

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**Please Read  
Application And  
Notes, If Any,  
Attached

Permit Number: 090957

**PERMIT ISSUED****OCT - 2 2009**This is to certify that The Vesta Corp / Mike DiMille the Vestahas permission to Build Single Family Home 3 bedrooms, 3 baths, ranch style w/ 3 garageAT 189 HOPE AVE

CITY OF PORTLAND 392-A020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas M. MacKinnon* 9/28/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
09-0957		392 A020001

Location of Construction: 189 HOPE AVE	Owner Name: The Vesta Corp / Mike DiMillo	Owner Address: P.O. Box 1464	Phone: 207-232-8050
Business Name:	Contractor Name: The Vesta Corp	Contractor Address: P.O. Box 1464 Portland	Phone: 2072328050
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage	Permit Fee: \$3,175.00	Cost of Work: \$308,000.00	CEO District: 5
Proposed Project Description: Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>FRC 2003</i> Signature: <i>Jim</i> 9/27/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 09/24/2009	<b>Zoning Approval</b>		
<ol style="list-style-type: none"><li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li><li>Building permits do not include plumbing, septic or electrical work.</li><li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li></ol>		Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>Panel 2-200X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2009-0068</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>Ok w/ conditions</i> Date: <i>7/16/09</i> <i>ABN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABN</i> Date: _____
		<div style="border: 2px solid black; padding: 10px; text-align: center;"><b>PERMIT ISSUED</b> <div style="border: 1px solid black; padding: 5px; margin: 10px auto; width: 100px;">OCT - 2 2009</div><b>CITY OF PORTLAND</b></div>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0957		<b>Date Applied For:</b> 09/02/2009	<b>CBL:</b> 392 A020001
<b>Location of Construction:</b> 189 HOPE AVE	<b>Owner Name:</b> The Vesta Corp / Mike DiMillo	<b>Owner Address:</b> P.O. Box 1464	<b>Phone:</b> 207-232-8050
<b>Business Name:</b>	<b>Contractor Name:</b> The Vesta Corp	<b>Contractor Address:</b> P.O. Box 1464 Portland	<b>Phone:</b> (207) 232-8050
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	
<b>Proposed Use:</b> Single Family Home - Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage		<b>Proposed Project Description:</b> Build Single Family Home 3 bedrooms, 3 bath, ranch style w/ 3 car garage	
<b>Dept:</b> Zoning <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Ann Machado <b>Approval Date:</b> 09/16/2009 <b>Note:</b> Zoning review is based on revised siteplan received 9/16/09. <b>Ok to Issue:</b> <input checked="" type="checkbox"/> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Tom Markley <b>Approval Date:</b> 09/28/2009 <b>Note:</b> <b>Ok to Issue:</b> <input checked="" type="checkbox"/> 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office. 3) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy. 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process. 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
<b>Dept:</b> DRC <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Philip DiPierro <b>Approval Date:</b> 10/01/2009 <b>Note:</b> <b>Ok to Issue:</b> <input checked="" type="checkbox"/> 1) No wetland impacts are allowed for home construction including the installation of utilities ie, U/G electric/cable/telephone installations. Wetland areas shall be marked for preservation prior to ground disturbance and the installation of the foundation. 2) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed. 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.			

<b>Location of Construction:</b> 189 HOPE AVE	<b>Owner Name:</b> The Vesta Corp / Mike DiMillo	<b>Owner Address:</b> P.O. Box 1464	<b>Phone:</b> 207-232-8050
<b>Business Name:</b>	<b>Contractor Name:</b> The Vesta Corp	<b>Contractor Address:</b> P.O. Box 1464 Portland	<b>Phone</b> (207) 232-8050
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>		<b>Permit Type:</b> Single Family

- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

9/3/2009-amachado: Spoke to Mike DiMillo. Site plan shows 4' x 24' deck on the front of the house. Building plans don't. Mike said that there wuld be no deck just the 8' x 7' porch. I told him that he needed to revise the site plan. Moving the permit forward to plan reviewer.

9/16/2009-amachado: Received revised site plan with porch removed.

9/28/2009-tm: all reviews completed and waiting for DRC approval before issuance. Permit in Tom's Hold Basket.

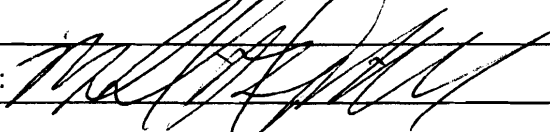
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>189 Hope Avenue (Lot 20)</u>		
Total Square Footage of Proposed Structure <u>Footprint = 3240 / Living Space = 2600</u>	Square Footage of Lot <u>.934 Acre</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>392</u> Block# <u>A</u> Lot# <u>20</u>	Owner: <u>The Vesta Corporation</u>	Telephone: <u>207-879-2217</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>The Vesta Corp.</u> <u>P.O. Box 1464</u> <u>Portland, ME 04104</u>	Cost Of Work: \$ <u>308,000</u>  Fee: \$
Current use: <u>Vacant land</u> <span style="float: right;">207-879-2217</span>		
If the location is currently vacant, what was prior use: <u>vacant land</u>		
Approximately how long has it been vacant: <u>always</u> <span style="float: right;"><u>3 bedrooms - 3 1/2 story</u></span>		
Proposed use: <u>Single family residence w/att. 3 car garage</u>		
Project description: <u>to construct new single family ranch-style home (per plans)</u>		
Contractor's name, address & telephone: <u>The Vesta Corporation - Mike DiMillo</u> <u>P.O. Box 1464, Portland, ME 04104</u> <span style="float: right;">232-8050</span>		
Who should we contact when the permit is ready: <u>Mike DiMillo</u>		
Mailing address: <u>P.O. Box 1464</u> <u>Portland, ME 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <span style="float: right;">PHONE: <u>232-8050</u></span>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: <u>9/1/09</u>
--	---------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
**If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**

Applicant: The Vesta Corporation

Date: 9/3/09

Address: 189 Hope Ave Lot 20 - Presumptive  
River Plan)

C-B-L: 392-A-20

Permit # 09-0957

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

\* revised site plan received 9/16/09

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build new one story single family house w/ 3 car garage.

Severage Disposal - City

Lot Street Frontage - 50' min. - 204.71 ft given (subdivision plat.) OK

Front Yard - 25' min. - 58' scaled OK \* 53' scaled OK

Rear Yard - 25' min. 87' scaled OK \* 87' scaled OK

Side Yard - 15' min. - 15' on left side (8' needed) OK  
25' min. - 14' min. - 10' on right side (20' needed) OK  
Projections - Side yard side street - 20' min.

Width of Lot - 80' min. - 200' scaled OK

Height - 35' max.

Lot Area - 10,000 sq ft min. - 40,696 sq ft (from subdivision plat)

Lot Coverage Impervious Surface - 20% = 8131.2 sq ft

Area per Family - 10,000 sq ft OK

Off-street Parking - 2 spaces required - 2 car + garage OK

Loading Bays - N/A

Site Plan - minor / minor 2009-0068

Shoreland Zoning/Stream Protection -

Flood Plains - panel 2 - zone X

$$\text{deck } 14 \times 12 = 168$$

$$54 \times 48 = 2592$$

$$12 \times 24 = 294$$

$$12 \times 24 = 288$$

$$24 \times 12 = 288$$

$$13 \times 12 = 156$$

$$3786$$

$$16 \times 24 = 12$$

$$11 \times 8 = 3798$$

$$3881$$

$$3881$$

OK

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy

2009-0068  
Application I. D. Number

9/1/2009  
Application Date

The Vesta Corp.  
Applicant  
P.O. Box 1464, Portland, ME 04104  
Applicant's Mailing Address

Single Family Home lot#20  
Project Name/Description

Mike DiMillo  
Consultant/Agent  
Applicant Ph: (207) 879-2217 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

189 - 189 Hope Ave , Portland, Maine  
Address of Proposed Site  
392 A020001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Apt 0 ☐ Condo 0 ☐ Other (specify)  
0

Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:

<input type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Zoning Conditional - PB	<input type="checkbox"/> Subdivision # of lots	<input type="checkbox"/> Design Review
<input type="checkbox"/> Amendment to Plan - Board Review	<input type="checkbox"/> Zoning Conditional - ZBA	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation
<input type="checkbox"/> Amendment to Plan - Staff Review		<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Flood Hazard
<input type="checkbox"/> After the Fact - Major		<input type="checkbox"/> Stormwater	<input type="checkbox"/> Traffic Movement
<input type="checkbox"/> After the Fact - Minor		<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
			<input type="checkbox"/> DEP Local Certification
			<input type="checkbox"/> Site Location
			<input type="checkbox"/> Housing Replacement
			<input type="checkbox"/> Other

Fees Paid: Site Plan \$50.00 Subdivision Engineer Review \$250.00 Date 9/1/2009

Zoning Approval Status:

Reviewer

☐ Approved ☐ Approved w/Conditions See Attached ☐ Denied

Approval Date Approval Expiration Extension to ☐ Additional Sheets Attached  
☐ Condition Compliance  
signature date

Performance Guarantee ☐ Required\* ☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit Issue	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

**WARRANTY DEED**  
**(Maine Statutory Short Form)**

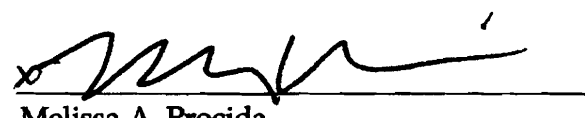
**KNOW ALL PERSONS BY THESE PRESENTS**, that, **Melissa A. Procida** of Portland, Maine, for consideration paid, hereby **GRANTS** to **The Vesta Corporation**, a Maine corporation with a mailing address of PO Box 1464, Portland, ME 04104, with **WARRANTY COVENANTS**, the land with any buildings thereon situated at 189 Hope Avenue Portland, County of Cumberland and State of Maine, described as follows:

**See Attached Exhibit A**

Meaning and intending to convey the same premises conveyed to Melissa A. Procida by virtue of a Deed from Robert L. Adam and Lloyd B. Wolf dated August 29, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26310, Page 266.

Witness my hand and seal this 1st day of July, 2009

  
\_\_\_\_\_  
Witness

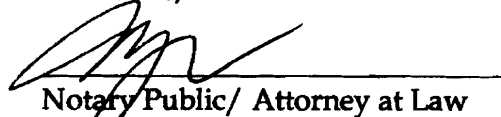
  
\_\_\_\_\_  
Melissa A. Procida

STATE OF MAINE  
COUNTY OF Cumberland, SS.

July 1, 2009

Then personally appeared before me the above named Melissa A. Procida and acknowledged the foregoing instrument to be her free act and deed.

Before me,

  
\_\_\_\_\_  
Notary Public/ Attorney at Law  
Printed Name:  
My Comm. Exp:

**MATTHEW J. MCDONALD**  
**MAINE ATTORNEY AT LAW**

MAINE REAL ESTATE TAX PAID



**EXHIBIT A**

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 20 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, as revised on April 28, 2003 and recorded at said Registry of Deeds in Plan Book 204, Page 373 (hereinafter sometimes referred to as "Plan"), together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.
3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
4. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
5. A ten (10) foot and thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
6. A culvert and drainage easement deed from Goldeneye Corp. to the City of Portland dated July 6, 2004 and recorded at said Registry of Deeds in Book 21610, Page 52 relating to said easements as shown on Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.

8. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

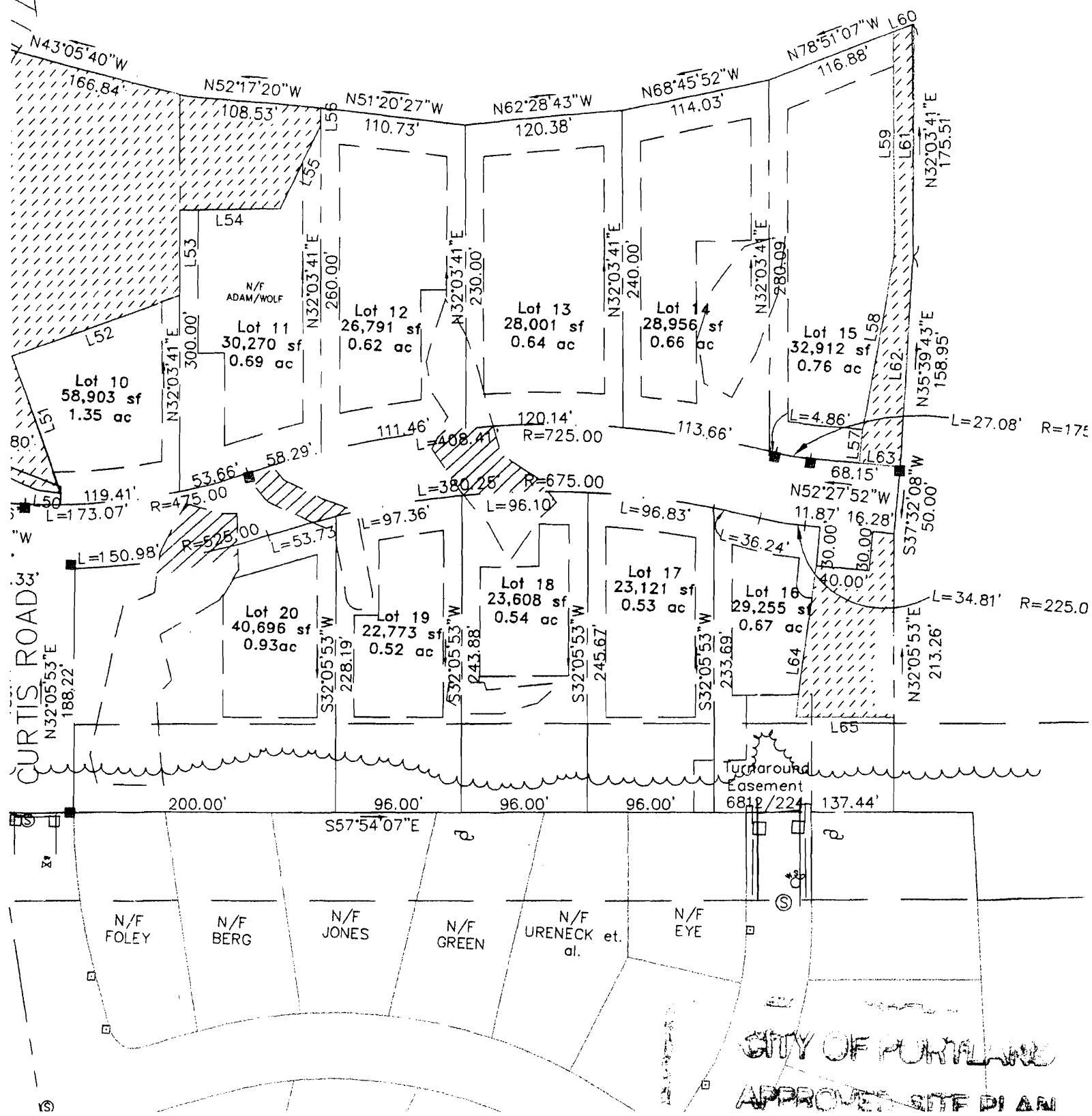
For Grantors' source of title see deed from Melissa A. Procida of even or recent date to be recorded herewith.

2009060670 The Vesta Corporation

Received  
Recorded Register of Deeds  
Jul 06, 2009 08:36:28A  
Cumberland County  
Pamela E. Lovley

30' PRIVATE DRAINAGE EASEMENT  
CENTERED ON DRAINAGE COURSE

1"=100'



## SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD\*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

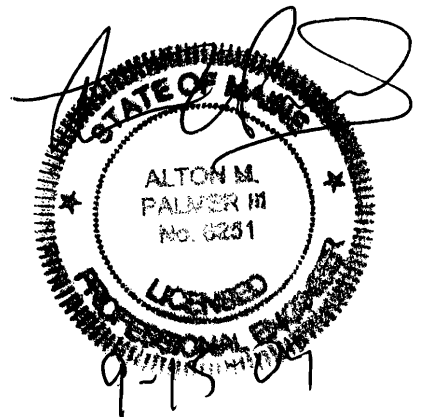
MINIMUM LOT WIDTH:

OTHER USES: 80 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (2) TWO STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

SEP 16 2009



189 Hope Ave

Design: WHS	Date: JULY 04
Draft: CAH	Job No.: 1043
Checked: AMP	Scale: NTS
File Name: 98089-ALL-LOTS	

**GP** Traffic and Civil Engineering Services  
PO Box 1237, 15 Shaker Road  
Gray, ME 04039  
207-657-6910

Drawing Name:  
**Space & Bulk Requirements**  
Project:  
**PRESUMPCOT RIVER PLACE**

Figure No.  
**1**

188 Hope Ave - H 392-A-0200001

Permit # 09-0957

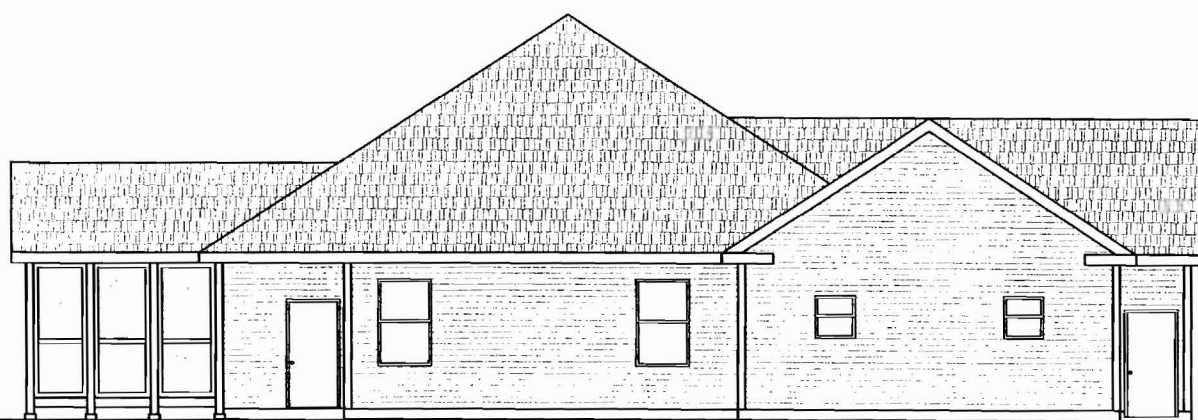
ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings Revisions Date
<b>STRUCTURAL</b>		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	2x concrete footing 8" wall - frost wall around garage	OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	perimeter drains 1/4" dia - fabric crushed stone - damp proofing	OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	NA
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 anchor bolts 48" oc - w/12 inches corners - per spec 2002	OK
Lally Column Type (Section R407)	3 1/2 concrete lally w/ Simpson LCC Cap	
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	2 (1 3/4 x 11 7/8 LVL)	OK
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	16" Floor Trusses @ 16" oc w/bracing per manufacturer	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	16" Floor Trusses 16" oc	OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	16" pre engineered trusses	OK

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8/12 slope - trusses - engineered	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8 sheathing roof 7/16 on walls	
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	OK
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)  Fire separation (Section R309.2)  Opening Protection (Section R309.1)	YES  1 hr	OK
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	30 yr arch shingles	
Safety Glazing (Section R308)	OK	OK
Attic Access (Section R807)	NA	NA
Chimney Clearances/Fire Blocking (Chap. 10)	2 inch min combustibles	OK
Header Schedule (Section 502.5(1) & (2))	3(2x10) 2(2x10's) per IRC	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U- Factor Fenestration	OK	OK

Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312)		
Basement	1	OK
Number of Stairways	2	
Interior	2	
Exterior	0	
Treads and Risers (Section R311.5.3)	10 inch net tread - 7 3/4 max rise	
Width (Section R311.5.1)	3 FT min	
Headroom (Section R311.5.2)	6' 8 min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 min Guards - Handrails 34-38	
Smoke Detectors (Section R313) Location and type/Interconnected	Each Bedroom - interconnected each level / common areas	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)		
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1)	per IRE	OK



A1 REAR ELEVATION  
SCALE: 3/8" = 1'-0"

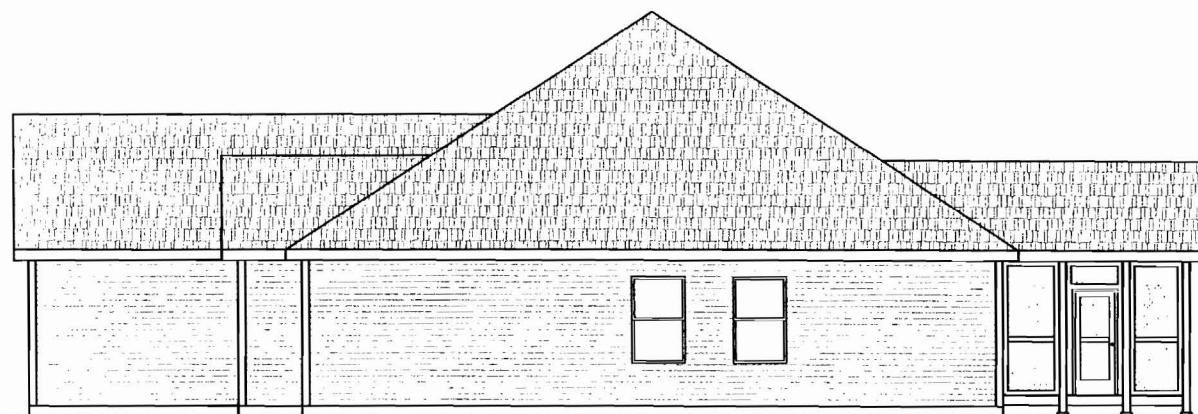


A1 LEFT SIDE ELEVATION  
SCALE: 3/8" = 1'-0"



RANCH HOUSE SERIES  
#146 OVERHEAD  
DOORS BY OVERHEAD  
DOOR CO.

A1 FRONT ELEVATION  
SCALE: 3/8" = 1'-0"



A1 RIGHT SIDE ELEVATION  
SCALE: 3/8" = 1'-0"

