

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1541	Issue Date: DEC 31 2003	CBL: 392 A019001
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Location of Construction: 199 Hope Ave	Owner Name: Robinson Susan M	Owner Address: 33 Eastfield Rd	Phone:
Business Name: NA	Contractor Name: Jiminos Plumbing & Heating	Contractor Address: 1407 Riverside Street Portland	Phone: 2077973174
Lessee/Buyer's Name: NA	Phone: NA	Permit Type: HVAC	Zone: R-2

Past Use: Single Family Home	Proposed Use: Install in basement oil burning HB Smith with a 275 Gal oil tank	Permit Fee: \$57.00	Cost of Work: \$3,500.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: J Type: Heating BOCA MECHANICAL 1993	

Proposed Project Description: Install in basement oil burning HB Smith with a 275 Gal oil tank	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 12/30/2003	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 12/30/03</p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date:</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: 12/30/03</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

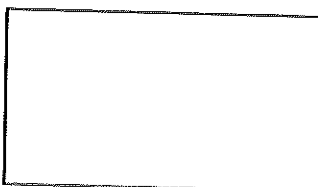
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



392 A 019

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 199 Hope AVE Use of Building Res Date 12/29/03  
Name and address of owner of appliance 199 Hope AVE

Installer's name and address Jumiro's P/H 1407 Riverside ST  
Portland ME Telephone 797-3174

**Location of appliance:**

- Basement
- Attic
- Floor
- Roof

**Type of Fuel:**

- Gas
- Oil
- Solid

Appliance Name: HB Smith

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

**The Type of License of Installer:**

- Master Plumber # 05683
- Solid Fuel # \_\_\_\_\_
- Oil # \_\_\_\_\_
- Gas # \_\_\_\_\_
- Other \_\_\_\_\_

**Type of Chimney:**

Masonry Lined  
Factory built \_\_\_\_\_

Metal  
Factory Built U.L. Listing # \_\_\_\_\_

Direct Vent  
Type \_\_\_\_\_ UL# \_\_\_\_\_

**Type of Fuel Tank**

- Oil
- Gas

Size of Tank 275 GAL

Number of Tanks 1

Distance from Tank to Center of Flame 15 feet.

Cost of Work: \$ 3500.00

Permit Fee: \$ ~~336.00~~ 57.00

Approved

Approved with Conditions

- See attached letter or requirement

Fire: \_\_\_\_\_  
Ele.: \_\_\_\_\_  
Bldg.: \_\_\_\_\_

Inspector's Signature \_\_\_\_\_ Date Approved \_\_\_\_\_

Signature of Installer [Signature]

White - Inspection    Yellow - File    Pink - Applicant's    Gold - Assessor's Copy



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

7/29 2003

Received from East Coast Development

Location of Work 199 Hope Ave (Lot 19)

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 300.00

Building (IL) \_\_\_ Plumbing (IS) \_\_\_ Electrical (I2) \_\_\_ Site Plan (U2)

Other \_\_\_\_\_

CBL: 392A019

Check #: 1292 Total Collected \$ 300.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

12.29.0 20 03

Received from Simino's

Location of Work 199 Hope Ave

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 57<sup>00</sup>/100

Building (I1) \_\_\_\_\_  Plumbing (I5) \_\_\_\_\_  Electrical (I2) \_\_\_\_\_  Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 392 A 019

Check #: 5752 Total Collected \$ 57<sup>00</sup>/100

**THIS IS NOT A PERMIT**

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WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

7/29 20 03

Received from East Coast Development

Location of Work 199 Hope Ave (Lot 19)

Cost of Construction \$ 235,000.

Permit Fee \$ 21,360.00

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other Copy 75.00

CBL: 372A019

Check #: 1292 Total Collected \$ 2211.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

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Lessee/Buyer's Name NA	Phone: NA	Permit Type: HVAC	

Proposed Use: Install in basement oil burning HB Smith with a 275 Gal oil tank	Proposed Project Description: Install in basement oil burning HB Smith with a 275 Gal oil tank
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Dept: Zoning      Status: Approved      Reviewer: Tammy Munson      Approval Date: 12/30/2003  
Note:      Ok to Issue:

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 12/30/2003  
Note:      Ok to Issue:

1) Installation shall comply with 1993 BOCA Mechanical Code and State of Maine Oil and Solid Fuel Board Laws and Rules

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations. *Jay Reynolds*

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~##~~ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

*James Bouke*  
Signature of applicant/designee

8/19/03  
Date

*James Bouke*  
Signature of Inspections Official

8/19/03  
Date

CBL: 392-A-19 Building Permit #: 03-0917



95 YORK ST  
 KENNEBUNK ME. 04043  
 PHONE: 985-6565 FAX: 985-8194  
 TOLL FREE: 1-800-298-6565

FAX COVER SHEET  
 TOTAL PAGES INC. COVER 3

Urgent  Reply ASAP  Please comment  Please review  For your information

TO: Jeannie

FROM: Joe Robinson

COMMENTS

These specs. are for my  
 House, the Porch Beam &  
 The 2 Garage Beams.  
 Thanks





