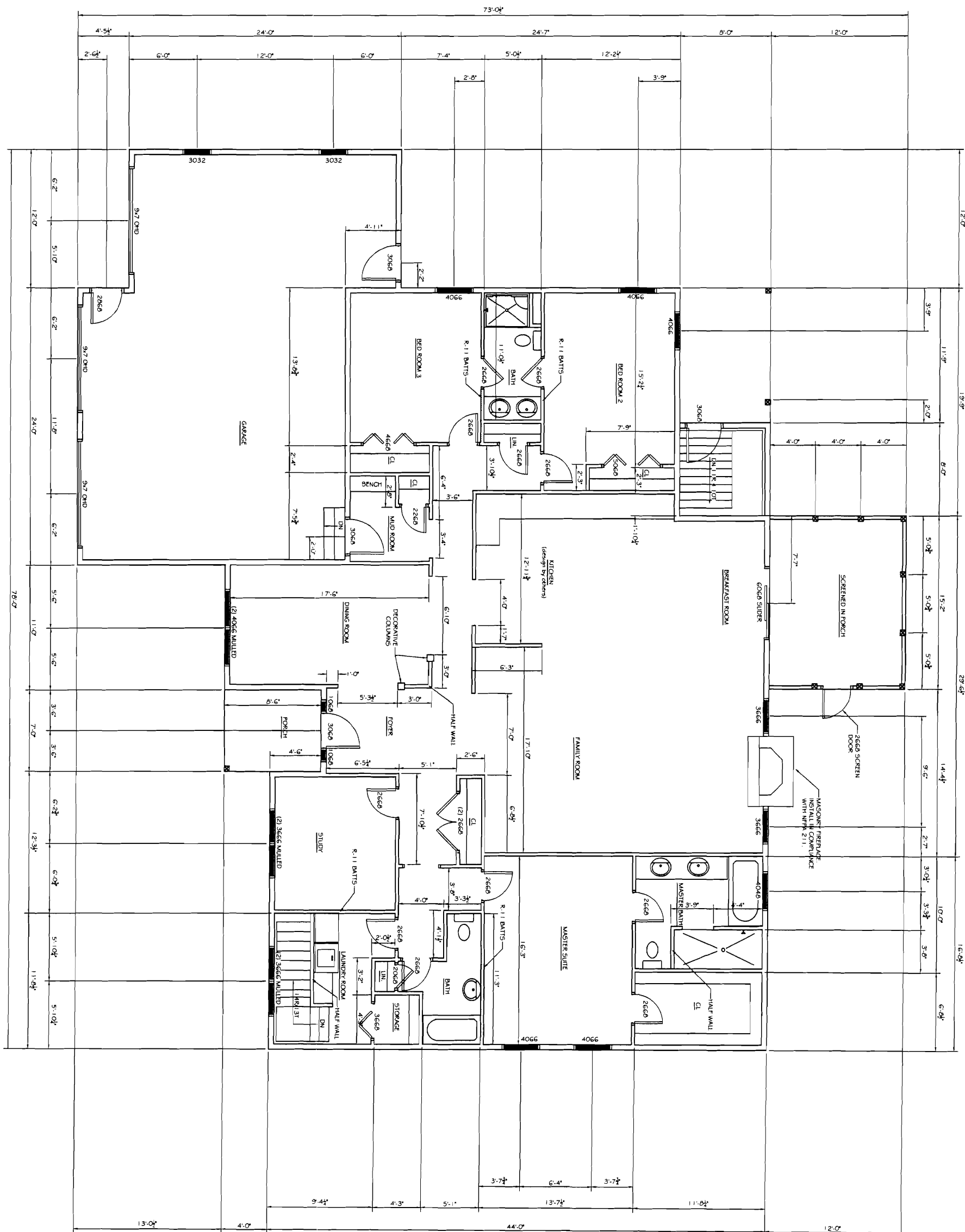
**ASSOCIATED DESIGN
PARTNERS INC.**
80 Leighton Road
Falmouth, Maine 04105
Office: (207) 878-1751
Fax: (207) 878-1788
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PROJECT: **MONFILETTO RESIDENCE**
FOR: TONY MONFILETTO
SHEET TITLE: **ELEVATIONS**
ISSUED FOR PERMITTING
185 Hope Ave
permit #
09-0957

NO.	BY	DATE	DESCRIPTION
1	ASW	8/4/09	AS NOTED
2	ASW	8/4/09	AS NOTED
3	ASW	8/4/09	AS NOTED
4	ASW	8/4/09	AS NOTED
5	ASW	8/4/09	AS NOTED
6	ASW	8/4/09	AS NOTED
7	ASW	8/4/09	AS NOTED
8	ASW	8/4/09	AS NOTED
9	ASW	8/4/09	AS NOTED
10	ASW	8/4/09	AS NOTED

DATE: 8/4/09
SCALE: AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE # 09202-A301.DWG
PROJECT NUMBER:
09202
SHEET NO:
A301

[illegible]

PROJECT: **MONFILETTO RESIDENCE**
FOR: TONY MONFILETTO *1874 Hope Ave*
SHEET TITLE: **FIRST FLOOR PLAN
ISSUED FOR PERMITTING**

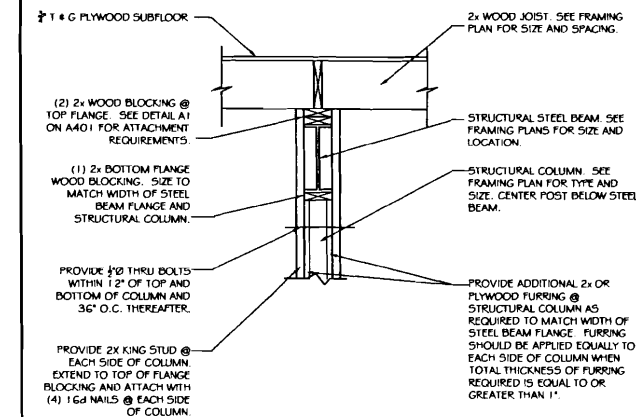
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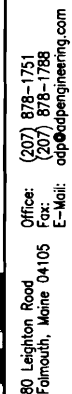
**ASSOCIATED DESIGN
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Falmouth, Maine 04105 Fax: (207) 878-1788
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SCALE :	AS NOTED
DESIGN BY:	ASW
DRAWN BY:	RSC
FILE #:	090202-A101.DWG
PROJECT NUMBER:	092202
SHEET NO:	A101



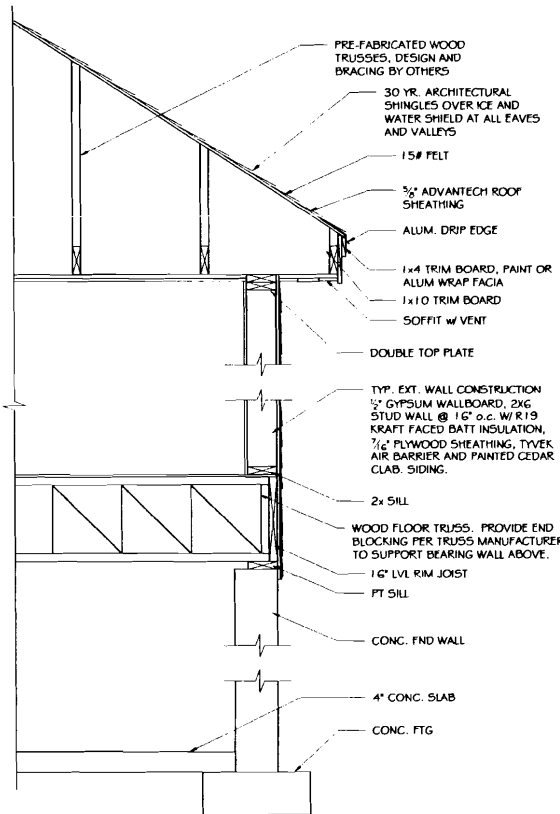
1. ALL PSL's ARE 2" O.F. PARALLAM BY TRUSS JOIST, UNLESS OTHERWISE NOTED.
2. ALL LVL's ARE 1.9E MICROLAM LVL'S BY TRUSS JOIST, UNLESS OTHERWISE NOTED.
3. ALL SPECIFIED HEADER POSTS ARE "JACK STUDS" & SHOULD EXTEND TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE (11) 2XING STUD.
4. QUANTITY OF 2" BUILT UP POSTS ARE NUMBER REQ'D @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
5. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.
6. GENERAL CONTRACTOR TO COMPLY WITH IRC 2003 TABLE 2305.2 FASTENING SCHEDULE.
7. ALL STRUCTURAL STEEL TO BE ASTM A992 Fy=50 KSI
8. 3/4" A16 WELDING W/80 GALV RINGS/SHANK NAILING REQ'D AT ALL ROOF AREAS, U.N.O. SPACES AT 6" O.C. AT PERIMETER.
9. 12" O.C. AT INTERIOR SUPPORTING ELEMENTS. USE PLYWOOD SPACERS AT ALL PANEL EDGES.
10. WOOD FRAMED TRUSS ROOF SYSTEM DESIGNED BY TRUSS FABRICATOR.
11. SPACE ALL TRUSSES AT 2'-0" O.C. TYP. 12" GAVE OVERHANG. PROVIDE SHOP DRAWING SUBMITTAL FOR REVIEW PRIOR TO FABRICATION.
12. SUPPLEMENTAL MECHANICAL VENTILATION IS RECOMMENDED FOR ATTIC SPACE. MECHANICAL VENTILATION SYSTEM DESIGNED BY CONTRACTOR.