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PARTNERS INC.**  
80 Leighton Road  
Falmouth, Maine 04105  
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Fax: (207) 878-1788  
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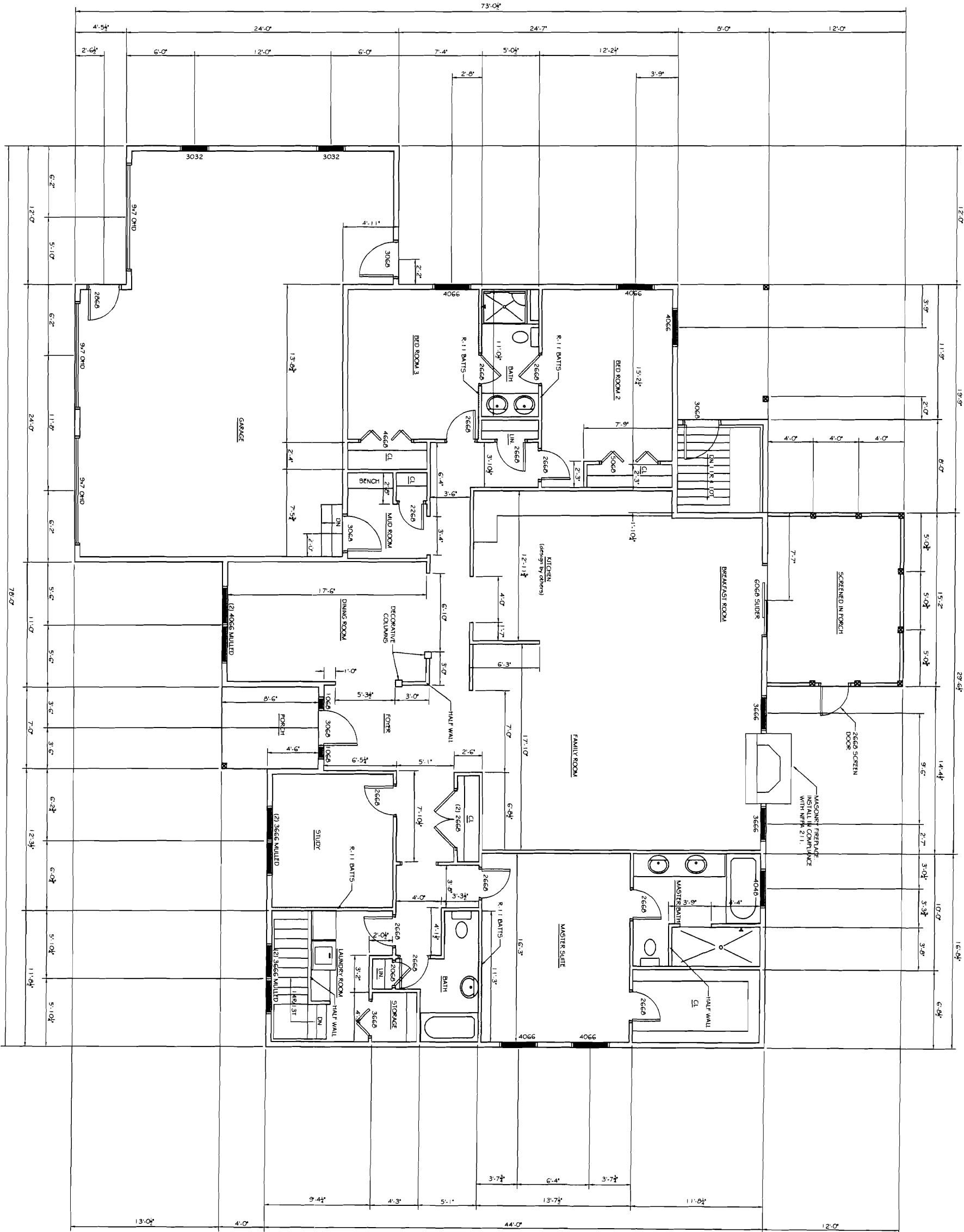
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PROJECT: **MONFILETTO RESIDENCE**  
FOR: TONY MONFILETTO  
SHEET TITLE: **ELEVATIONS**  
ISSUED FOR PERMITTING  
DATE: 09-09-07  
PERMIT #

NO.	BY	DATE	DESCRIPTION
1	ASW	8/4/09	AS NOTED
2	ASW	8/4/09	AS NOTED
3	ASW	8/4/09	AS NOTED
4	ASW	8/4/09	AS NOTED
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9	ASW	8/4/09	AS NOTED
10	ASW	8/4/09	AS NOTED

DATE: 8/4/09  
SCALE: AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE # 09202-A301.DWG  
PROJECT NUMBER:  
**09202**  
SHEET NO:  
**A301**





REVISIONS			DATE
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4	ASW	4.0000	
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7	ASW	7.0000	
8	ASW	8.0000	
9	ASW	9.0000	
10	ASW	10.0000	

PROJECT: **MONFILETTO RESIDENCE**  
FOR: TONY MONFILETTO *1875 Hope Ave*  
SHEET TITLE: **FIRST FLOOR PLAN  
ISSUED FOR PERMITTING**

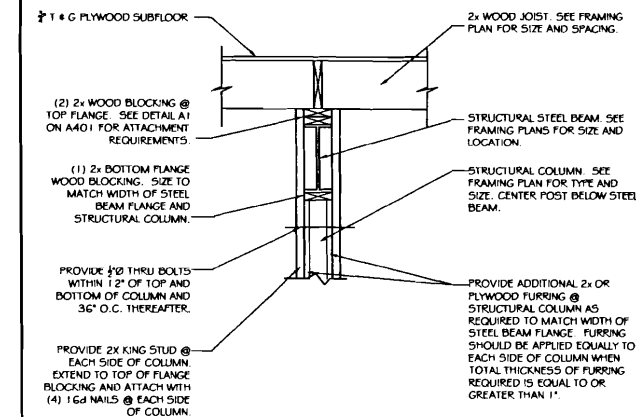
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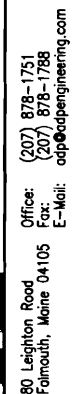
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E-Mail: [adp@adengineering.com](mailto:adp@adengineering.com)

DATE: 8/4/09  
SCALE: AS NOTED  
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DRAWN BY: RSC  
FILE # 09202-A101.DWG  
PROJECT NUMBER:  
SHEET NO: **A101**  
**09202**



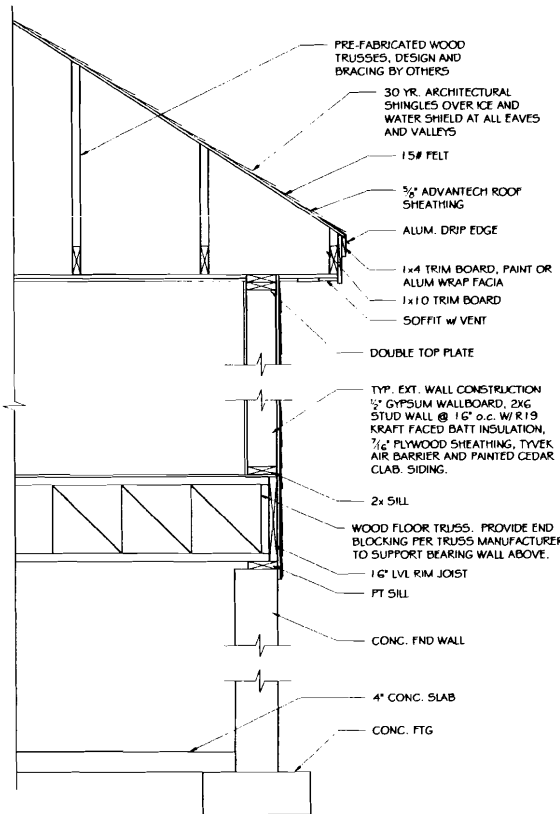
1. ALL PSL's ARE 2" O.F. PARALLAM BY TRUSS JOIST, UNLESS OTHERWISE NOTED.
2. ALL LVL's ARE 1.9E MICROLAM LVL's BY TRUSS JOIST, UNLESS OTHERWISE NOTED.
3. ALL SPECIFIED HEADER POSTS ARE "JACK STUDS" & SHOULD EXTEND TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE (11) 2x6 KING STUD.
4. QUANTITY OF 2" BUILT UP POSTS ARE NUMBER REQ'D @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
5. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.
6. GENERAL CONTRACTOR TO COMPLY WITH IRC 2003 TABLE 2305.2 FASTENING SCHEDULE.
7. ALL STRUCTURAL STEEL TO BE ASTM A992 Fy=50 KSI
8. 3/4" A4-70 NAILING SPACING W/8D GALV RINGSHANK NAILING REQ'D AT ALL ROOF AREAS, U.N.O. SPACE IS 12" O.C. AT PERIMETER, 12" O.C. AT INTERIOR SUPPORTING ELEMENTS. USE PLYWOOD SPACERS AT ALL PANEL EDGES.
9. WOOD FRAMED TRUSS ROOF SYSTEM DESIGNED BY TRUSS FABRICATOR.
10. SPACE ALL TRUSSES AT 2'-0" O.C. TYP. 12" GABLE OVERHANG. PROVIDE SHOP DRAWING SUBMITTAL FOR REVIEW PRIOR TO FABRICATION.
11. SUPPLEMENTAL MECHANICAL VENTILATION IS RECOMMENDED FOR ATTIC SPACE. MECHANICAL VENTILATION SYSTEM DESIGNED BY CONTRACTOR.



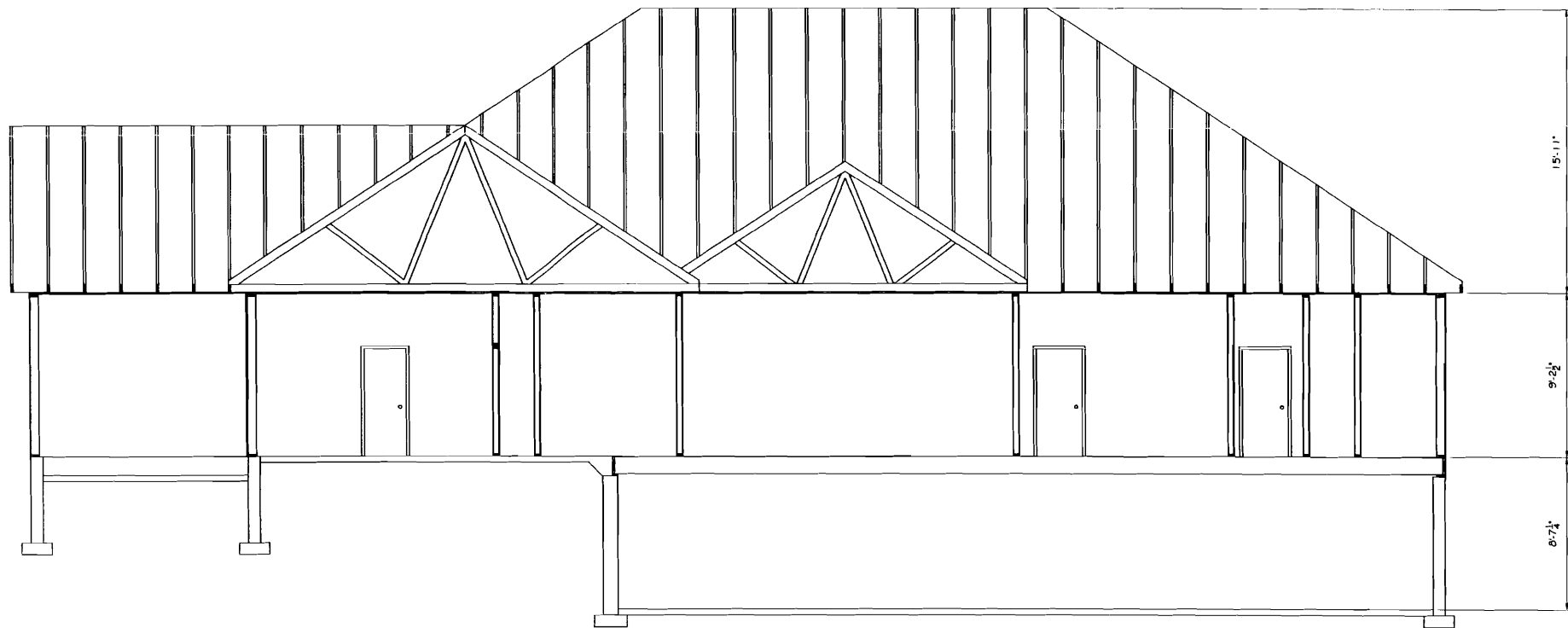
**ROOF PLAN**  
**ISSUED FOR PERMITTING**

DATE : 8/4/09  
SCALE : AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 09202-A101.DWG  
PROJECT NUMBER:  
**09202**  
SHEET NO:  
**A201**

AI	STEEL BEAM TO WOOD POST DETAIL
	SCALE: $\frac{3}{4}" = 1'-0"$



A2  
A101  
BUILDING SECTION BB  
SCALE: 3/4" = 1'-0"



A1  
A101  
BUILDING SECTION AA  
SCALE: 3/4" = 1'-0"