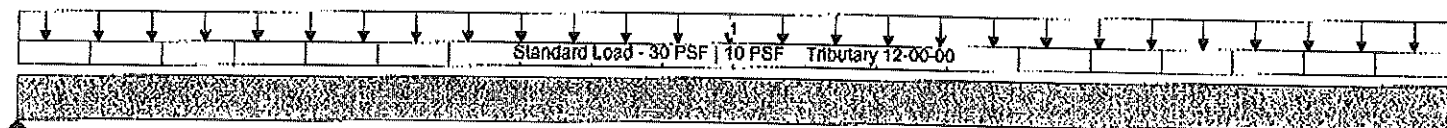
BC CALC® 2002 DESIGN REPORT - US

Tuesday, August 19, 2003 14:08

Single 5 1/4" x 9 1/2" VERSA-LAM® 3080 DF

Job Name - ROBINSON JOB  
 Address -  
 City, State, Zip -  
 Customer -  
 Code reports - ICBO 5663, NER 442

File Name - BC CALC Project ; FB01  
 Description -  
 Specifier -  
 Designer - hancocklumber  
 Company - hancocklumber  
 Misc - GARAGE DOOR BEAM



B0  
 4077 lbs LL  
 1768 lbs DL

B1  
 4077 lbs LL  
 1768 lbs DL

Total Horizontal Length - 09-00-00

General Data

Version: US Imperial  
 Member Type: - Floor Beam  
 Number of Spans - 1  
 Left Cantilever - No  
 Right Cantilever - No  
 Slope 0/12  
 Tributary 12-00-00  
 Repetitive n/a  
 Construction Type n/a  
 Live Load 30 PSF  
 Dead Load 10 PSF  
 Part Load 0 PSF  
 Duration 100

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
S	Standard	Unf.Area Load	Left	00-00-00	09-00-00	30 PSF	10 PSF	12-00-00	100
1		Unf.Area Load	Left	00-00-00	09-00-00	42 PSF	20 PSF	13-00-00	115

Controls Summary

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	13151 ft-lbs	55.0%	@ 115%	3	1 - Internal
End Shear	4816 lbs	44.2%	@ 115%	3	1 - Left
Total Deflection	L/422 (0.256")	56.8%		3	1
Live Deflection	L/605 (0.178")	79.2%		3	1
Max. Defl.	0.256" (Limit: 1")	25.6%		3	1
Span/Depth	11.4				1

NOTES:

Design meets Code minimum (L/240) Total load deflection criteria.  
 Design meets User specified (L/480) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Minimum bearing length for B0 is 1-1/2".  
 Minimum bearing length for B1 is 1-1/2".  
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are registered trademarks of Boise Cascade Corporation.

**BOISE™**

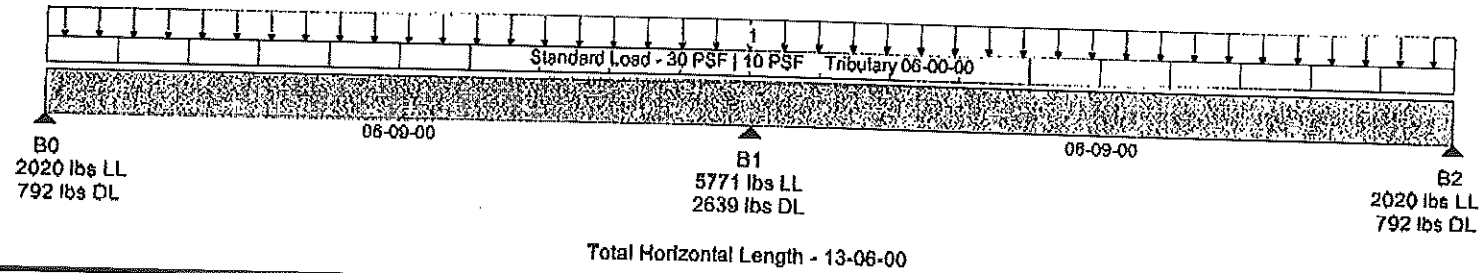
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Tuesday, August 19, 2003 14:07

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 Address -  
 City, State, Zip -  
 Customer -  
 Code reports - ICBO 5663, NER 442

File Name - BC CALC Project : FB01  
 Description -  
 Specifier -  
 Designer - hancocklumber  
 Company - hancocklumber  
 Misc - PORCH BEAM