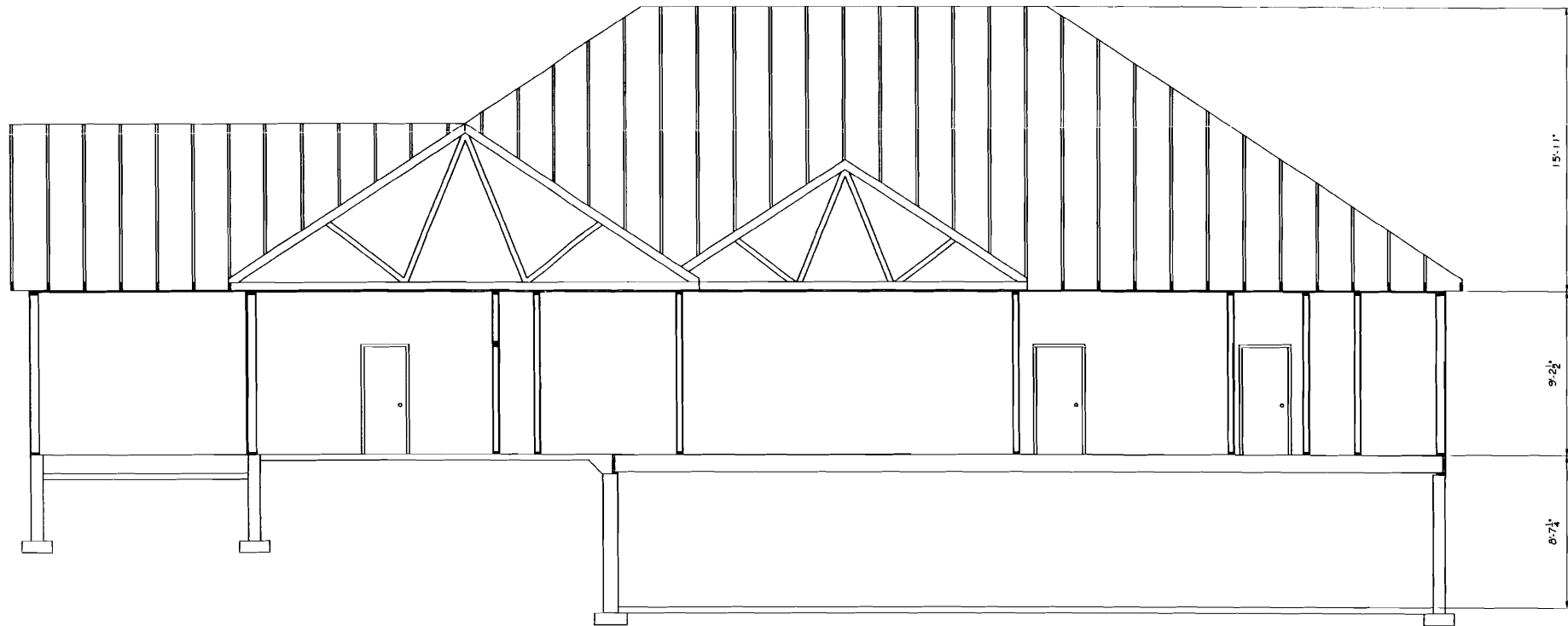
ROOF PLAN
ISSUED FOR PERMITTING

DATE : 8/4/09
SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE #: 09202-A101.DWG
PROJECT NUMBER:
09202
SHEET NO:
A201

A2	ROOF PLAN
	SCALE: $\frac{1}{4}" = 1'-0"$



B1



A2
A101

BUILDING SECTION BB
SCALE: 3/4" = 1'-0"

A1
A101

BUILDING SECTION AA
SCALE: 1/4" = 1'-0"



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PROJECT: MONFLETTO RESIDENCE

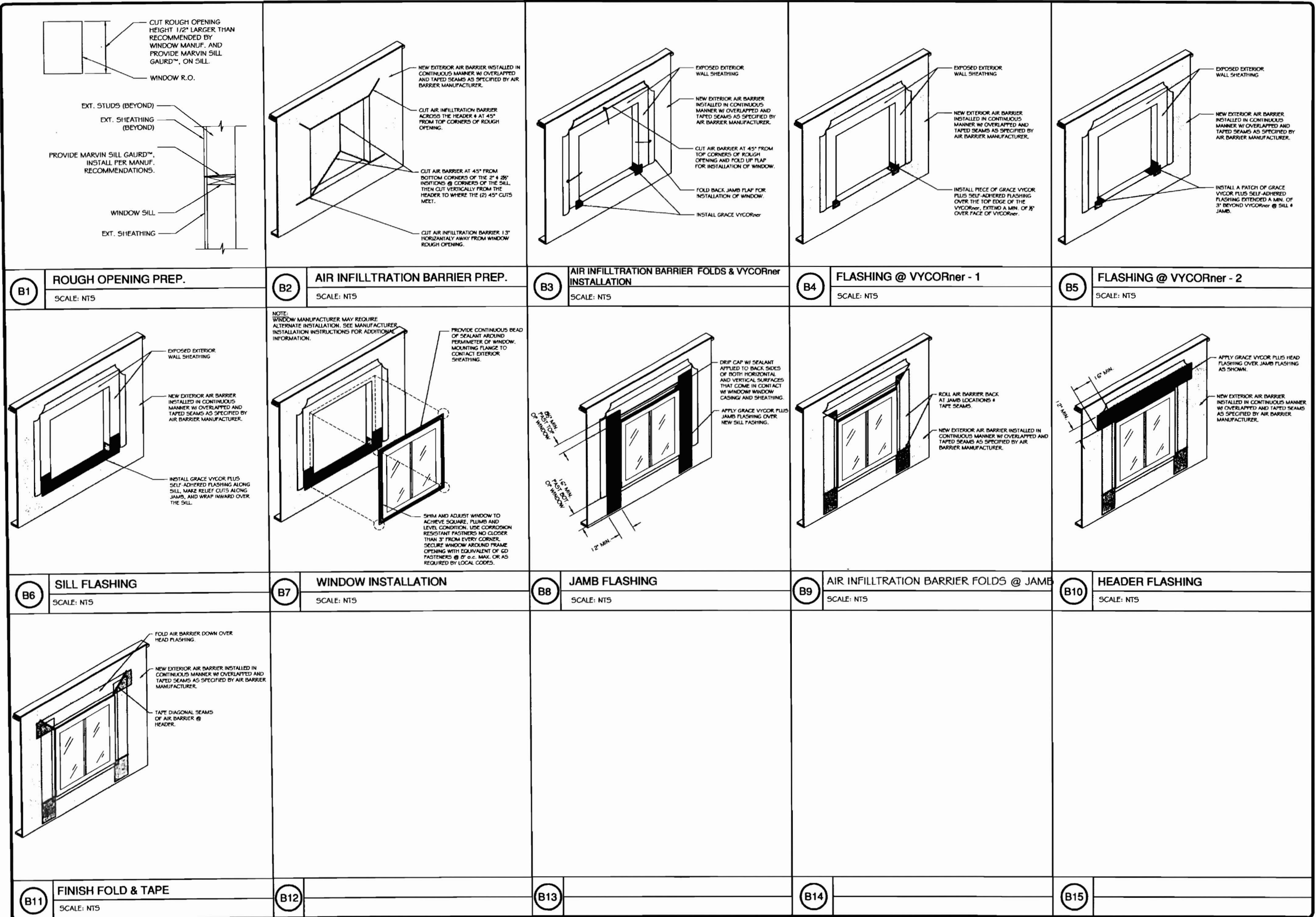
FOR: TONY MONFLETTO *TS Monfletto Inc*

SHEET TITLE: BUILDING SECTIONS AND NOTES

ISSUED FOR PERMITTING

REVISIONS	DESCRIPTION	DATE
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10	ASW	

DATE : 8/4/09
SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE #: 09202-A401.DWG
PROJECT NUMBER:
09202
SHEET NO:
A401