ASSOCIATED DESIGN  
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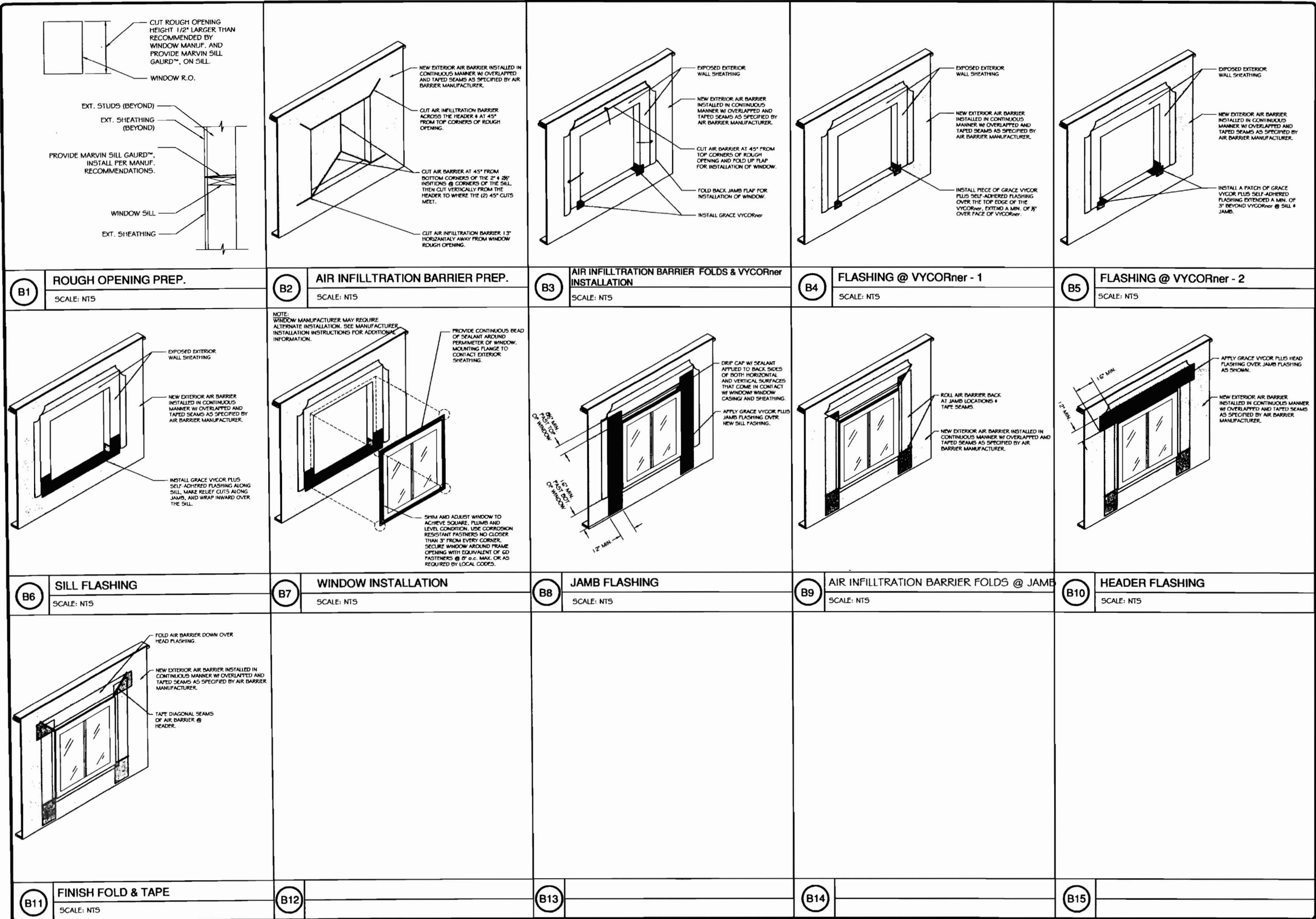
PROJECT: MONFLETTO RESIDENCE

FOR: TONY MONFLETTO *TS Monfletto Inc.*

SHEET TITLE:  
BUILDING SECTIONS AND NOTES  
ISSUED FOR PERMITTING

REVISIONS	DESCRIPTION	DATE
NO.	BY	
1	ASW	
2	ASW	
3	ASW	
4	ASW	
5	ASW	
6	ASW	
7	ASW	
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9	ASW	
10	ASW	

DATE : 8/4/09  
SCALE : AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 09202-A401.DWG  
PROJECT NUMBER:  
**09202**  
SHEET NO:  
**A401**



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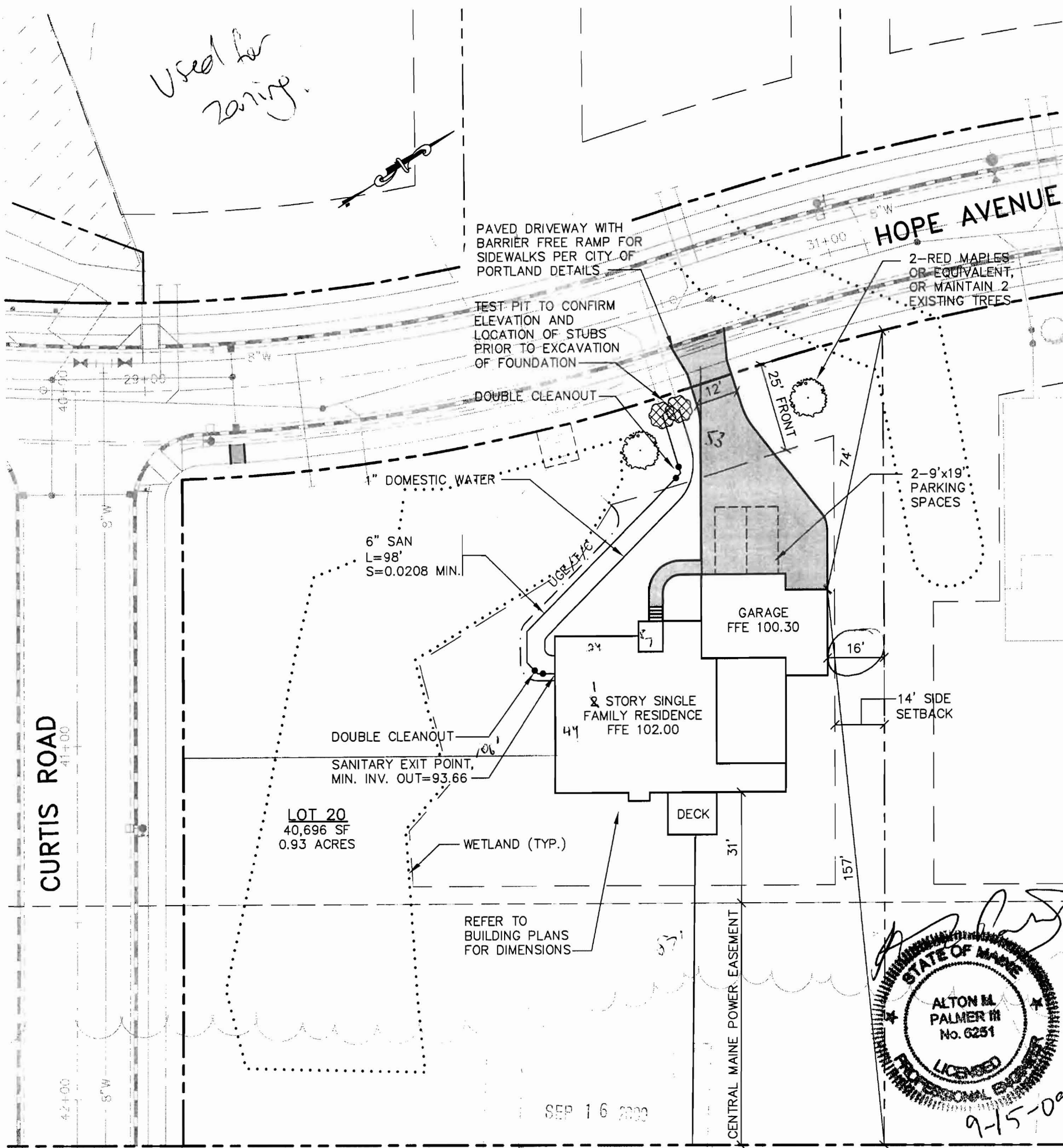
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PROJECT: **MONFLETTO RESIDENCE**  
FOR: TONY MONFLETTO 185 Hodge Ave.  
SHEET TITLE: **TYPICAL WINDOW INSTALLATION ISSUED FOR PERMITTING**

REVISIONS	DATE
DESCRIPTION	
No.	BY
1	ASW
2	ASW
3	ASW
4	ASW
5	ASW
6	ASW
7	ASW
8	ASW
9	ASW
10	ASW

DATE: 8/4/09  
SCALE: AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 09202-A502.DWG  
PROJECT NUMBER: **09202**  
SHEET NO: **A502**

Used for zoning.



#### GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001 AS WELL AS DESIGN PLANS FOR SUBDIVISION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.
8. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.

Design: AMP	Date: AUG 09
Draft: CG	Job No.: 2298
Checked: AMP	Scale: 1"=30'
File Name: 2298-PBASE	

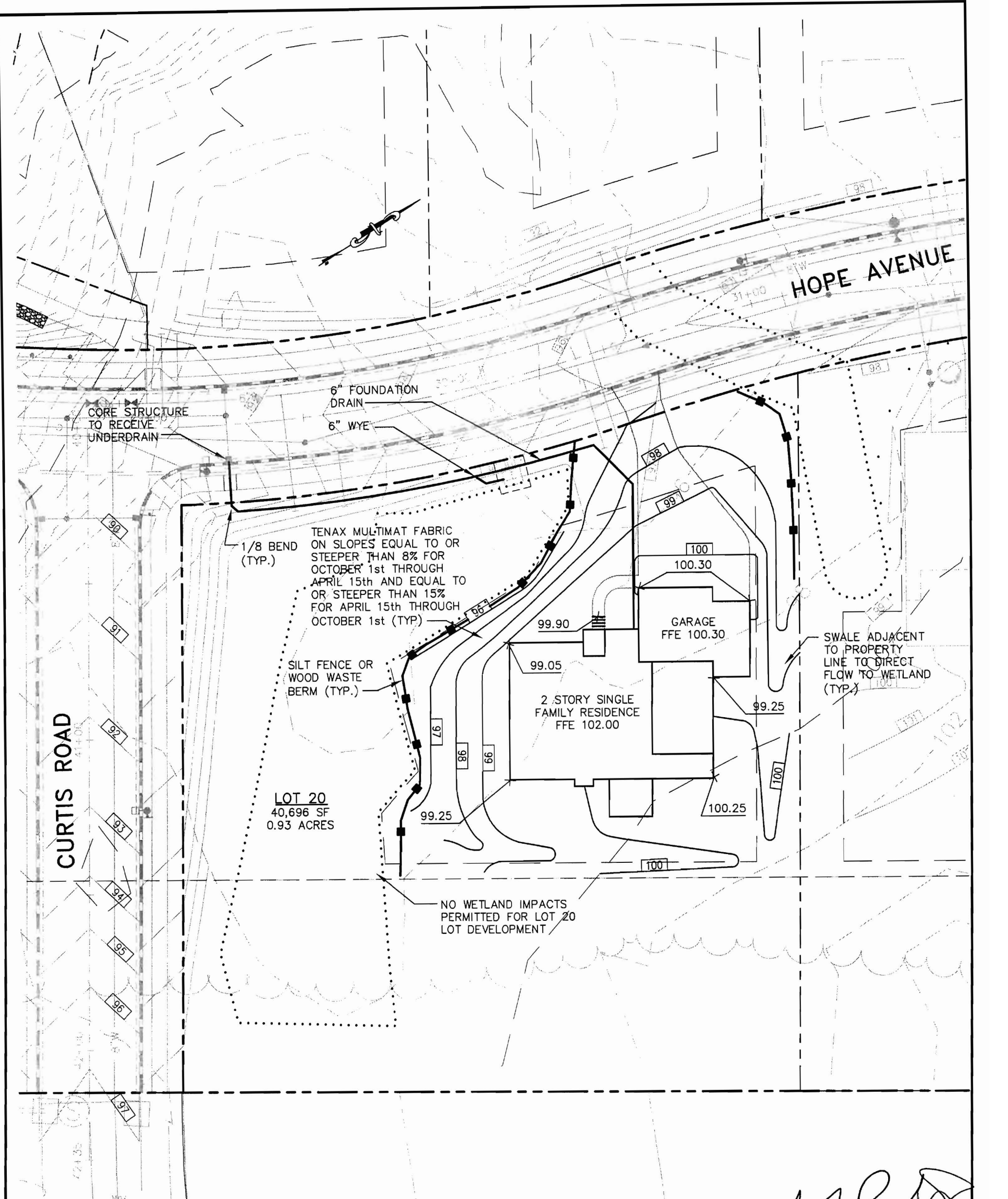
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15 Shaker Road  
Gray, ME 04039  
207-657-6910  
FAX: 207-657-6912  
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot 20 Site Layout & Utility Plan**  
Project: **PRESUMPCOT RIVER PLACE**

Figure No.