General Data		Load Summary									
Version:	US Imperial	ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
Member Type:	- Floor Beam	S	Standard	Unf.Area Load	Left	00-00-00	13-06-00	30 PSF	10 PSF	06-00-00	100
Number of Spans:	- 2	1		Unf.Area Load	Left	00-00-00	13-06-00	42 PSF	20 PSF	12-00-00	115
Left Cantilever:	- No	<b>Controls Summary</b>									
Right Cantilever:	- No	Control Type	Value	% Allowable	Duration	Loadcase	Span Location				
Slope:	0/12	Moment	5677 ft-lbs	23.7%	@ 115%	3	1 - Right				
Tributary:	06-00-00	End Shear	2023 lbs	18.6%	@ 115%	4	1 - Left				
Repetitive:	n/a	Cont. Shear	3416 lbs	31.3%	@ 115%	3	1 - Right				
Construction Type:	n/a	Total Deflection	L/2135 (0.038")	11.2%		5	2				
Live Load:	30 PSF	Live Deflection	L/2715 (0.03")	17.7%		5	2				
Dead Load:	10 PSF	Total Neg. Defl.	-0.008"	1.5%		5	1				
Part Load:	0 PSF	Max. Defl.	0.036" (Limit: 1")	3.8%		5	2				
Duration:	100	Span/Depth	8.5			1					

**NOTES:**  
 Design meets Code minimum (L/240) Total load deflection criteria.  
 Design meets User specified (L/480) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Minimum bearing length for B0 is 1-1/2".  
 Minimum bearing length for B1 is 3".  
 Minimum bearing length for B2 is 1-1/2".  
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

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**PLUMBING APPLICATION**

**PROPERTY ADDRESS**

Town or Plantation: Portland  
Street: 199 Hope Ave  
Subdivision Lot #: \_\_\_\_\_

**PROPERTY OWNERS NAME**

Last: Rubinson First: Joe  
Applicant Name: Jimmy's Path  
Mailing Address of Owner/Applicant (if Different):  
1407 Riverside St  
Portland ME 04103

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the local plumbing inspectors to deny a permit.

Signature of Owner/Applicant: \_\_\_\_\_  
Date: 11/23

Local Plumbing Inspector Signature: \_\_\_\_\_  
Date Approved: \_\_\_\_\_

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Portland  
Date: 12/29/03  
Permit Fee: \$ \_\_\_\_\_  
Double Fee charged:  \_\_\_\_\_  
L.P.I. # 010411  
Local Plumbing Inspector Signature: \_\_\_\_\_

2003-8419

**PERMIT INFORMATION**

This Application is for:

- 1. NEW PLUMBING
- 2. RELOCATED
- 3. MULTIPLE FAMILY DWELLING
- 4. OTHER - SPECIFY \_\_\_\_\_

Type of Structure To Be Served:

- 1. MASTER PLUMBER
- 2. OIL BURNERMAN
- 3. MFG'D. HOUSING DEALER/MECHANIC
- 4. PUBLIC UTILITY EMPLOYEE
- 5. PROPERTY OWNER

Plumbing To Be Installed By:

- 1. MASTER PLUMBER
- 2. OIL BURNERMAN
- 3. MFG'D. HOUSING DEALER/MECHANIC
- 4. PUBLIC UTILITY EMPLOYEE
- 5. PROPERTY OWNER

LICENSE # 05683

Column 1 Type of Fixture	Number	Column 2 Type of Fixture	Number	Hook-Up & Piping Relocation Maximum of 1 Hook-Up
Bathub (and Shower)	1	Hosebibb / Silcock	2	<input type="checkbox"/> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. <b>OR</b> <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system. <input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.
Shower (Separate)	1	Floor Drain		
Sink	2	Urinal		
Wash Basin	4	Drinking Fountain		
Water Closet (Toilet)	3	Indirect Waste		
Clothes Washer	1	Water Treatment Softener, Filter, etc.		
Dish Washer	1	Grease / Oil Separator		
Garbage Disposal		Dental Cuspidor		
Laundry Tub		Bidet		
Water Heater		Other: _____		
Fixtures (Subtotal) Column 1	2	Fixtures (Subtotal) Column 2		TRANSFER FEE (\$6.00)
Total Fixtures	13	SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		
Hook-Up & Relocation Fee				
Transfer Fee				
Fixtures Fee				
Permit Fee (Total)	96.00			

TOWN COPY  
96.00 + 1.00 = 97.00

**From:** Kevin Carroll  
**To:** Mike Nugent  
**Date:** Fri, Mar 26, 2004 7:56 AM  
**Subject:** lot # 19, 199 Hope Ave, Jos. Robinson, east coast development LLC

I visited this site on 3/25/04 to review Jay's concerns. The phot was taken from the street and shows the right side of the house. The door on the first floor shows on the plans and the owner does have it guarded with a code compliant 48" barrier, according to Marge he cannot build any kind of deck, landing or stairs here and he was informed of this and put the door in with full knowledge that it could not be used. The two windows on the lower right do not show on the plans. The plans show the grade on that side of the house coming up to just below the top plate on the foundation. Although the grade is wrong { I advised Jay of this) and there is not supposed to be a cut down in the foundation wall the windows themselves would not constitute a "daylight " basement. It seems that we do not actually have a definition of a \"daylight \" basement and have to go by 14-47. pg. 14-30 , the definition of story.