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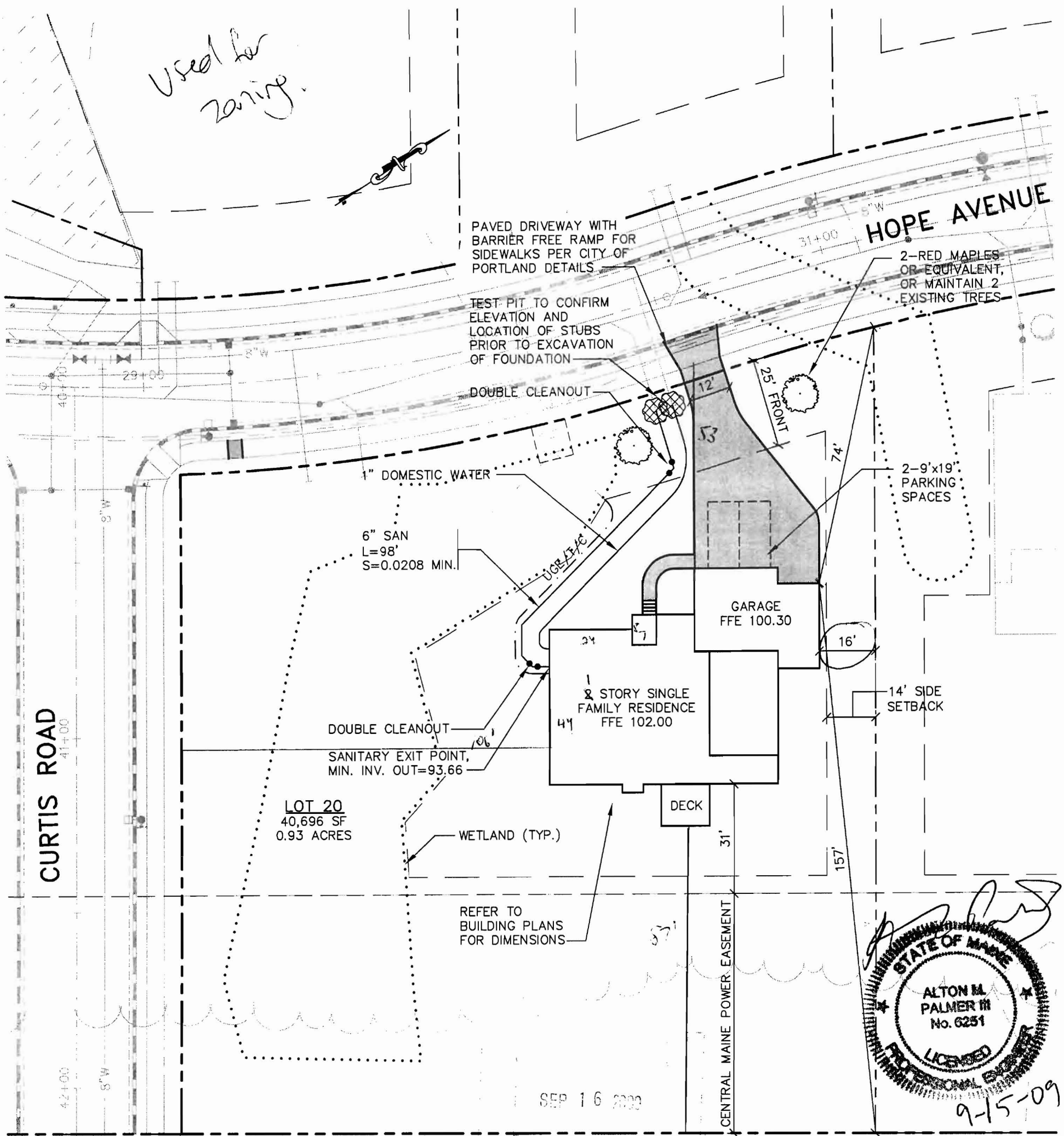
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PROJECT: **MONFLETTO RESIDENCE**
FOR: TONY MONFLETTO 185 Hodge Ave.
SHEET TITLE: **TYPICAL WINDOW INSTALLATION ISSUED FOR PERMITTING**

REVISIONS	DATE
DESCRIPTION	
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5	ASW
6	ASW
7	ASW
8	ASW
9	ASW
10	ASW

DATE: 8/4/09
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DESIGN BY: ASW
DRAWN BY: RSC
FILE #: 09202-A502.DWG
PROJECT NUMBER:
09202
SHEET NO:
A502

Used for zoning.



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001 AS WELL AS DESIGN PLANS FOR SUBDIVISION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.
8. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.

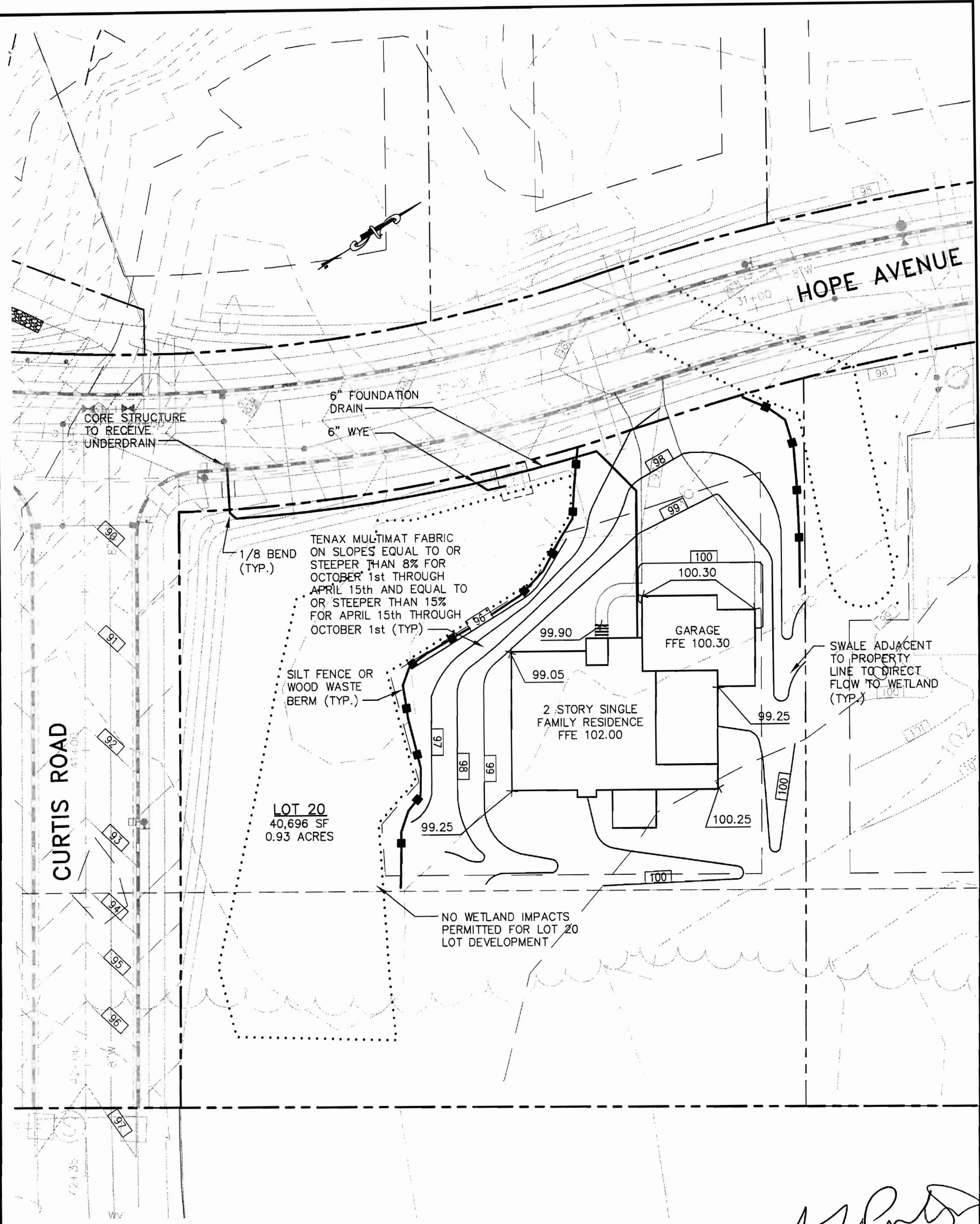
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Draft: CG	Job No.: 2298
Checked: AMP	Scale: 1"=30'
File Name: 2298-PBASE	

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15 Shaker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot 20 Site Layout & Utility Plan**
Project: **PRESUMPCOT RIVER PLACE**

Figure No.

2

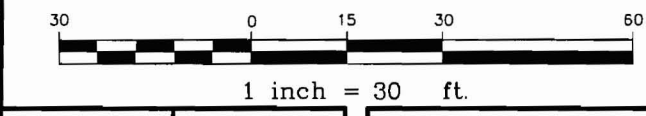


SEP 16 2009

189 Hope Ave.

9.15.09

STATE OF MAINE
ALTON M. PALMER III
No. 6231
LICENSED PROFESSIONAL ENGINEER



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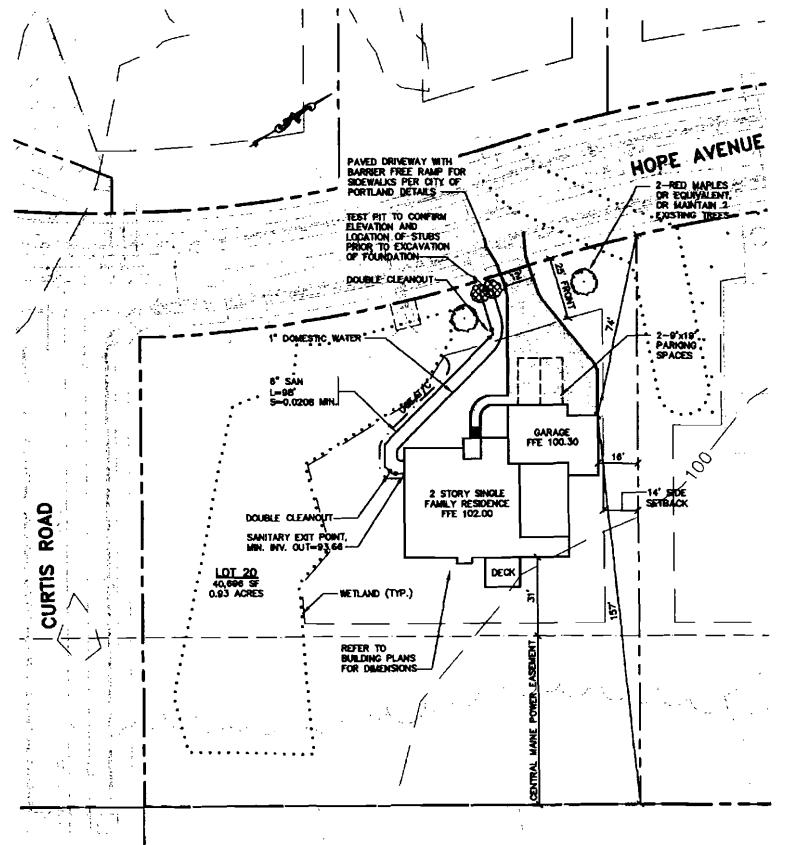
Drawing Name:	Lot 20 Site Layout & Utility Plan
Project:	PRESUMPCOT RIVER PLACE