2



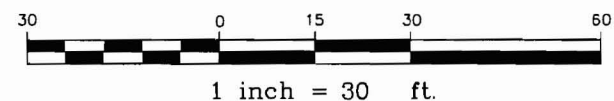


*Handwritten signature*

STATE OF MAINE  
 ALTON M. PALMER III  
 No. 6231  
 LICENSED PROFESSIONAL ENGINEER

*9.15.09*

SEP 16 2009



1 inch = 30 ft.

Design: AMP	Date: AUG 09
Draft: CG	Job No.: 2298
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File Name: 2298-PBASE	

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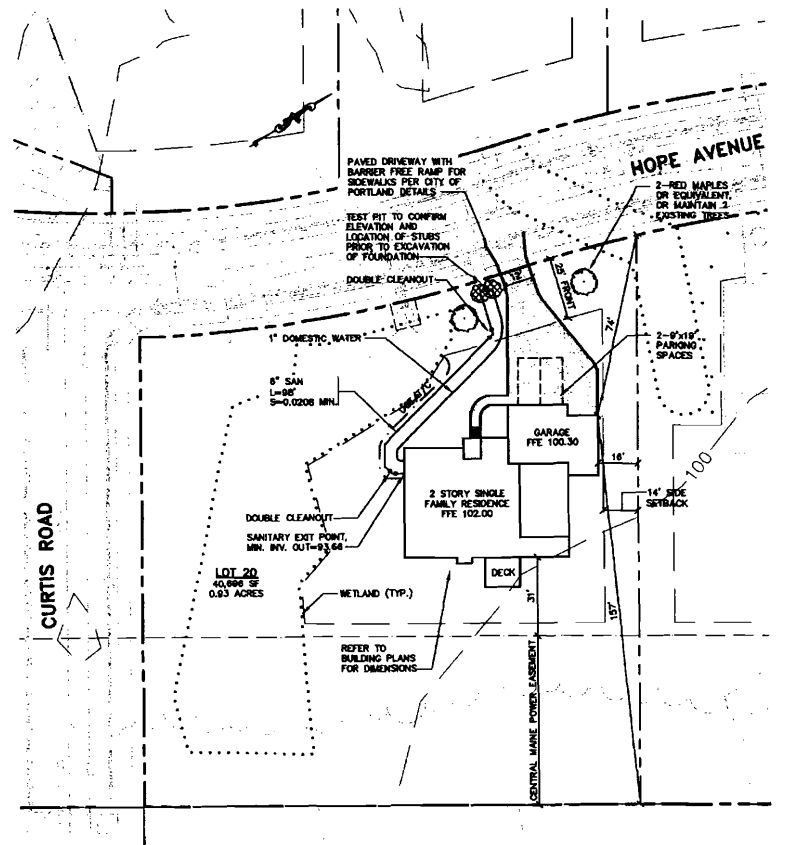
Drawing Name: 189 Hope Ave. Lot 20 Site Layout & Utility Plan
Project: PRESUMPCOT RIVER PLACE

Figure No. 3
-----------------

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Dept. of Building Inspections  
City of Portland Maine



SITE AND UTILITY PLAN  
1"=20'



SPACE AND BULK REQUIREMENTS - R-2 ZONE

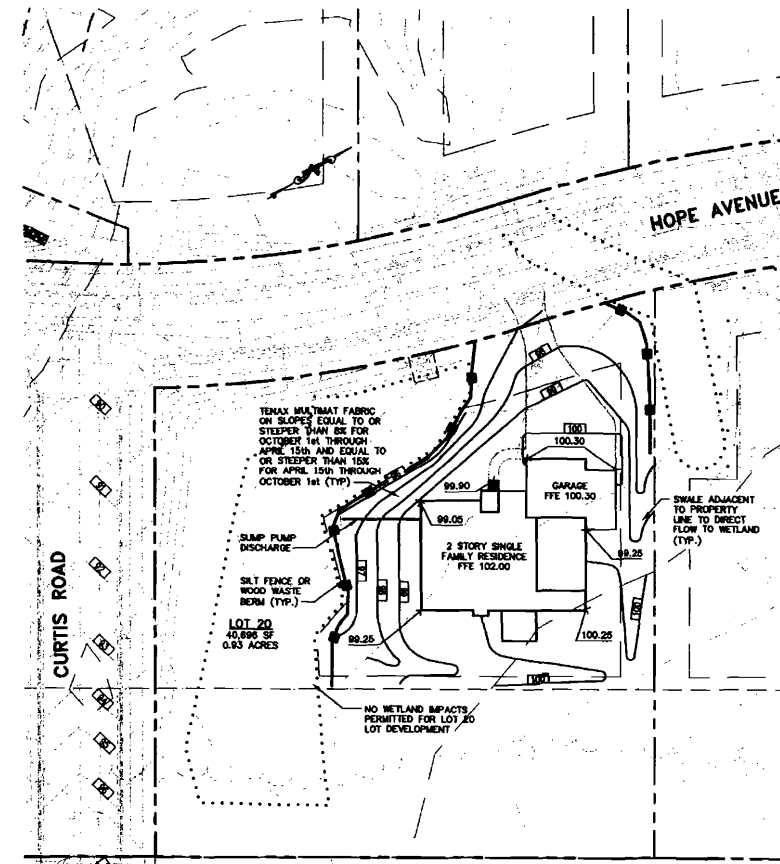
MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (2) TWO STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001 AS WELL AS DESIGN PLANS FOR SUBDIVISION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C831, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.
8. THE LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY SOFTEN THE HARBOR DIMENSION OR PROPORTION OF THE LOT.
9. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
10. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
11. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS, SECTION VII EROSION AND SEDIMENTATION CONTROL STANDARDS FOR SINGLE AND TWO FAMILY HOMES.

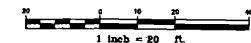


GRADING AND DRAINAGE PLAN  
1"=20'

GRADING AND DRAINAGE NOTES:

1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED.
2. COMMON BORROW SHALL MEET MOOT SPECIFICATION 703.18.
3. FOUNDATION DRAIN SHALL BE DIRECTED TO SLUMP LOCATED WITHIN BUILDING.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



Rev.	Date	Revision
1	9/23/09	ADDED SLUMP PUMP DISCHARGE

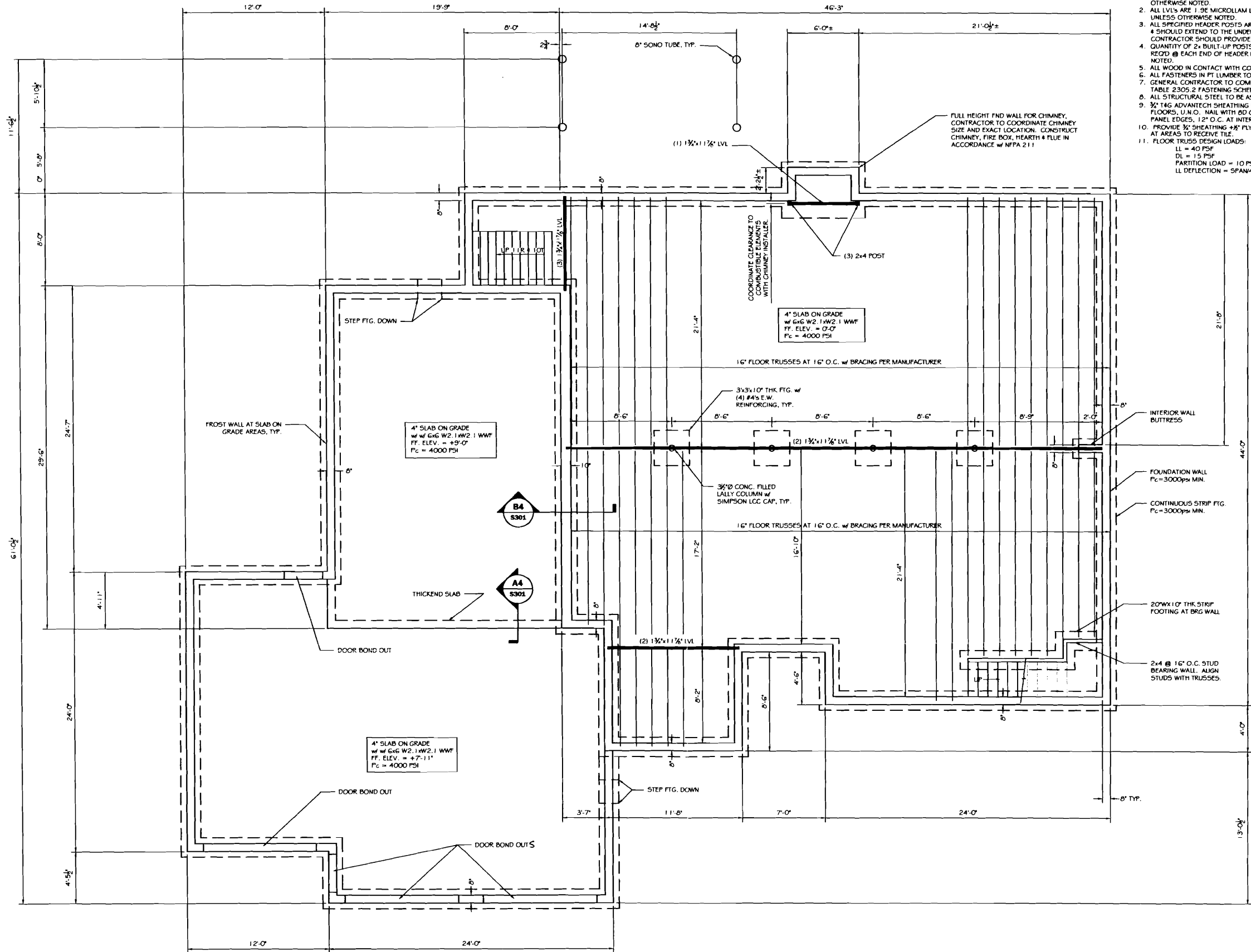
Issued For	Date	By

Design: AMP	Draft: CG	Date: 9/09
Checked: AMP	Scale: 1"=20'	Job No: 2298
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207-657-6810 FAX: 207-657-6812 E-Mail: mail@gorrillpalmer.com

Drawing Name:	Site, Utility, Grading and Drainage Plans
Project:	Presumpscot River Place Hope Avenue, Portland, Maine
Client:	Vesta Corporation P.O. Box 1464, Portland, ME 04104

Drawing No.	1
-------------	---



NOTES:

1. ALL PSLS ARE 2 O.E. PARALLEL BY TRUS JOIST, UNLESS OTHERWISE NOTED.
2. ALL LVL'S ARE 1.9E MICROLAM LVL'S BY TRUS JOIST, UNLESS OTHERWISE NOTED.
3. ALL SPECIFIED HEADER POSTS ARE "JACK STUDS". CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD. QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER RECD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
5. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
6. ALL FASTENERS IN PT LUMBER TO BE HOT DIPPED GALVANIZED.
7. GENERAL CONTRACTOR TO COMPLY WITH IRC 2003 TABLE 2305.2 FASTENING SCHEDULE.
8. ALL STRUCTURAL STEEL TO BE ASTM 992 Fy=50 KSI
9. 3/4\"/>
10. PROVIDE 3/4\"/>
11. FLOOR TRUSS DESIGN LOADS:  
LL = 40 PSF  
DL = 15 PSF  
PARTITION LOAD = 10 PSF  
LL DEFLECTION = SPAN/450 MAX RECOMMENDED.