Also, if you recall this owner/contractor had numerous other non-code compliance issues when he requested a temp. CofO 2/20/04. He has other issues with Jay regarding the knowingly filling of wetlands.  
kwc

**CC:** Jay Reynolds



Design: DGR	Date: 7/21/03
Draft: GIL	Job No.: 822
Checked: AMP	Scale: 1"=30'
File Name: 760-SP	

**GP** Gorrell-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 207-637-6910  
 13 State Road  
 Dix, ME 04039  
 Fax: 207-637-6912  
 E-Mail: molke@gorrellpalmer.com

Drawing Name:  
 Lot 19 Layout & Utility Plan  
 Project:  
 PRESUMPSCOT RIVER PLACE

Figure No.  
 2

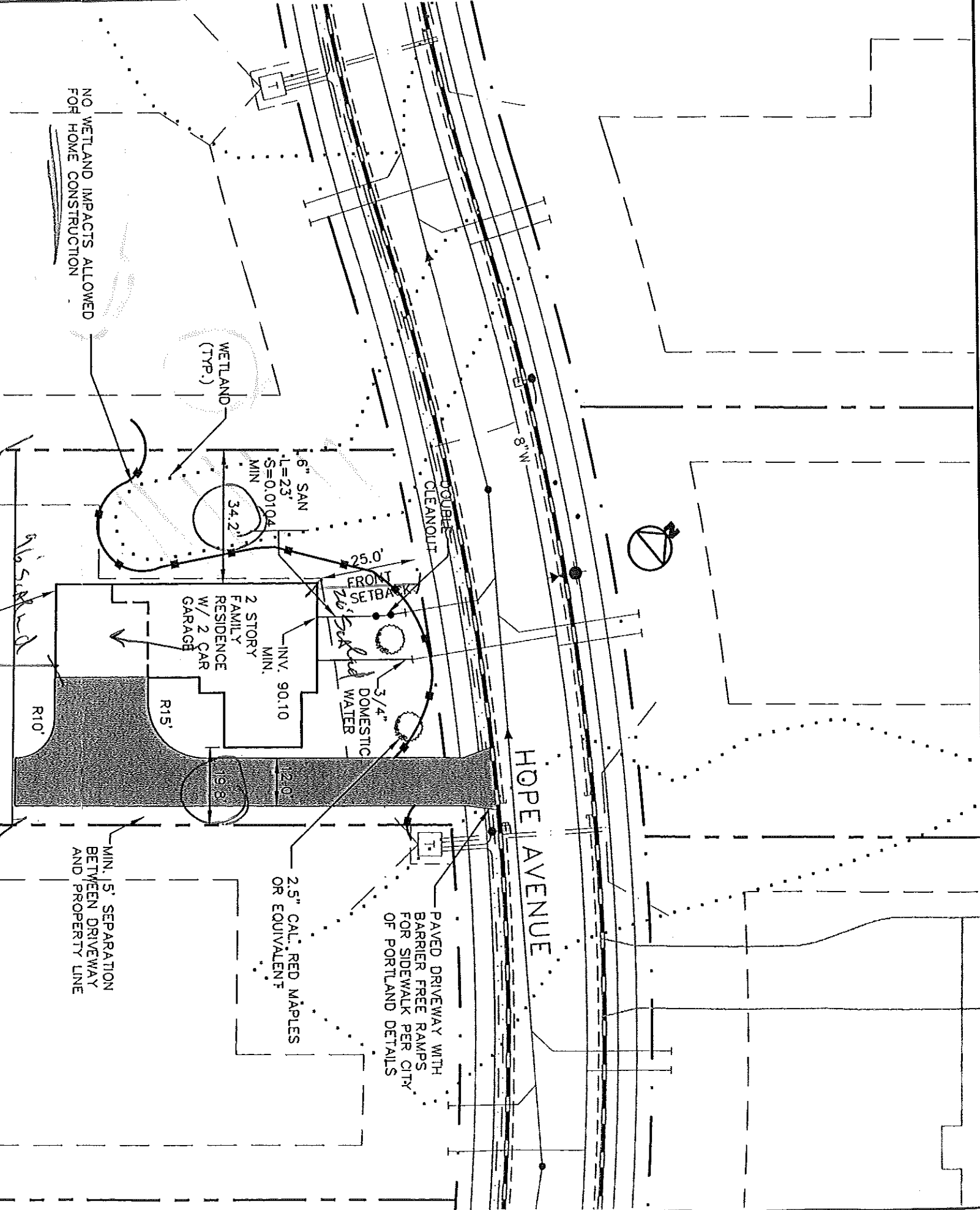


*Used*

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TREGOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

**GENERAL NOTES**

LOT 19  
 22,773 sf  
 0.52 dc  
 140' S&R Rd



NO WETLAND IMPACTS ALLOWED FOR HOME CONSTRUCTION

NO WETLAND IMPACTS ALLOWED FOR HOME CONSTRUCTION

REFER TO BUILDING PLANS FOR DIMENSIONS

MIN. 15' SEPARATION BETWEEN DRIVEWAY AND PROPERTY LINE

2.5" CAL. RED MAPLES OR EQUIVALENT

PAVED DRIVEWAY WITH BARRIER FREE RAMPS FOR SIDEWALK PER CITY OF PORTLAND DETAILS

HOPE AVENUE

DOUBLE CLEANOUT

3/4" DOMESTIC WATER

WETLAND (TYP.)