Figure No.
3

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OCT -2 2008

Dept. of Building Inspections
City of Portland Maine



SITE AND UTILITY PLAN
1"=20'



SPACE AND BULK REQUIREMENTS - R-2 ZONE

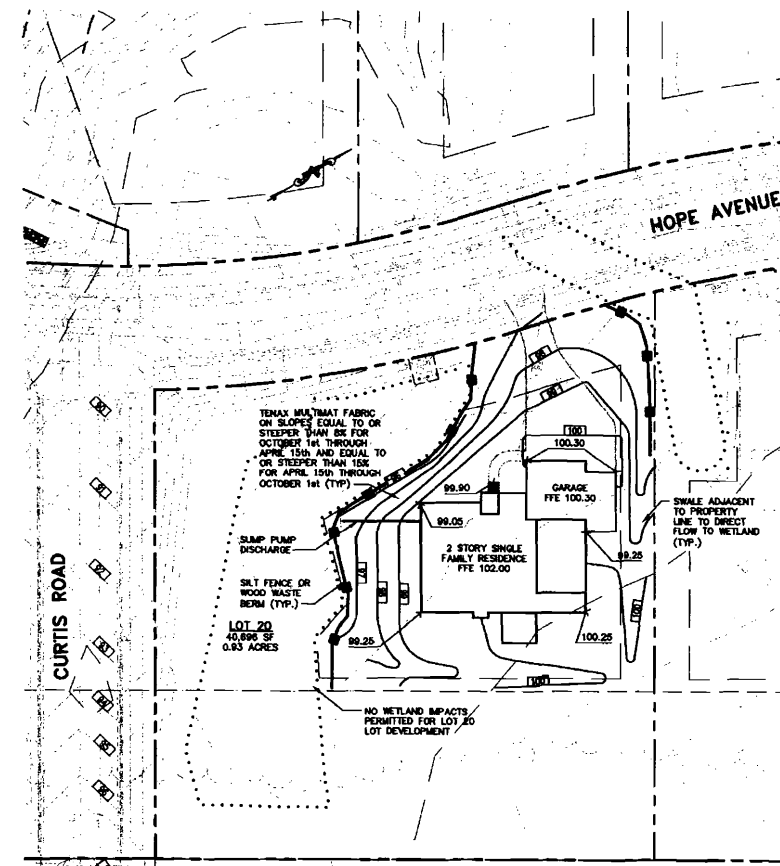
MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (2) TWO STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001 AS WELL AS DESIGN PLANS FOR SUBDIVISION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C831, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.
8. THE LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY SOFTEN THE HARBOR DIMENSION OR PROPORTION OF THE LOT.
9. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 8' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
10. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
11. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS, SECTION VII EROSION AND SEDIMENTATION CONTROL STANDARDS FOR SINGLE AND TWO FAMILY HOMES.

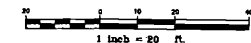


GRADING AND DRAINAGE PLAN
1"=20'

GRADING AND DRAINAGE NOTES:

1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED.
2. COMMON BORROW SHALL MEET MOOT SPECIFICATION 703.18.
3. FOUNDATION DRAIN SHALL BE DIRECTED TO SLUMP LOCATED WITHIN BUILDING.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



Rev.	Date	Revision
1	9/23/09	ADDED SLUMP PUMP DISCHARGE

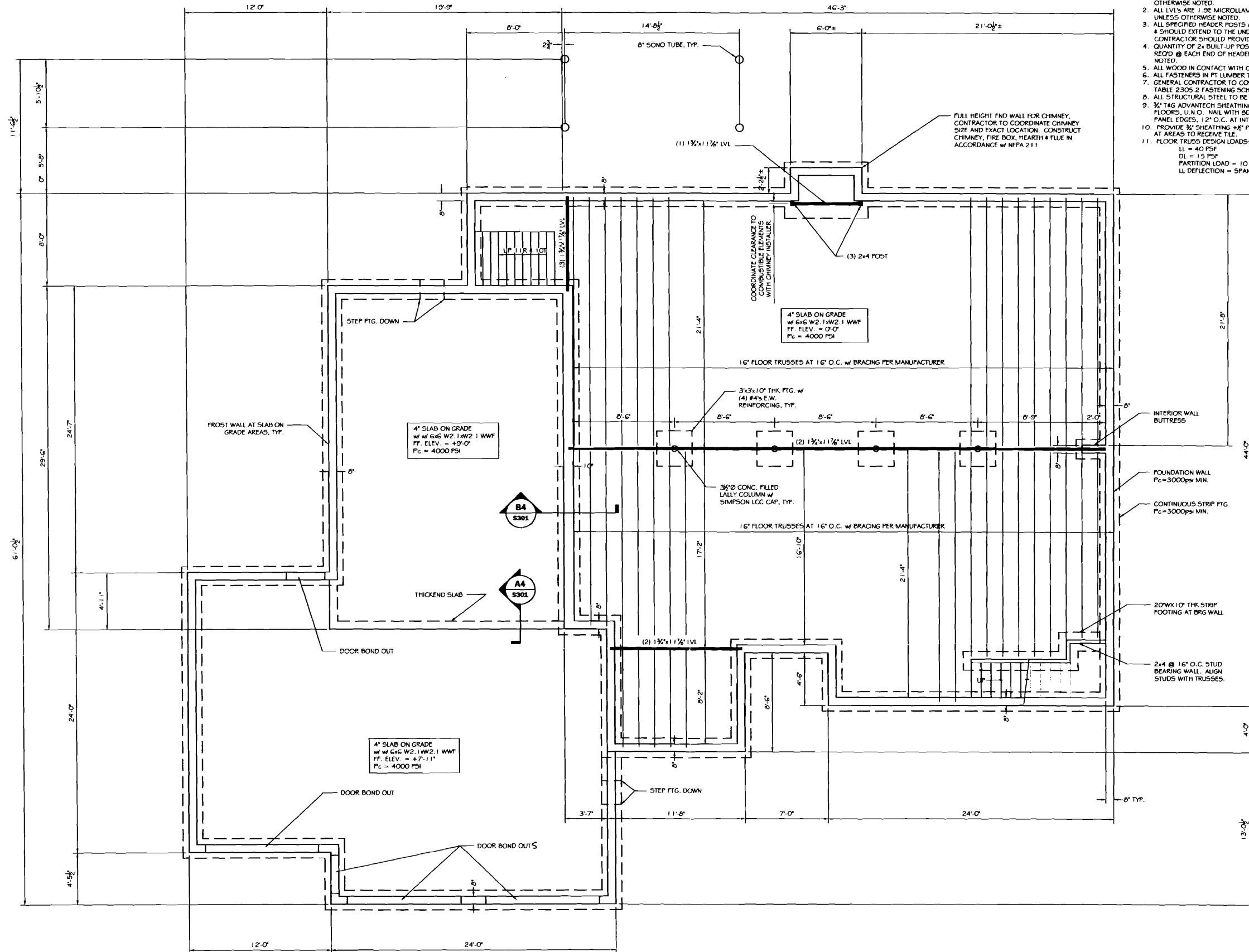
Issued For	Date	By

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Checked: AMP	Scale: 1"=20'	Job No: 2298
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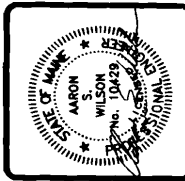
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Engineering Excellence Since 1998
PO Box 1237 15 Shaker Road Grey, ME 04039
207-657-6810 FAX: 207-657-6812 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Site, Utility, Grading and Drainage Plans
Project:	Presumpscot River Place Hope Avenue, Portland, Maine
Client:	Vesta Corporation P.O. Box 1464, Portland, ME 04104

Drawing No.	1
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- NOTES:
1. ALL PSL'S ARE 2 O.E. PARALLEL BY TRUS JOIST, UNLESS OTHERWISE NOTED.
 2. ALL LVL'S ARE 1.9E MICROLAM LVL'S BY TRUS JOIST, UNLESS OTHERWISE NOTED.
 3. ALL SPECIFIED HEADER POSTS ARE "JACK STUDS". CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD. QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER RECD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
 4. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
 5. ALL FASTENERS IN PT LUMBER TO BE HOT DIPPED GALVANIZED.
 6. GENERAL CONTRACTOR TO COMPLY WITH IRC 2003 TABLE 2305.2 FASTENING SCHEDULE.
 7. ALL STRUCTURAL STEEL TO BE ASTM 992 Fy=50 KSI.
 8. 3/4" T&G ADVANTECH SHEATHING REQ'D AT ALL INTERIOR FLOORS, U.N.O. NAIL WITH 6D GALV. RINGSHANK NAILS SPACED AT 6" O.C. AT PANEL EDGES, 12" O.C. AT INTERIOR PANEL SUPPORTS.
 9. PROVIDE 3/4" SHEATHING + 1/2" PLYWOOD UNDERLAYMENT AT AREAS TO RECEIVE TILE.
 10. FLOOR TRUSS DESIGN LOADS:
LL = 40 PSF
DL = 15 PSF
PARTITION LOAD = 10 PSF
LL DEFLECTION = SPAN/450 MAX. RECOMMENDED.



ASSOCIATED DESIGN PARTNERS INC.