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80 Leighton Road (207) 878-1788  
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PROJECT: **MONFILETTO RESIDENCE**

FOR: TONY MONFILETTO *189 Hope Ave*

SHEET TITLE:

**FOUNDATION PLAN  
ISSUED FOR PERMITTING**

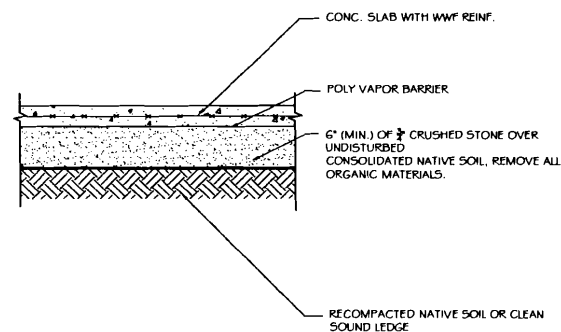
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10	ASW	

DATE : 8/4/09  
SCALE : AS NOTED  
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FILE #: 09202-S101.DWG  
PROJECT NUMBER:  
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SHEET NO:  
**S101**

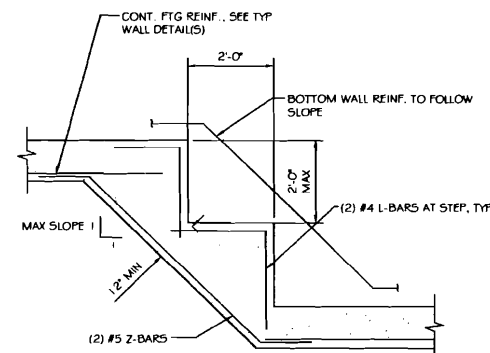




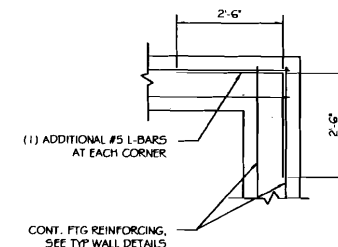
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SCALE: 3/4" = 1'-0"



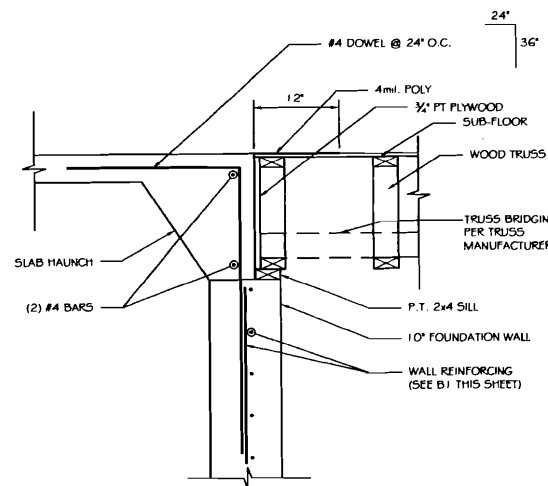
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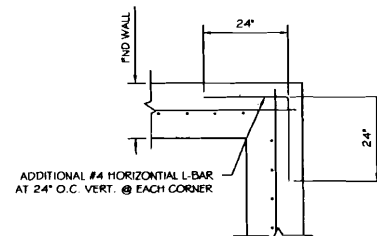
C2	STEPPED FOOTING DETAIL
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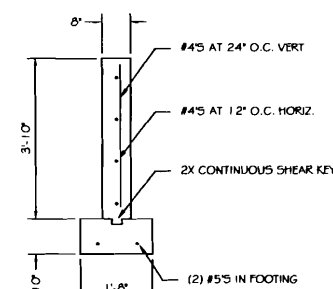
C1	CORNER REINFORCING IN FOOTING SCALE: 1/2" = 1'-0"
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B4 SLAB TO FLOOR CONNECTION DETAIL  
SCALE: 1" = 1'-0"



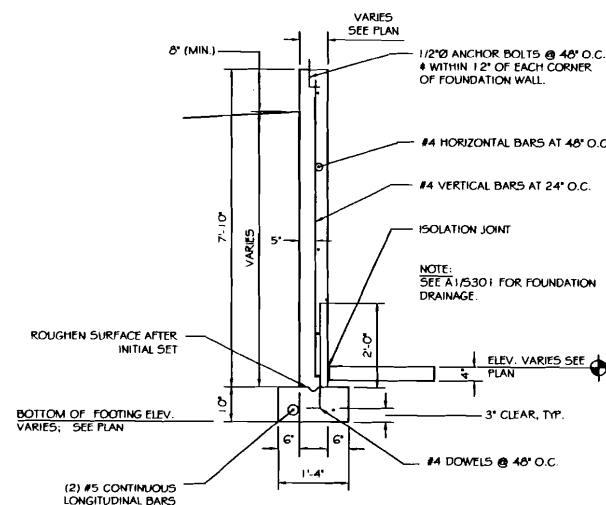
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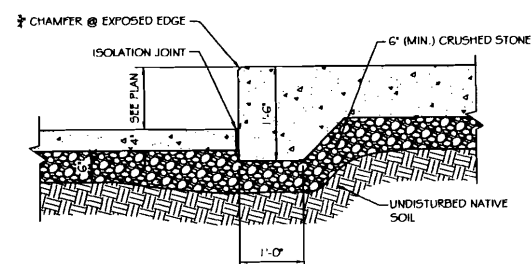
B2

TYP. FROST WALL REINFORCEMENT

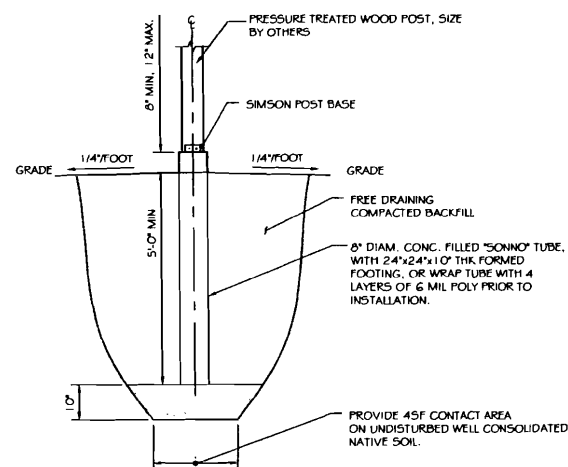
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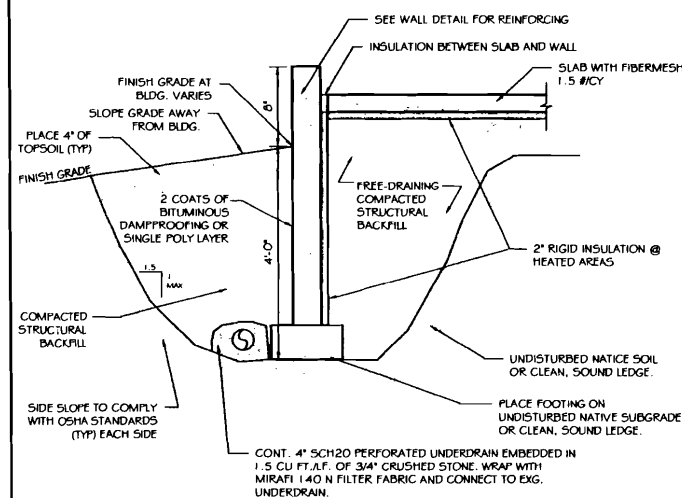
BI TYP. FOUNDATION WALL REINFORCEMENT  
SCALE: 1/2" = 1'-0"




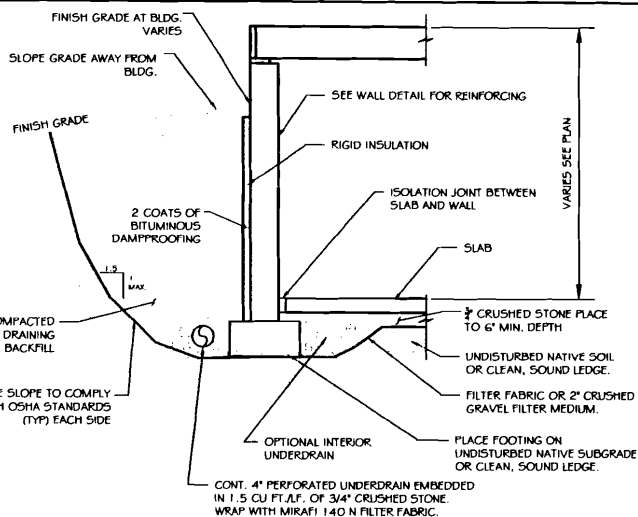
**A4** **TYP. CONCRETE SLAB ELEVATION CHANGE SECTION**  
 SCALE: 3/4" = 1'-0"




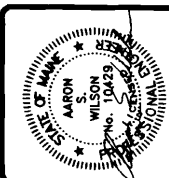
		TYP. CONC. PIER EARTHWORK
		SCALE: 1/2" = 1'-0"



	TYPICAL FOUNDATION EARTHWORK
	SCALE: 1/2" = 1'-0"



	TYP. FOUNDATION EARTHWORK
	SCALE: 1/2" = 1'-0"



**ASSOCIATED DESIGN  
PARTNERS INC.**

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PROJECT: **MONFILETTO RESIDENCE**  
FOR: TONY MONFILETTO  
SHEET TITLE: **FOUNDATION DETAILS**  
**ISSUED FOR PERMITTING**

REVISIONS			
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DATE : 8/4/09  
SCALE : AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 09202-S301.DWG  
PROJECT NUMBER:  
**09202**  
SHEET NO:  
**S301**



GENERAL STRUCTURAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
- IRC BUILDING CODE 2003 ED
  - ANSI/ASCE 7-05
  - ACI 318-05 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
  - ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
  - AISC STEEL CONSTRUCTION MANUAL 9TH ED ASD
  - SDS COLD FORMED STEEL DESIGN MANUAL
  - ANSI/APA NDS-2005
2. ROOF DESIGN LOADS:
- |                 |                 |
|-----------------|-----------------|
| SNOW LOAD       | 46 PSF + UNBAL. |
| DEAD LOAD       | 15 PSF          |
| TOTAL ROOF LOAD | 61 PSF + UNBAL. |
3. WIND LOADS:
- BASED ON WIND SPEED OF 95 MPH, EXP. C, 1 = 1.4, SIMPLIFIED PROCEDURE. COMPONENTS AND CLADDING.
- |        |        |
|--------|--------|
| ZONE 1 | +/- 19 |
| ZONE 2 | +/- 29 |
| ZONE 3 | +/- 47 |
| ZONE 4 | +/- 22 |
| ZONE 5 | +/- 25 |
4. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.
5. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
6. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
7. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR (S.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
8. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
9. THESE DRAWINGS DO NOT SHOW SIZE, LOCATION OR TYPE OF OPENING IN THE FOUNDATION SYSTEM FOR ELECTRICAL, PLUMBING OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THESE ITEMS.
10. ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. DIMENSIONAL REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.