1.6" SAN  
 L=23'  
 S=0.0104  
 MIN.

2 STORY FAMILY RESIDENCE W/ 2 CAR GARAGE  
 INV. 90.10  
 MIN.

R10'

R15'

12.0'

19.8'

34.2'

25.0'

8" W

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

140' S&R Rd

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140' S&R Rd

140' S&R Rd

140' S&R Rd

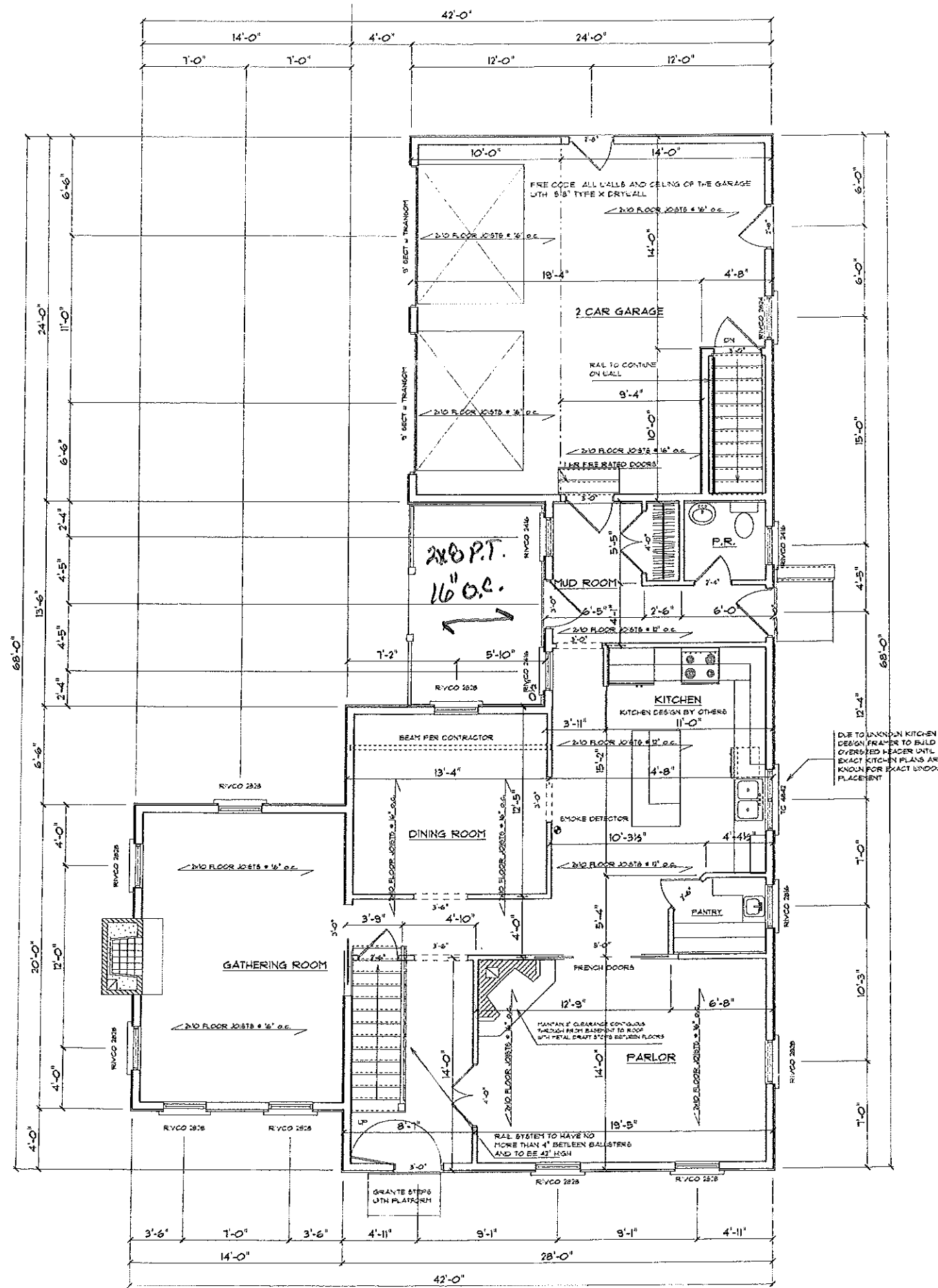
140' S&R Rd

140' S&R Rd

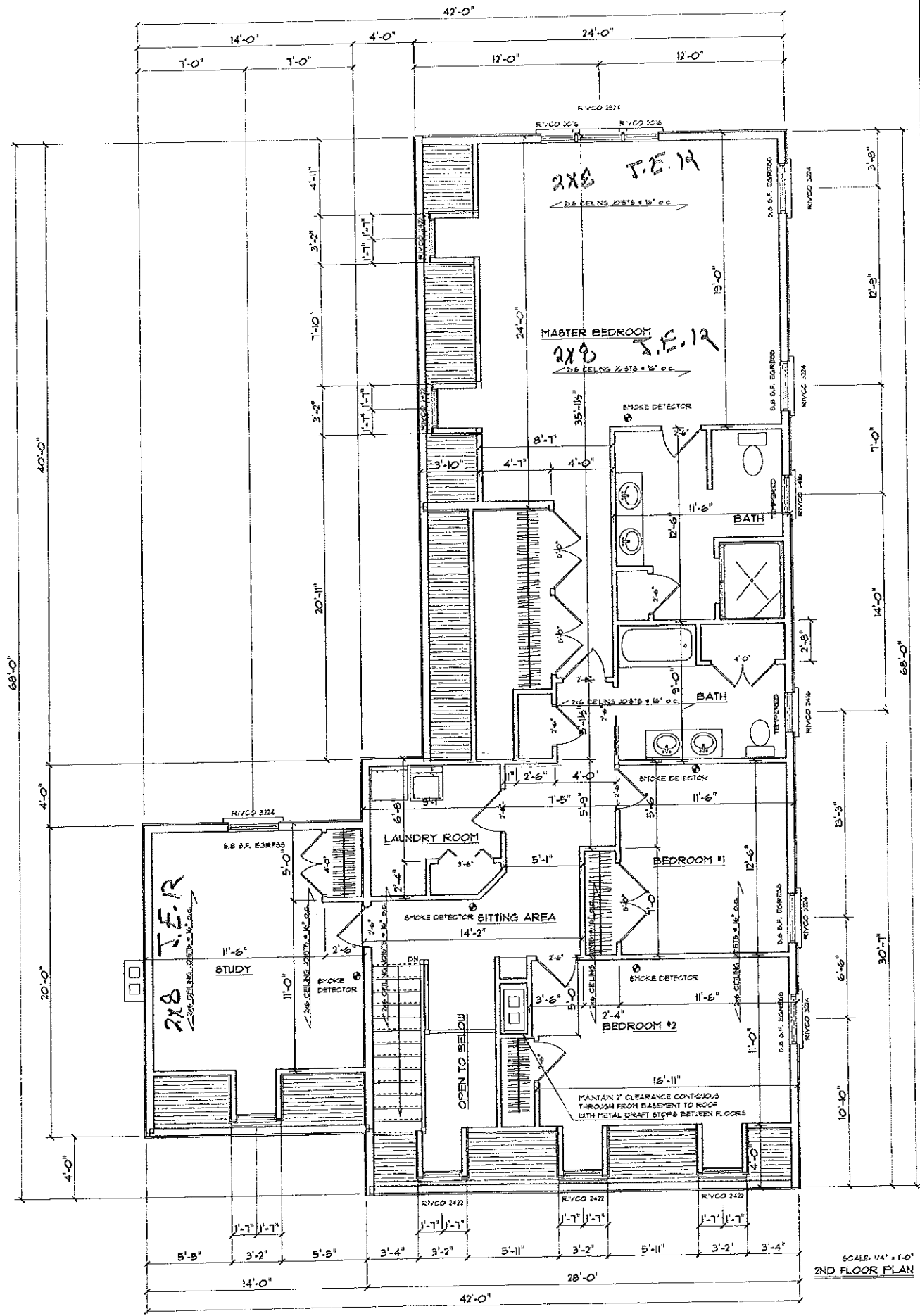
140' S&R Rd

140' S&R Rd





SCALE: 1/4" = 1'-0"  
1ST FLOOR LAYOUT



SCALE: 1/4" = 1'-0"  
2ND FLOOR PLAN

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. THE PALANCA AND PALANCA DESIGN GROUP, INC. IS NOT PROVIDING THESE PLANS AS A SERVICE. SUCH AS CHECKING PLANS OR THEY HAVE THE LIABILITY AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE RESPONSIBLE FOR ACCURACY AND STRUCTURAL INTEGRITY OF A REGISTERED ARCHITECT OR ENGINEER. CONTRACTOR SHALL VERIFY ALL ACTUAL CONSTRUCTION AND CONTRACT SPECIFICATIONS OVERALL HOUSE PLANS.