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PROJECT: **MONFILETTO RESIDENCE**

FOR: TONY MONFILETTO *189 Hope Ave*

SHEET TITLE: **FOUNDATION PLAN**

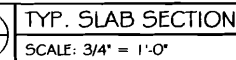
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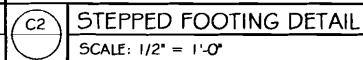
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SHEET NO:
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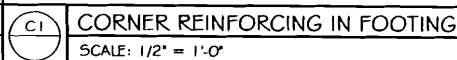
C4 TYP. SLAB CONTROL JOINT SECTION
SCALE: 3/4" = 1'-0"



	TYP. SLAB SECTION
	SCALE: 3/4" = 1'-0"



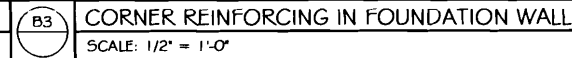
C2	STEPPED FOOTING DETAIL
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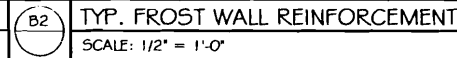
C1 CORNER REINFORCING IN FOOTING
SCALE: 1/2" = 1'-0"



B4 SLAB TO FLOOR CONNECTION DETAIL
SCALE: 1" = 1'-0"



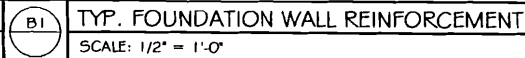
B3 CORNER REINFORCING IN FOUNDATION WALL
SCALE: 1/2" = 1'-0"



B2

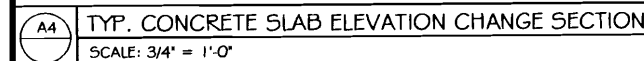
TYP. FROST WALL REINFORCEMENT

SCALE: 1/2" = 1'-0"





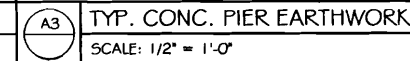

(B1) TYP. FOUNDATION WALL REINFORCEMENT
 SCALE: 1/2" = 1'-0"



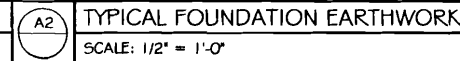
A4

TYP. CONCRETE SLAB ELEVATION CHANGE SECTION

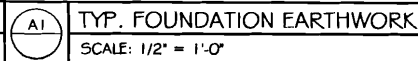
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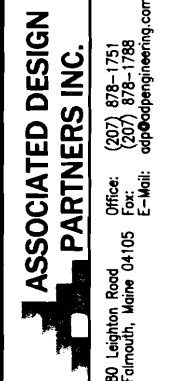
		TYP. CONC. PIER EARTHWORK
		SCALE: 1/2" = 1'-0"



A2	TYPICAL FOUNDATION EARTHWORK SCALE: 1/2" = 1'-0"
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AI TYP. FOUNDATION EARTHWORK
SCALE: 1/2" = 1'-0"



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PROJECT: **MONFILETTO RESIDENCE**
FOR: TONY MONFILETTO
SHEET TITLE: **FOUNDATION DETAILS**
ISSUED FOR PERMITTING

REVISIONS			
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DATE : 8/4/09
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FILE #: 09202-S301.DWG
PROJECT NUMBER:
09202
SHEET NO:
S301



Diagram illustrating the bracing details for a shear wall. The wall is shown with vertical and horizontal segments. A diagonal brace is applied to the wall. The diagram labels the following components:

- SHEATHING
- COMPRESSION WEB-SLOPING OR VERTICAL
- CONTINUOUS LATERAL BRACE
- DIAGONAL BRACE NAILED TO OPPOSITE SIDE OF WEB PREVENTS LATERAL MOVEMENT AND SHOULD BE REPEATED AT APPROXIMATELY 20' INTERVALS

FIGURE 1d

Diagram illustrating the construction of a roof truss system, showing various components and specifications:

- FOR SINGLE MEMBER TRUSS (1" THICKNESS)
- FOR DOUBLE MEMBER TRUSS (3" THICKNESS)
- 8 PFT TO 10 PFT
- 12 PFT TO 14 PFT
- LOCATED WITHIN 6" OF RIDGE LINE
- REPEAT DIAGONALS AT APPROXIMATELY 20' INTERVALS
- APPROX. 45°
- NOTE: LONG SPAN TRUSSES MAY REQUIRE CLOSER SPACING
- LAP (LATERAL BRACING OVER AT LEAST TWO TRUSSES)
- (2) 1-6d DOUBLE HEADED NAILS
- BRACING
- TOP CHORD
- TYPICAL NAILING

FIGURE 3a

3. ONE SATISFACTORY METHOD IS FOR THE FIRST TRUSS TOP CHORD TO BE BRACED TO A STAKE DRIVEN INTO THE GROUND AND SECURELY ANCHORED. THE GROUND BRACE ITSELF SHOULD BE SUPPORTED AS SHOWN IN FIGURE 2 OR IT IS APT TO BUCKLE. ADDITIONAL GROUND BRACES, IN THE OPPOSITE DIRECTION, INSIDE THE BUILDING ARE ALSO RECOMMENDED.

N.T.S.

B. PERMANENT BOTTOM CHORD BRACING: PROVIDE 2x4 CONTINUOUS LATERAL BRACING AT 8-10 FOOT (MAXIMUM) INTERVALS (AT ALL PANEL POINTS) ALONG LENGTH OF TRUSS. PROVIDE DIAGONAL BRACING AS SHOWN IN FIGURE 28 OF HIB-91 AT EACH END OF EACH WING OF THE BUILDING AND AT INTERVALS NOT TO EXCEED 20 FEET.



Diagram illustrating the bracing details for a truss system. The diagram shows a series of vertical members (columns) and horizontal members (trusses). The bracing details include:

- DIAGONALS FORM BRACED BAY AT APPROXIMATELY 20' INTERVALS, REPEAT AT BOTH ENDS
- CONTINUOUS LATERAL BRACING SPACED 8' TO 10' LOCATED AT OR NEAR A PANEL POINT
- BOTTOM CHORD OF TRUSSES, TYP.
- 45°

FIGURE 5

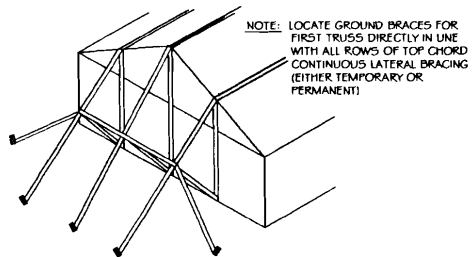


FIGURE 2a

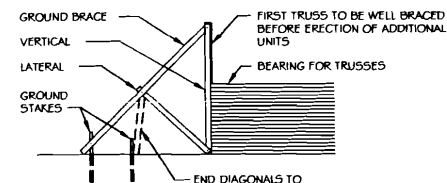
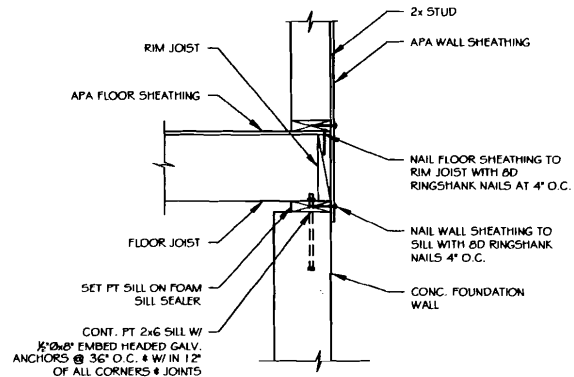


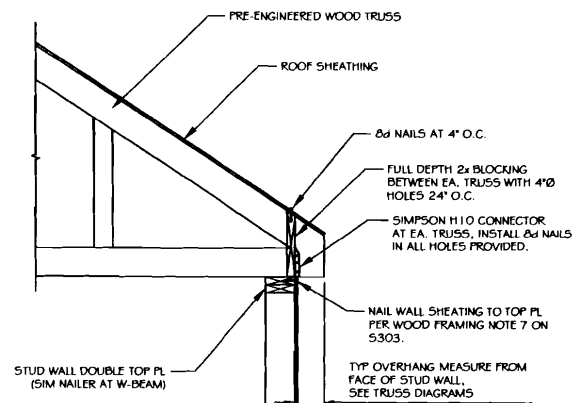
FIGURE 2b

1. SEE B15/302 FOR LOADS
2. TRUSS MANUFACTURER:
 - 2.1 DESIGN: COMPLY WITH TPI-78 2.2
 - 2.2 MATERIALS: USE SPT NO. 2 OR BETTER FOR ALL CHORDS, WEBS, AND BRACING
 - 2.3 TRUSS PLATES: 30% GALVANIZED
 - 2.4 SHOP DRAWINGS: SUBMIT (5) FIVE COPIES OF PE STAMPED TRUSS DESIGN CALCULATIONS AND ERECTION LAYOUT DRAWINGS TO STRUCTURAL ENGINEER
 - 2.5 ERECTION TO COMPLY WITH TPI-80
3. PROVIDE TRUSS ANCHORS, HOLDDOWN CLIPS AND METAL FRAMING SUPPORTS AS REQUIRED TO SUPPORT THE LOADS SHOWN. UNO.