WOOD FRAMING NOTES

1. STRUCTURAL LUMBER: NO. 2 SPRUCE-PINE-FIR OR BETTER LAMINATED VENEER LUMBER (LVL) EQUIVALENT TO 2 OR 5 P. MICRO-LAM BY TRUSS JOIST.
2. DESIGN CODES:
- A. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE IRC 2003 BUILDING CODE, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. FASTENER REQUIREMENTS FOR ROOF AND FLOOR SHEATHING, PROVIDE DO RINGS/HANG NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE:
- 6" O.C.: ALONG ALL PANEL EDGES
  - 12" O.C.: ALONG INTERMEDIATE MEMBERS
5. ROOF SHEATHING: APA RATED SHEATHING, EXPOSURE 1 OR BY ADVANTECH.
- ROOF: MIN 1/8" 3/2", SPAN RATING 40920.
6. FLOOR SHEATHING: TONGUE AND GROOVE APA SPAN RATED 48/24 FLOOR SHEATHING WITH MIN THICKNESS 7/8" BY ADVANTECH OR EQUAL.
7. FASTENER REQUIREMENTS FOR EXTERIOR WOOD SHEARWALLS PROVIDE DO RINGS/HANG NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE:
- 4" O.C.: ALONG ALL PANEL EDGES
  - 12" O.C.: ALONG INTERMEDIATE MEMBERS
8. ALL BOLTED WOOD CONNECTIONS TO BE MADE WITH G90 HOT DIP GALVANIZED HEX HEAD THROUGH BOLTS. SIZE AS INDICATED ON THE DRAWINGS. DOME HEADED CARRIAGE BOLTS ARE NOT PERMITTED.
9. ALL NAILS TO SIMPSON PRODUCTS AND PT LUMBER TO BE G90 HOT DIP GALVANIZED D 16/20 COMMON BOX NAILS, OR AS RECOMMENDED BY SIMPSON.
10. ALL SIMPSON PRODUCTS IN CONTACT WITH PT LUMBER TO BE "ZMAX" (G105 GALVANIZED) COATED.
11. TRIPLE LVLS TO BE CONNECTED WITH (2) ROWS SIMPSON 1/4"-48" SDS SCREWS 8" O.C. STAGGERED, EA FACE
12. QUAD LVLS TO BE CONNECTED WITH (2) ROWS 3/8" THROUGH BOLTS AT 8" O.C. STAGGERED, EA FACE

CONCRETE NOTES

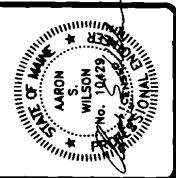
1. CODES:
- COMPLY WITH THE FOLLOWING LATEST EDITIONS AND CURRENT AMENDMENTS:
- 1.1 ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
  - 1.2 ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
  - 1.3 CRSI "CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE"
2. TESTING:
- 2.1 LABORATORY TESTS: CONCRETE MIX DESIGN, FIELD FABRICATED CYLINDERS FOR COMPRESSIVE STRENGTH.
  - 2.2 FIELD TESTS: PERFORM FIELD TESTS FOR SLUMP, AIR CONTENT AND TEMPERATURE. PREPARE CYLINDERS FOR COMPRESSION TESTING: #1 AT 7 DAYS AND #2 AT 28 DAYS.
3. SUBMITTALS: N/A
4. MATERIALS:
- 4.1 REINFORCING STEEL: GRADE 60, ASTM 615, NEW DEFORMED BARS.
  - 4.2 REINFORCING FOR SLABS: EQUAL TO FIBERWEBSH, 1.5 INCH CONCRETE, OR 6#6 W/ 4" MAX.
  - 4.3 MIXING WATER SHALL BE POTABLE, FREE OF ANY SUBSTANCES THAT MAY BE DELETERIOUS TO THE CONCRETE OR REINFORCING STEEL.
5. CONCRETE:
- 5.1 EXTERIOR SLABS: CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
  - MAX. AGG. SIZE: 3/4"
  - AIR CONTENT: 6% + 1% BY VOLUME
  - MAX WATER-CEMENT RATIO: 0.45
  - AGGREGATE SHALL CONFORM TO ASTM C33
- 5.2 INTERIOR SLABS: CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
- MAX. AGG. SIZE: 3/4"
- AIR CONTENT: 6% + 1% BY VOLUME
- MAX WATER-CEMENT RATIO: 0.45
- AGGREGATE SHALL CONFORM TO ASTM C33
- 5.3 WALLS AND FOOTINGS: CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT 28 DAY COMPRESSIVE STRENGTH: 3000 PSI
- MAX. AGG. SIZE: 3/4"
- AIR CONTENT: 5% + 1% BY VOLUME
- MAX WATER-CEMENT RATIO: 0.50
- AGGREGATE SHALL CONFORM TO ASTM C33

CONCRETE NOTES (CONT.)

- 5.3 ADMIXTURES:
- PROVIDE ADMIXTURES WHICH ARE CHEMICALLY COMPATIBLE FOR THEIR INTENDED USE. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR USE. BASE DOSAGE RATES ON CEMENT CONTENT. CALCIUM CHLORIDE IS NOT ALLOWED.
- 5.3.1 HIGH RANGE WATER REDUCERS (SUPER PLASTICIZERS) EQUAL TO DARACEM 1.00 BY W.R. GRACE & CO., ASTM C-494
  - 5.3.2 ACCELERATORS: EQUAL TO DARSSET BY W.R. GRACE & CO., ASTM C-404 TYPE C OR E
  - 5.3.3 AIR ENTRAINING: EQUAL TO DAKAVAR BY W.R. GRACE & CO., ASTM C-260 AND ARMY CORPS CRD-C-13
- 5.4 CONCRETE SURFACE COATINGS:
- 5.4.1 CURING COMPOUND: "KURE-N-SEAL" BY SONNEBORN, OR EQUIVALENT
  - 5.4.2 BITUMINOUS DAMPROOFING: EQUAL TO BRUSH GRADE FOUNDATION COATING BY EUCID
- 5.5 FORMS AND RELATED MATERIAL:
- 5.5.1 FORMS FOR CONCRETE SURFACES THAT WILL BE EXPOSED IN THE FINISHED BUILDING SHALL BE PLYFORM CLASS 1, B-D EXTERIOR TYPE CONFORMING TO U.S. PRODUCT STANDARD PS 1. FORMS FOR CONCRETE SURFACES NOT EXPOSED IN THE FINISHED BUILDING MAY BE PLYFORM OR MATCHED LUMBER.
  - 5.5.2 FORM OIL USED ON SURFACE OF FORMS SHALL BE A NON-STAINING TYPE.
- 5.6 ALUMINUM PRODUCTS:
- 5.6.1 NO ALUMINUM CONDUIT, TIE, INSERTS, REGLETS, ETC. SHALL BE PLACED IN ANY CONCRETE, UNLESS COATED WITH BITUMINOUS DAMPROOFING.
  - 5.6.2 NO EQUIPMENT MADE OF ALUMINUM OR ALUMINUM ALLOYS SHALL BE USED FOR PUMP LINES, TRENCHES OR CHUTES IN CONVEYING CONCRETE TO POINT OF PLACEMENT.
- 5.7 GROUT:
- 5.7.1 NON-SHRINK GROUT FOR USE UNDER COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE EMBEDDO GROUT AR605, PRE-MIXED, AS MANUFACTURED BY MASTER BUILDERS, OR APPROVED EQUIVALENT
- 5.8 PREFORMED EXPANSION JOINT FILLER:
- 5.8.1 A NON-EXTENDING AND RESILIENT BITUMINOUS TYPE JOINT FILLER, 1/2" THICK.
- 5.9 EMBEDDED ITEMS:
- 5.9.1 EMBEDDED ITEMS SUCH AS ANCHOR BOLTS, ETC., SHALL BE INSTALLED USING A TEMPLATE AND BE SECURELY HELD IN PLACE DURING CONCRETE PLACEMENT.
- 5.10 SPACERS, SUPPORTS AND FASTENERS:
- 5.10.1 FORM SPACERS, REINFORCING TIES AND CHAIRS, AND OTHER DEVICES NEEDED FOR PROPERLY SPACING, SUPPORTING, AND FASTENING REINFORCEMENT SHALL BE PROVIDED. CLAY BRICKS ARE NOT ALLOWED FOR USE AS SLAB STEEL BOLSTERS
- 5.11 VAPOR BARRIER:
- 5.11.1 UNDERLAYS MOISTURE VAPOR BARRIER SHALL BE MADE OF A LAYER OF 6 MIL POLYETHYLENE PLASTIC. PLACE VAPOR BARRIER BETWEEN 2" DRY SAND AND 6" MIN. CONTROLLED STRUCTURAL FILL
6. CONSTRUCTION PRACTICES:
- 6.1 REINFORCEMENT:
- COMPLY WITH REQUIREMENTS OF CRSI, LATEST EDITION.
- 6.1.1 MINIMUM CONCRETE COVER: 3" FOR CONCRETE CAST AGAINST SOIL, 2" FOR OTHER CONCRETE, UNLESS OTHERWISE SHOWN.
- 6.2 DEVELOPMENT AND SPLICING:
- PROVIDE DEVELOPMENT AND TENSION LAP SPICE LENGTHS IN ACCORDANCE WITH THE FOLLOWING, UNLESS NOTED OTHERWISE ON PLANS:
- | DEVELOPMENT BAR SIZE | LENGTH* | CLASS C LAP SPICE |
|----------------------|---------|-------------------|
| #4                   | 12      | 16"               |
| #5                   | 12      | 20"               |
| #6                   | 15      | 26"               |
| #7                   | 21      | 36"               |
| #8                   | 28      | 48"               |
- \*INCREASE BY 30% FOR BARS SPACED < 6"
- 6.3 CHAMFERS:
- CHAMFER ALL EXPOSED EDGES AND CORNERS OF CONCRETE 1/2" OR 1" SIMILAR THROUGHOUT.
- 6.4 JOINTS:
- 6.4.1 CONSTRUCTION JOINTS: PLACE PERPENDICULAR TO THE MAIN REINFORCEMENT. CONTINUE REINFORCEMENT ACROSS CONSTRUCTION JOINTS. PROVIDE KEYWAYS AT LEAST 1 1/2" UNLESS OTHERWISE SHOWN DEEP IN CONSTRUCTION JOINTS IN WALLS, SLAB, AND BETWEEN WALLS AND FOOTINGS. ACCEPTED BULKHEADS DESIGNED FOR THIS PURPOSE MAY BE USED IN SLABS. PROVIDE WATERSTOP WHERE INDICATED.
  - 6.4.2 ISOLATION JOINTS: PROVIDE IN SLABS-ON-GRADE AT POINTS OF CONTACT BETWEEN SLABS-ON-GRADE AND VERTICAL SURFACES, SUCH AS FOUNDATION WALLS, GRADE BEAMS, COLUMN PEDESTALS, AND ELSEWHERE AS NECESSARY.
  - 6.4.3 CONTRACTION (CONTROL) JOINT: PROVIDE IN SLABS-ON-GRADE BY USING INSERTS OR BY SAW CUTTING TO A DEPTH OF 1/2 THE SLAB THICKNESS. PROVIDE A ONE PART ELASTOMERIC JOINT SEALANT TO JOINT GROOVE, A MINIMUM OF 60 DAYS AFTER SLAB PLACEMENT UNLESS OTHERWISE APPROVED.
- 6.5 CONCRETE MIXING:
- 6.5.1 READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN ASTM C94.
  - 6.5.2 ALL CONCRETE SHALL BE MIXED UNTIL THERE IS A UNIFORM DISTRIBUTION OF THE MATERIALS BEFORE DISCHARGE. THE MIXING SHALL BE CONTINUOUS AFTER THE WATER HAS BEEN ADDED TO THE MIX IN THE DRUM.
  - 6.5.3 NO CONCRETE SHALL BE PLACED IN THE FORMS MORE THAN 90 MINUTES AFTER THE WATER HAS BEEN ADDED.
  - 6.5.4 AFTER THE MAXIMUM WATER CEMENT RATIO HAS BEEN ACHIEVED, RETEMPERING OF THE CONCRETE WILL NOT BE ALLOWED, UNLESS APPROVED BY ENGINEER.

CONCRETE NOTES (CONT.)