PROJECT NAME: **ROBINSON RESIDENCE**  
LOT 19  
HOPE AVE  
PORTLAND ME

REVISIONS

DATE: JULY 24 2009  
SCALE: AS NOTED  
DRAWN:  
FILE:

SHEET \_\_\_ OF \_\_\_



REAR ELEVATION



RIGHT ELEVATION

J.E.R.  
8-19-03

J.E.R.



LEFT ELEVATION

J.E.R.



FRONT ELEVATION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN  
 REVIEWED BY THE ARCHITECT FOR CONFORMANCE WITH  
 ANY LOCAL, STATE, FEDERAL AND NATIONAL BUILDING CODES.  
 THE ARCHITECT HAS NOT BEEN ADVISED OF ANY  
 CHANGES IN THE PRACTICE OF ARCHITECTURE OR  
 ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS  
 SUCH. THESE PLANS ARE PROVIDED AS A SERVICE  
 AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.  
 THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY  
 OF THE INFORMATION PROVIDED IN THESE PLANS.  
 TO BE RELIED UPON FOR ACCURACY AND STRUCTURAL  
 INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER  
 AND CONTRACTOR. THE ARCHITECT DOES NOT WARRANT  
 CONTRACT SPECIFICATIONS OR BUILDING PLANS.