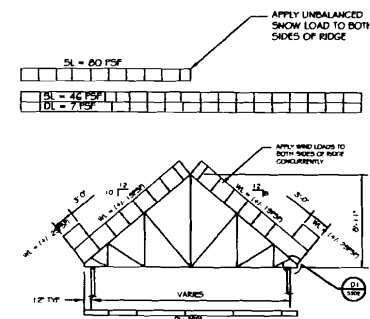
C2 FLOOR JOIST DETAIL

SCALE: NTS



(C1) TRUSS CONNECTION DETAIL

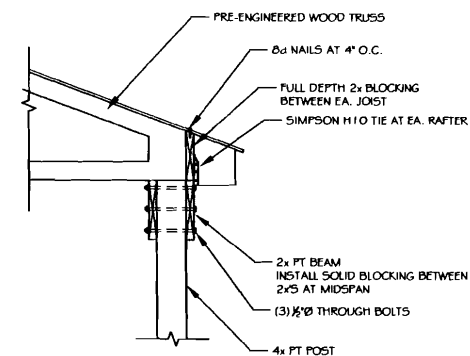
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1. FOR LOAD COMBOS W/ SL CHECK UNIFORM & UNBALANCED LOADING
2. PROVIDE PE STAMPED TRUSS DESIGN CALCULATIONS W/ LOAD COMBINATIONS
3. FOR UNBALANCED SNOW LOAD COMBINATIONS, THE LEeward SIDE SHALL BE CONSIDERED FREE OF SNOW.

TRUSS LOAD DIAGRAM

SCALE: NTS



(A) PORCH BEAM DETAIL

SCALE: 3/4" = 1'-0"



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PROJECT: MONFILETTO RESIDENCE

FOR: TONY MONFILETTO

STRUCTURAL DETAILS AND NOTES
ISSUED FOR PERMITTING

REVISIONS			
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DATE : 8/4/09
SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE # 09202-S302.DWG
PROJECT NUMBER:
09202
SHEET NO:
S302

GENERAL STRUCTURAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
- IRC BUILDING CODE 2003 ED
 - ANSI/ASCE 7-05
 - ACI 318-05 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 - AISC STEEL CONSTRUCTION MANUAL 9TH ED ASD
 - SDS COLD FORMED STEEL DESIGN MANUAL
 - ANSI/APA NDS-2005
2. ROOF DESIGN LOADS:
- | | |
|-----------------|-----------------|
| SNOW LOAD | 46 PSF + UNBAL. |
| DEAD LOAD | 15 PSF |
| TOTAL ROOF LOAD | 61 PSF + UNBAL. |
3. WIND LOADS:
- BASED ON WIND SPEED OF 95 MPH, EXP. C, 1 = 1.4, SIMPLIFIED PROCEDURE. COMPONENTS AND CLADDING.
- | | |
|--------|--------|
| ZONE 1 | +/- 19 |
| ZONE 2 | +/- 29 |
| ZONE 3 | +/- 47 |
| ZONE 4 | +/- 22 |
| ZONE 5 | +/- 25 |
4. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.
5. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
6. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
7. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR (S.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
8. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
9. THESE DRAWINGS DO NOT SHOW SIZE, LOCATION OR TYPE OF OPENING IN THE FOUNDATION SYSTEM FOR ELECTRICAL, PLUMBING OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THESE ITEMS.
10. ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. DIMENSIONAL REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.

WOOD FRAMING NOTES

1. STRUCTURAL LUMBER: NO. 2 SPRUCE-PINE-FIR OR BETTER LAMINATED VENEER LUMBER (LVL) EQUIVALENT TO 2 OR 5 P. MICRO-LAM BY TRUSS JOIST.
2. DESIGN CODES:
- A. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE IRC 2003 BUILDING CODE, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. FASTENER REQUIREMENTS FOR ROOF AND FLOOR SHEATHING, PROVIDE DO RINGS/HANGING NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE:
- 6" O.C.: ALONG ALL PANEL EDGES
 - 12" O.C.: ALONG INTERMEDIATE MEMBERS
5. ROOF SHEATHING: APA RATED SHEATHING, EXPOSURE 1 OR BY ADVANTECH.
6. FLOOR SHEATHING: TONGUE AND GROOVE APA SPAN RATED 48/24 FLOOR SHEATHING WITH MIN THICKNESS 7/8" BY ADVANTECH OR EQUAL.
7. FASTENER REQUIREMENTS FOR EXTERIOR WOOD SHEARWALLS PROVIDE DO RINGS/HANGING NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE:
- 4" O.C.: ALONG ALL PANEL EDGES
 - 12" O.C.: ALONG INTERMEDIATE MEMBERS
8. ALL BOLTED WOOD CONNECTIONS TO BE MADE WITH G90 HOT DIP GALVANIZED HEX HEAD THROUGH BOLTS. SIZE AS INDICATED ON THE DRAWINGS. DOME HEADED CARRIAGE BOLTS ARE NOT PERMITTED.
9. ALL NAILS TO SIMPSON PRODUCTS AND PT LUMBER TO BE G90 HOT DIP GALVANIZED D 16/20 COMMON BOX NAILS, OR AS RECOMMENDED BY SIMPSON.
10. ALL SIMPSON PRODUCTS IN CONTACT WITH PT LUMBER TO BE "ZMAX" (G105 GALVANIZED) COATED.
11. TRIPLE LVLS TO BE CONNECTED WITH (2) ROWS SIMPSON 1/4"-48" SDS SCREWS 8" O.C. STAGGERED, EA FACE.
12. QUAD LVLS TO BE CONNECTED WITH (2) ROWS 3/8" THROUGH BOLTS AT 8" O.C. STAGGERED, EA FACE.

CONCRETE NOTES

1. CODES:
- COMPLY WITH THE FOLLOWING LATEST EDITIONS AND CURRENT AMENDMENTS:
- 1.1 ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 - 1.2 ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
 - 1.3 CRSI "CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE"
2. TESTING:
- 2.1 LABORATORY TESTS: CONCRETE MIX DESIGN, FIELD FABRICATED CYLINDERS FOR COMPRESSIVE STRENGTH.
 - 2.2 FIELD TESTS: PERFORM FIELD TESTS FOR SLUMP, AIR CONTENT AND TEMPERATURE. PREPARE CYLINDERS FOR COMPRESSION TESTING: #1 AT 7 DAYS AND #2 AT 28 DAYS.
3. SUBMITTALS: N/A
4. MATERIALS:
- 4.1 REINFORCING STEEL: GRADE 60, ASTM 615, NEW DEFORMED BARS.
 - 4.2 REINFORCING FOR SLABS: EQUAL TO FIBERGLASS, 1.5 INCH CONCRETE, OR 6# W. 4# W. 1" W. 4" W.
 - 4.3 MIXING WATER SHALL BE POTABLE, FREE OF ANY SUBSTANCES THAT MAY BE DELETERIOUS TO THE CONCRETE OR REINFORCING STEEL.
5. CONCRETE:
- 5.1 EXTERIOR SLABS: CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT 28 DAY COMPRESSIVE STRENGTH: 4000 PSI. MAX. AGG. SIZE: 3/4". AIR CONTENT: 6% + 1% BY VOLUME. MAX WATER-CEMENT RATIO: 0.45. AGGREGATE SHALL CONFORM TO ASTM C33.
 - 5.2 INTERIOR SLABS: CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT 28 DAY COMPRESSIVE STRENGTH: 4000 PSI. MAX. AGG. SIZE: 3/4". AIR CONTENT: 6% + 1% BY VOLUME. MAX WATER-CEMENT RATIO: 0.45. AGGREGATE SHALL CONFORM TO ASTM C33.
 - 5.3 WALLS AND FOOTINGS: CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT 28 DAY COMPRESSIVE STRENGTH: 3000 PSI. MAX. AGG. SIZE: 3/4". AIR CONTENT: 5% + 1% BY VOLUME. MAX WATER-CEMENT RATIO: 0.50. AGGREGATE SHALL CONFORM TO ASTM C33.

CONCRETE NOTES (CONT.)