- 6.6 CONCRETE PLACEMENT:
- 6.6.1 DEPOSIT CONCRETE CONTINUOUSLY IN LAYERS NOT DEEPER THAN 24" OVER PREVIOUS LAYERS WHICH ARE STILL PLASTIC. AVOID COLD JOINTS. CONSOLIDATE CONCRETE BY MECHANICAL VIBRATING EQUIPMENT, SUPPLEMENTED BY HAND-SPACING, RODDING AND TAMPING. DO NOT USE MECHANICAL VIBRATORS TO TRANSPORT CONCRETE.
  - 6.6.2 HOT WEATHER PLACING: COMPLY WITH ACI 306, LATEST EDITION. MAINTAIN A FRESH CONCRETE TEMPERATURE OF NOT LESS THAN 50°F AND NOT MORE THAN 80°F AT THE POINT OF PLACEMENT.
- 6.7 CURING:
- COMPLY WITH ACI 306, LATEST EDITION. COMPLY WITH ACI 306 FOR HOT WEATHER CONCRETING. PROVIDE A MINIMUM OF A 7 DAY CONTINUOUS MOISTURE CURE BY COVERING CONCRETE SURFACE WITH A WET ABSORPTIVE COVER; MAINTAIN SATURATED COVER CONDITION. ALTERNATIVE CURING METHODS WILL ONLY BE ALLOWED IF APPROVED BY ENGINEER. CONTRACTOR WILL SUBMIT ALTERNATIVE CURING PRODUCTS AND METHODS FOR REVIEW AND APPROVAL. ALSO, MAINTAIN CONCRETE CURING TEMPERATURE ABOVE 50°.
- 6.7.1 SLABS: USE MOISTURE CURE OR CURING COMPOUND. APPLY CURING COMPOUND WITHIN 2 HOURS OF FINAL FINISHING BY SPRAY OR ROLLER. RECOAT AREAS SUBJECT TO HEAVY RAINFALL. DO NOT USE CURING COMPOUND ON SLABS WHICH WILL RECEIVE LIQUID FLOOR HARDENER OR OTHER FINISHES.
  - 6.7.2 FORMED SURFACES: CURE FORMED SURFACES WITH FORMS IN PLACE FOR ENTIRE CURING PERIOD, UNLESS ALTERNATE METHODS ARE APPROVED BY THE ENGINEER. CONTACT STRUCTURAL ENGINEER @ 207-878-1751 FOR ALTERNATIVE CURING METHODS. DURING COLD WEATHER CURING, PROVIDE CAST-IN THERMOMETERS FOR MONITORING CONCRETE CURING TEMPERATURE AT LOCATIONS AS DIRECTED BY ENGINEER. MAINTAIN A 50°F WITH USE OF INDIRECT HEAT OR INSULATIVE BLANKETS.
- 6.8 ANCHOR BOLTS: USE TYPE, SIZE, AND LENGTH AS INDICATED ON PLANS.
- EARTHWORK NOTES
- 1. SITE WORK AND CONCRETE CONTRACTORS ARE REQUIRED TO REVIEW THE ON-SITE SUBSURFACE SOIL CONDITIONS WITH THE SER AT THE START OF INITIAL CONSTRUCTION. SITE CONTRACTOR WILL NOTIFY SER AFTER EXCAVATION HAS STARTED AND PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FOUNDATIONS.
  - 2. REMOVE ALL TOPSOIL AND UNCONTROLLED FILL FOR THE AREAS RECEIVING BUILDING FOUNDATIONS.
  - 3. BACKFILL TO THE NECESSARY SUBGRADES REQUIRED ON THE STRUCTURAL FOUNDATION PLANS WITH CONTROLLED STRUCTURAL FILL MATERIAL MEETING THE FOLLOWING GRADATION:
- | PERCENT PASSING | SCREEN OR SIEVE SIZE |
|-----------------|----------------------|
| 5               | 100                  |
| NO. 4           | 90-100               |
| NO. 40          | 35-70                |
| NO. 200         | 5-35                 |
|                 | 0-5                  |
- 4. PLACE CONTROLLED STRUCTURAL FILL IN UNIFORM LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557 MODIFIED PROCTOR DENSITY.
  - 5. PROVIDE SITE GRADING AROUND THE PERIMETER OF THE BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION DURING AND AFTER CONSTRUCTION.
  - 6. MAINTAIN THE INTEGRITY OF NATURAL SOILS AND CONTROLLED STRUCTURAL FILLS DURING CONSTRUCTION. PROTECT FOOTING AND STRUCTURE SUBGRADES AGAINST FREEZING AND EXCESSIVE WETTING. REMOVE AND REFILL FROZEN SUBGRADES, MOISTURE CONCRETION, OR REPLACE EXCESSIVELY WET SUBGRADE MATERIALS.
  - 7. NOTIFY ENGINEER TO OBSERVE SUBGRADES PRIOR TO PLACING FOOTINGS. FOOTINGS ARE DESIGNED FOR A MIN. SOIL BEARING CAPACITY OF 2000PSF, OR FOR BEARING ON SOUND LEDGE.
  - 8. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF LEDGE IS ENCOUNTERED TO DETERMINE FINISHING REQUIREMENTS.
  - 9. ALL FOOTINGS SHALL EXTEND A MINIMUM OF 4'-6" BELOW EXTERIOR FINISHED GRADE, OR BE DOWELED TO LEDGE.
  - 10. PROOF ROLL SUBGRADE PRIOR TO SLAB CONSTRUCTION. PROVIDE STRUCTURAL FILL MEETING THE GRADATION SPECIFIED HEREIN FOR FILL MATERIALS BELOW THE SLAB. MAXIMUM PERCENT PASSING 200 SIEVE = 7%.
  - 11. COMPACT CONTROLLED STRUCTURAL FILLS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND ASTM D1557. USE ONLY HAND-OPERATED EQUIPMENT ADJACENT TO WALLS. FILL BOTH SIDES OF WALLS TO EQUAL ELEVATIONS BEFORE COMPACTING.
- DEGREE OF COMPACTION: COMPACT TO THE FOLLOWING MINIMUM DENSITIES:
- | FILL AND BACKFILL LOCATION           | DENSITY     |
|--------------------------------------|-------------|
| UNDER STRUCTURE FOUNDATIONS          | 95% OF MAX. |
| TOP 2 FEET UNDER PAVEMENT            | 95%         |
| BELOW TOP 2 FEET UNDER PAVEMENT      | 92%         |
| TRENCHES THROUGH UNPAVED AREAS       | 90%         |
| EMBANKMENTS                          | 90%         |
| Pipe BEDDING                         | 92%         |
| BEHIND STRUCTURE FOUNDATION WALLS    | 90%         |
| TANK WALLS AND RETAINING WALLS       | 90%         |
| UNDER PIPES THROUGH STRUCTURAL FILLS | 90%         |
| UNDER DRAIN FILTER SAND              | 92%         |
- MAXIMUM DENSITY: ASTM D1557, MODIFIED
- FIELD DENSITY TESTS: ASTM D1556 (SAND CONE), ASTM D1673 (RUBBER BALLOON), OR ASTM D2922 (NUCLEAR METHOD).
12. CONTRACTOR IS REQUIRED TO CONFORM TO OSHA (29 PART 1926.650-652) SURFACE P CONSTRUCTION STANDARD FOR EXCAVATIONS.



**ASSOCIATED DESIGN PARTNERS INC.**

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Falmouth, Maine 04105

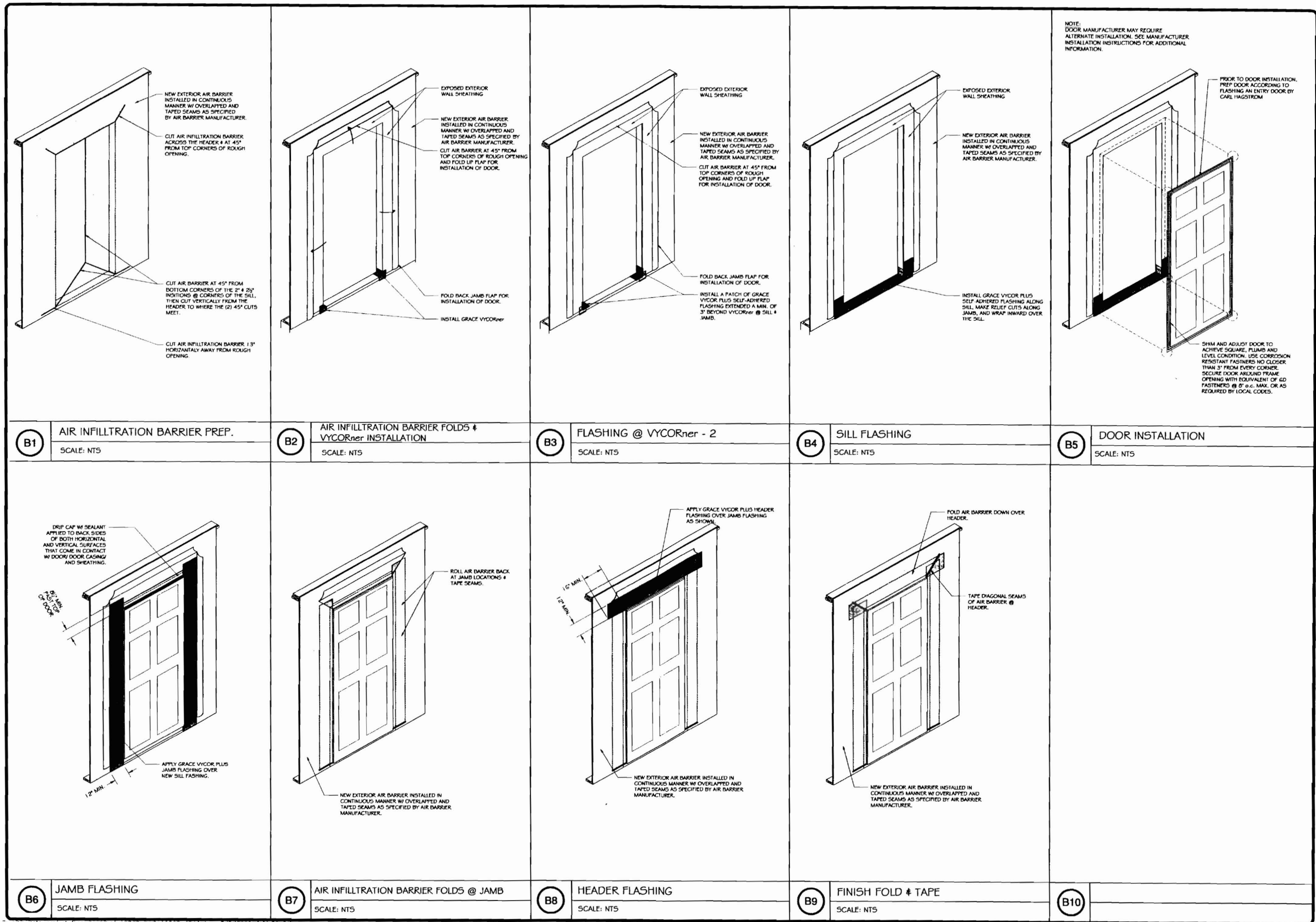
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PROJECT: **MONFILETTO RESIDENCE**  
**PORTLAND, ME**  
FOR: **TONY MONFILETTO**

SHEET TITLE: **BUILDING NOTES**  
**ISSUED FOR PERMITTING**

REVISIONS	DATE
DESCRIPTION	
No.	By
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DATE: 8/4/09  
SCALE: AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 09202-S303.DWG  
PROJECT NUMBER:  
**09202**  
SHEET NO:  
**S303**



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PROJECT: **MONFILETTO RESIDENCE**

FOR: TONY MONFILETTO 181 Hope Ave.

SHEET TITLE: **TYPICAL DOOR INSTALLATION**  
ISSUED FOR PERMITTING

REVISIONS	DATE
No.	BY
1	ASW
2	ASW
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7	ASW
8	ASW
9	ASW
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