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DATE: July 24 2003

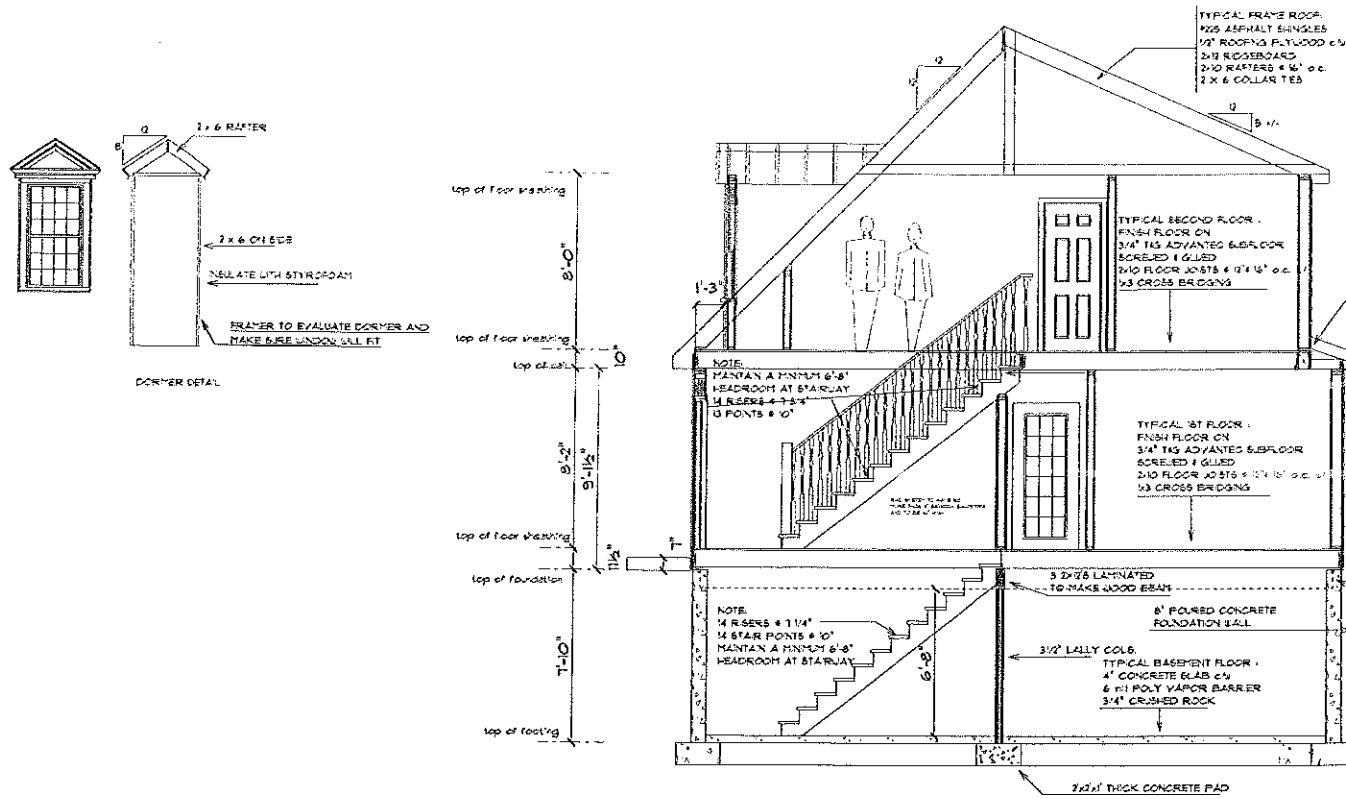
SCALE: AS NOTED

DRAWN

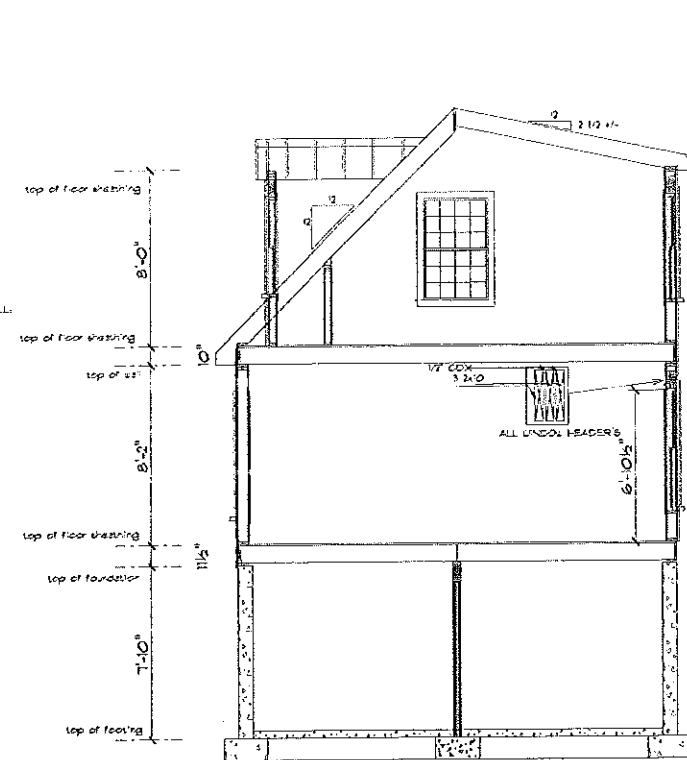
FILE

SHEET \_\_\_ OF \_\_\_