- 5.3 ADMIXTURES:
- PROVIDE ADMIXTURES WHICH ARE CHEMICALLY COMPATIBLE FOR THEIR INTENDED USE. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR USE. BASE DOSAGE RATES ON CEMENT CONTENT. CALCIUM CHLORIDE IS NOT ALLOWED.
- 5.3.1 HIGH RANGE WATER REDUCERS (SUPER PLASTICIZERS) EQUAL TO DARACEM 1.00 BY W.R. GRACE & CO., ASTM C-494.
 - 5.3.2 ACCELERATORS: EQUAL TO DARSSET BY W.R. GRACE & CO., ASTM C-404 TYPE C OR E.
 - 5.3.3 AIR ENTRAINING: EQUAL TO DAKAVAR BY W.R. GRACE & CO., ASTM C-260 AND ARMY CORPS CRD-C-13.
- 5.4 CONCRETE SURFACE COATINGS:
- 5.4.1 CURING COMPOUND: "KURE-N-SEAL" BY SONNEBORN, OR EQUIVALENT.
 - 5.4.2 BITUMINOUS DAMPROOFING: EQUAL TO BRUSH GRADE FOUNDATION COATING BY EUCID.
- 5.5 FORMS AND RELATED MATERIAL:
- 5.5.1 FORMS FOR CONCRETE SURFACES THAT WILL BE EXPOSED IN THE FINISHED BUILDING SHALL BE PLYFORM CLASS 1, B-D EXTERIOR TYPE CONFORMING TO U.S. PRODUCT STANDARD PS 1. FORMS FOR CONCRETE SURFACES NOT EXPOSED IN THE FINISHED BUILDING MAY BE PLYFORM OR MATCHED LUMBER.
 - 5.5.2 FORM OIL USED ON SURFACE OF FORMS SHALL BE A NON-STAINING TYPE.
- 5.6 ALUMINUM PRODUCTS:
- 5.6.1 NO ALUMINUM CONDUIT, TIE, INSERTS, REGLETS, ETC. SHALL BE PLACED IN ANY CONCRETE, UNLESS COATED WITH BITUMINOUS DAMPROOFING.
 - 5.6.2 NO EQUIPMENT MADE OF ALUMINUM OR ALUMINUM ALLOYS SHALL BE USED FOR PUMP LINES, TRENCHES OR CHUTES IN CONVEYING CONCRETE TO POINT OF PLACEMENT.
- 5.7 GROUT:
- 5.7.1 NON-SHRINK GROUT FOR USE UNDER COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE EMBARCO GROUT AR60S, PRE-MIXED, AS MANUFACTURED BY MASTER BUILDERS, OR APPROVED EQUIVALENT.
- 5.8 PREFORMED EXPANSION JOINT FILLER:
- 5.8.1 A NON-EXTENDING AND RESILIENT BITUMINOUS TYPE JOINT FILLER, 1/2" THICK.
- 5.9 EMBEDDED ITEMS:
- 5.9.1 EMBEDDED ITEMS SUCH AS ANCHOR BOLTS, ETC., SHALL BE INSTALLED USING A TEMPLATE AND BE SECURELY HELD IN PLACE DURING CONCRETE PLACEMENT.
- 5.10 SPACERS, SUPPORTS AND FASTENERS:
- 5.10.1 FORM SPACERS, REINFORCING TIES AND CHAIRS, AND OTHER DEVICES NEEDED FOR PROPERLY SPACING, SUPPORTING, AND FASTENING REINFORCEMENT SHALL BE PROVIDED. CLAY BRICKS ARE NOT ALLOWED FOR USE AS SLAB STEEL BOLSTERS.
- 5.11 VAPOR BARRIER:
- 5.11.1 UNDERLAYS MOISTURE VAPOR BARRIER SHALL BE MADE OF A LAYER OF 6 MIL POLYETHYLENE PLASTIC. PLACE VAPOR BARRIER BETWEEN 2" DRY SAND AND 6" MIN. CONTROLLED STRUCTURAL FILL.
6. CONSTRUCTION PRACTICES:
- 6.1 REINFORCEMENT:
- COMPLY WITH REQUIREMENTS OF CRSI, LATEST EDITION.
- 6.1.1 MINIMUM CONCRETE COVER: 3" FOR CONCRETE CAST AGAINST SOIL, 2" FOR OTHER CONCRETE, UNLESS OTHERWISE SHOWN.
- 6.2 DEVELOPMENT AND SPLICING:
- PROVIDE DEVELOPMENT AND TENSION LAP SPICE LENGTHS IN ACCORDANCE WITH THE FOLLOWING, UNLESS NOTED OTHERWISE ON PLANS:
- | DEVELOPMENT BAR SIZE | LENGTH* | CLASS C LAP SPICE |
|----------------------|---------|-------------------|
| #4 | 12 | 16" |
| #5 | 12 | 20" |
| #6 | 15 | 26" |
| #7 | 21 | 36" |
| #8 | 28 | 48" |
- *INCREASE BY 30% FOR BARS SPACED < 6".
- 6.3 CHAMFERS:
- CHAMFER ALL EXPOSED EDGES AND CORNERS OF CONCRETE 1/2" OR 1" SIMILAR THROUGHOUT.
- 6.4 JOINTS:
- 6.4.1 CONSTRUCTION JOINTS: PLACE PERPENDICULAR TO THE MAIN REINFORCEMENT. CONTINUE REINFORCEMENT ACROSS CONSTRUCTION JOINTS. PROVIDE KEYWAYS AT LEAST 1 1/2" UNLESS OTHERWISE SHOWN DEEP IN CONSTRUCTION JOINTS IN WALLS, SLAB, AND BETWEEN WALLS AND FOOTINGS. ACCEPTED BULKHEADS DESIGNED FOR THIS PURPOSE MAY BE USED IN SLABS. PROVIDE WATERSTOP WHERE INDICATED.
 - 6.4.2 ISOLATION JOINTS: PROVIDE IN SLABS-ON-GRADE AT POINTS OF CONTACT BETWEEN SLABS-ON-GRADE AND VERTICAL SURFACES, SUCH AS FOUNDATION WALLS, GRADE BEAMS, COLUMN PEDESTALS, AND ELSEWHERE AS NECESSARY.
 - 6.4.3 CONTRACTION (CONTROL) JOINT: PROVIDE IN SLABS-ON-GRADE BY USING INSERTS OR BY SAW CUTTING TO A DEPTH OF 1/2 THE SLAB THICKNESS. PROVIDE A ONE PART ELASTOMERIC JOINT SEALANT TO JOINT GROOVE, A MINIMUM OF 60 DAYS AFTER SLAB PLACEMENT UNLESS OTHERWISE APPROVED.
- 6.5 CONCRETE MIXING:
- 6.5.1 READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN ASTM C94.
 - 6.5.2 ALL CONCRETE SHALL BE MIXED UNTIL THERE IS A UNIFORM DISTRIBUTION OF THE MATERIALS BEFORE DISCHARGE. THE MIXING SHALL BE CONTINUOUS AFTER THE WATER HAS BEEN ADDED TO THE MIX IN THE DRUM.
 - 6.5.3 NO CONCRETE SHALL BE PLACED IN THE FORMS MORE THAN 90 MINUTES AFTER THE WATER HAS BEEN ADDED.
 - 6.5.4 AFTER THE MAXIMUM WATER CEMENT RATIO HAS BEEN ACHIEVED, RETEMPERING OF THE CONCRETE WILL NOT BE ALLOWED, UNLESS APPROVED BY ENGINEER.

CONCRETE NOTES (CONT.)

- 6.6 CONCRETE PLACEMENT:
- 6.6.1 DEPOSIT CONCRETE CONTINUOUSLY IN LAYERS NOT DEEPER THAN 24" OVER PREVIOUS LAYERS WHICH ARE STILL PLASTIC. AVOID COLD JOINTS. CONSOLIDATE CONCRETE BY MECHANICAL VIBRATING EQUIPMENT, SUPPLEMENTED BY HAND-SPACING, RODDING AND TAMPING. DO NOT USE MECHANICAL VIBRATORS TO TRANSPORT CONCRETE.
 - 6.6.2 HOT WEATHER PLACING: COMPLY WITH ACI 306, LATEST EDITION. MAINTAIN A FRESH CONCRETE TEMPERATURE OF NOT LESS THAN 50°F AND NOT MORE THAN 80°F AT THE POINT OF PLACEMENT.
- 6.7 CONCRETE CURING:
- COMPLY WITH ACI 306, LATEST EDITION. COMPLY WITH ACI 306 FOR HOT WEATHER CONCRETING. PROVIDE A MINIMUM OF A 7 DAY CONTINUOUS MOISTURE CURE BY COVERING CONCRETE SURFACE WITH A WET ABSORPTIVE COVER; MAINTAIN SATURATED COVER CONDITION. ALTERNATIVE CURING METHODS WILL ONLY BE ALLOWED IF APPROVED BY ENGINEER. CONTRACTOR WILL SUBMIT ALTERNATIVE CURING PRODUCTS AND METHODS FOR REVIEW AND APPROVAL. ALSO, MAINTAIN CONCRETE CURING TEMPERATURE ABOVE 50°.
- 6.7.1 SLABS: USE MOISTURE CURE OR CURING COMPOUND. APPLY CURING COMPOUND WITHIN 2 HOURS OF FINAL FINISHING BY SPRAY OR ROLLER. RECOAT AREAS SUBJECT TO HEAVY RAINFALL. DO NOT USE CURING COMPOUND ON SLABS WHICH WILL RECEIVE LIQUID FLOOR HARDENER OR OTHER FINISHES.
 - 6.7.2 FORMED SURFACES: CURE FORMED SURFACES WITH FORMS IN PLACE FOR ENTIRE CURING PERIOD, UNLESS ALTERNATE METHODS ARE APPROVED BY THE ENGINEER. CONTACT STRUCTURAL ENGINEER @ 207-878-1751 FOR ALTERNATIVE CURING METHODS. DURING COLD WEATHER CURING, PROVIDE CAST-IN THERMOMETERS FOR MONITORING CONCRETE CURING TEMPERATURE AT LOCATIONS AS DIRECTED BY ENGINEER. MAINTAIN A 50°F WITH USE OF INDIRECT HEAT OR INSULATIVE BLANKETS.
- 6.8 ANCHOR BOLTS: USE TYPE, SIZE, AND LENGTH AS INDICATED ON PLANS.
- EARTHWORK NOTES
- 1. SITE WORK AND CONCRETE CONTRACTORS ARE REQUIRED TO REVIEW THE ON-SITE SUBSURFACE SOIL CONDITIONS WITH THE SER AT THE START OF INITIAL CONSTRUCTION. SITE CONTRACTOR WILL NOTIFY SER AFTER EXCAVATION HAS STARTED AND PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FOUNDATIONS.
 - 2. REMOVE ALL TOPSOIL AND UNCONTROLLED FILL FOR THE AREAS RECEIVING BUILDING FOUNDATIONS.
 - 3. BACKFILL TO THE NECESSARY SUBGRADES REQUIRED ON THE STRUCTURAL FOUNDATION PLANS WITH CONTROLLED STRUCTURAL FILL MATERIAL MEETING THE FOLLOWING GRADATION:
- | PERCENT PASSING | SCREEN OR SIEVE SIZE |
|-----------------|----------------------|
| 5 | 100 |
| NO. 4 | 90-100 |
| NO. 40 | 35-70 |
| NO. 200 | 5-35 |
| | 0-5 |
- 4. PLACE CONTROLLED STRUCTURAL FILL IN UNIFORM LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557 MODIFIED PROCTOR DENSITY.
 - 5. PROVIDE SITE GRADING AROUND THE PERIMETER OF THE BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION DURING AND AFTER CONSTRUCTION.
 - 6. MAINTAIN THE INTEGRITY OF NATURAL SOILS AND CONTROLLED STRUCTURAL FILLS DURING CONSTRUCTION. PROTECT FOOTING AND STRUCTURE SUBGRADES AGAINST FREEZING AND EXCESSIVE WETTING. REMOVE AND REFILL FROZEN SUBGRADES, MOISTURE CONCRETION, OR REPLACE EXCESSIVELY WET SUBGRADE MATERIALS.
 - 7. NOTIFY ENGINEER TO OBSERVE SUBGRADES PRIOR TO PLACING FOOTINGS. FOOTINGS ARE DESIGNED FOR A MIN. SOIL BEARING CAPACITY OF 2000PSF, OR FOR BEARING ON SOUND LEDGE.
 - 8. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF LEDGE IS ENCOUNTERED TO DETERMINE FINISHING REQUIREMENTS.
 - 9. ALL FOOTINGS SHALL EXTEND A MINIMUM OF 4'-6" BELOW EXTERIOR FINISHED GRADE, OR BE DOWELED TO LEDGE.
 - 10. PROOF ROLL SUBGRADE PRIOR TO SLAB CONSTRUCTION. PROVIDE STRUCTURAL FILL MEETING THE GRADATION SPECIFIED HEREIN FOR FILL MATERIALS BELOW THE SLAB. MAXIMUM PERCENT PASSING 200 SIEVE = 7%.
 - 11. COMPACT CONTROLLED STRUCTURAL FILLS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND ASTM D1557. USE ONLY HAND-OPERATED EQUIPMENT ADJACENT TO WALLS. FILL BOTH SIDES OF WALLS TO EQUAL ELEVATIONS BEFORE COMPACTING.
- DEGREE OF COMPACTION: COMPACT TO THE FOLLOWING MINIMUM DENSITIES:
- | FILL AND BACKFILL LOCATION | DENSITY |
|--------------------------------------|-------------|
| UNDER STRUCTURE FOUNDATIONS | 95% OF MAX. |
| TOP 2 FEET UNDER PAVEMENT | 95% |
| BELOW TOP 2 FEET UNDER PAVEMENT | 92% |
| TRENCHES THROUGH UNPAVED AREAS | 90% |
| EMBANKMENTS | 90% |
| Pipe BEDDING | 92% |
| BEHIND STRUCTURE FOUNDATION WALLS | 90% |
| TANK WALLS AND RETAINING WALLS | 90% |
| UNDER PIPES THROUGH STRUCTURAL FILLS | 90% |
| UNDER DRAIN FILTER SAND | 92% |
- MAXIMUM DENSITY: ASTM D1557, MODIFIED.
- FIELD DENSITY TESTS: ASTM D1556 (SAND CONE), ASTM D1673 (RUBBER BALLOON), OR ASTM D2922 (NUCLEAR METHOD).
12. CONTRACTOR IS REQUIRED TO CONFORM TO OSHA (29 PART 1926.650-652) SURFACE P CONSTRUCTION STANDARD FOR EXCAVATIONS.



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PROJECT: MONFILETTO RESIDENCE

PORTLAND, ME 1555 Hulse Ave

FOR: TONY MONFILETTO

SHEET TITLE: BUILDING NOTES

ISSUED FOR PERMITTING

REVISIONS	DATE
DESCRIPTION	
No.	By
1	AW
2	AW
3	AW
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18	AW
19	AW
20	AW

DATE: 8/4/09
SCALE: AS NOTED

DESIGN BY: ASW

DRAWN BY: RSC

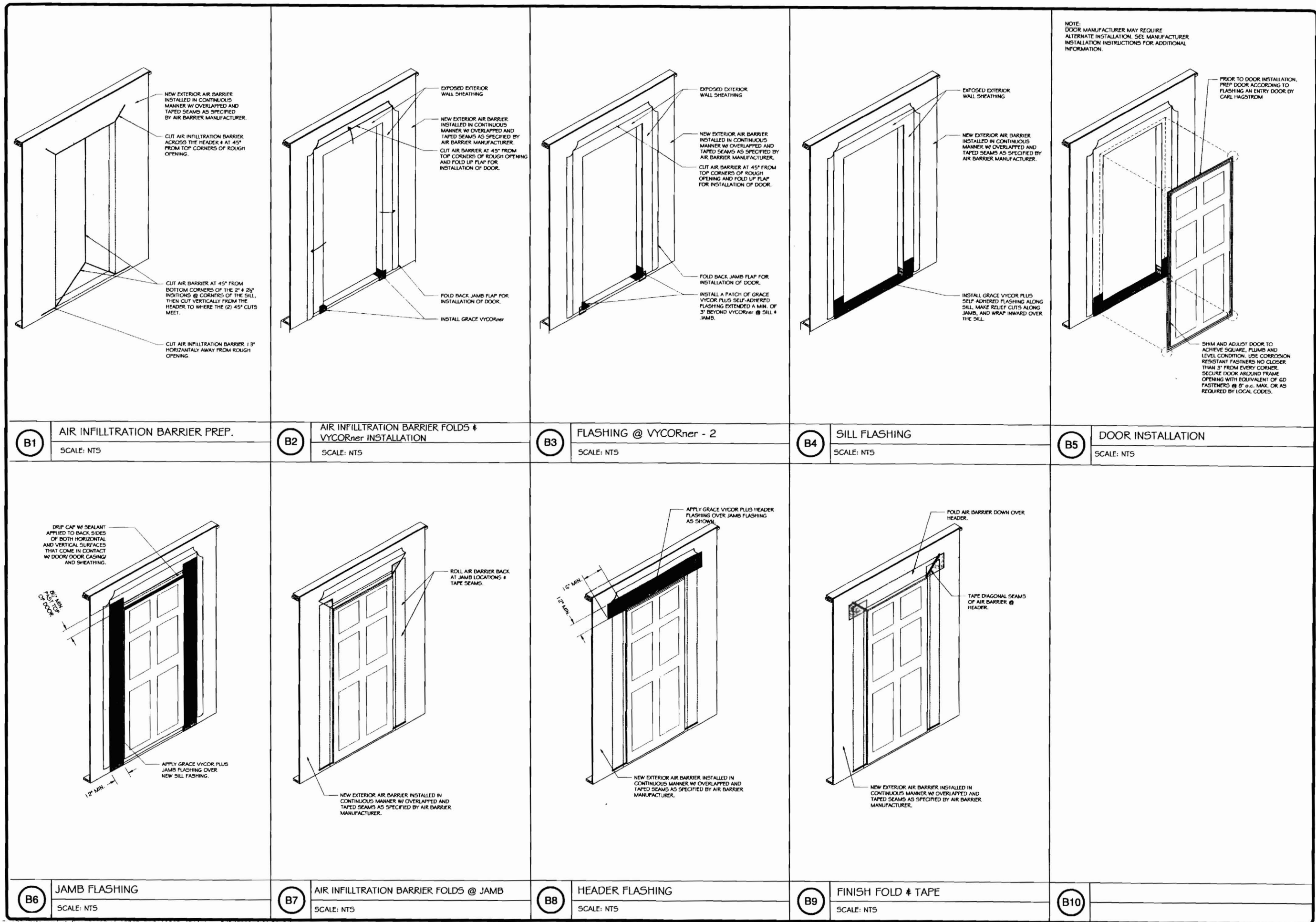
FILE #: 09202-S303.DWG

PROJECT NUMBER:

09202

SHEET NO:

S303



ASSOCIATED DESIGN PARTNERS INC.

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

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PROJECT: **MONFIELETTO RESIDENCE**

FOR: TONY MONFIELETTO 181 Hope Ave.

SHEET TITLE: **TYPICAL DOOR INSTALLATION**
ISSUED FOR PERMITTING

REVISIONS	DATE
No.	BY
1	ASW
2	ASW
3	ASW
4	ASW
5	ASW
6	ASW
7	ASW
8	ASW
9	ASW
10	ASW

DATE: 8/4/09
SCALE: AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE #: 09202-A501.DWG
PROJECT NUMBER:
09202
SHEET NO:
A501

**389 Congress Street
Portland, Maine 04101**

Owner:	MONFILETTO ANTHONY III & SANDRA L MONFILETTO JTS
Location:	189 HOPE AVE
CBL:	392 A020001
Invoice Date:	03/29/2010

Total Billed:	\$75.00
Total Paid:	\$0.00
Amount Due:	<u>\$75.00</u>

Total Amt Due:	\$75.00
Payment Amount:	

Make checks payable to the **City of Portland**, Inspections Division, Room 315, 389 Congress Street, Portland, ME 04101.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

March 29 2010

Received from Michael D. Divillo

Location of Work 179 Hope Ave

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 5.00

Building (IL) ☒ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 392 A 020

Check #: Visa Total Collected \$ 5.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: Hayle

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 189 HOPE AVE CBL 392 A020001

Issued to Monfiletto Anthony Iii &/The Vesta Corp Date of Issue 03/29/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0957, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Use Group R3
Type 5B
IRC 2003

Limiting Conditions: This is a temporary occupancy certificate which expires on June 1, 2010. All site work shall be in accordance with the approved site plan. The basement is an unfinished space

This certificate supersedes
certificate issued

Approved:

3.29.10 *[Signature]*
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 189 HOPE AVE

CBL 392 A020001

Issued to Monfiletto Anthony Iii &/The Vesta Corp

Date of Issue 05/24/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0957, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Use Group R3
Type 5B
IRC 2003

Limiting Conditions: This Certificate of Occupancy supersedes Certificate Issued 03/29/2010 The basement is an unfinished space.

This certificate supersedes
certificate issued

Approved:

5.24.10

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or leasee for one dollar.