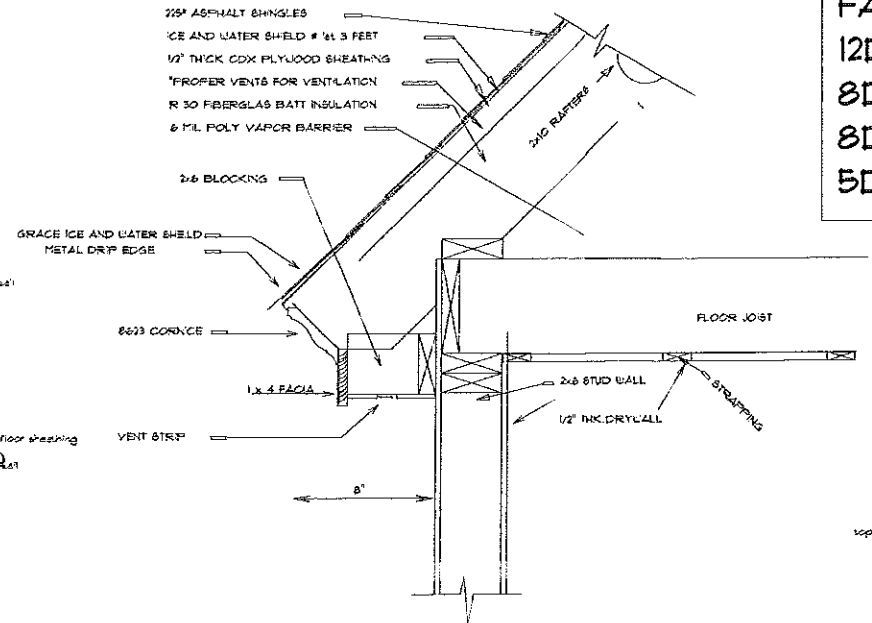


CROSS SECTION A-A  
SCALE: 1/4" = 1'-0"

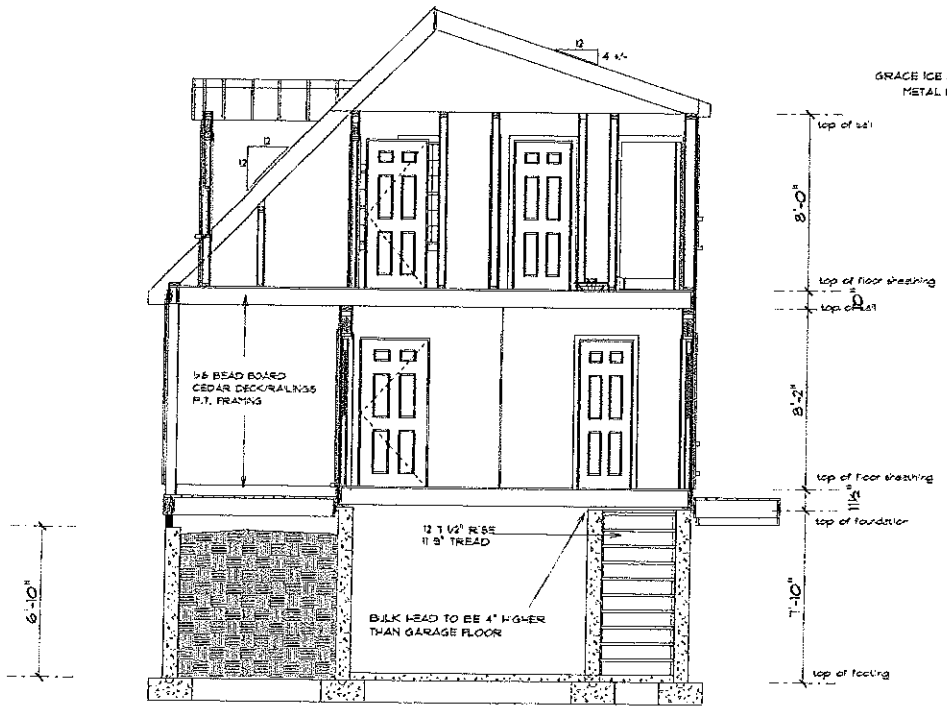


CROSS SECTION B-B  
FRAMING DETAIL THE SAME AS CROSS SECTION A-A UNLESS NOTED  
SCALE: 1/4" = 1'-0"

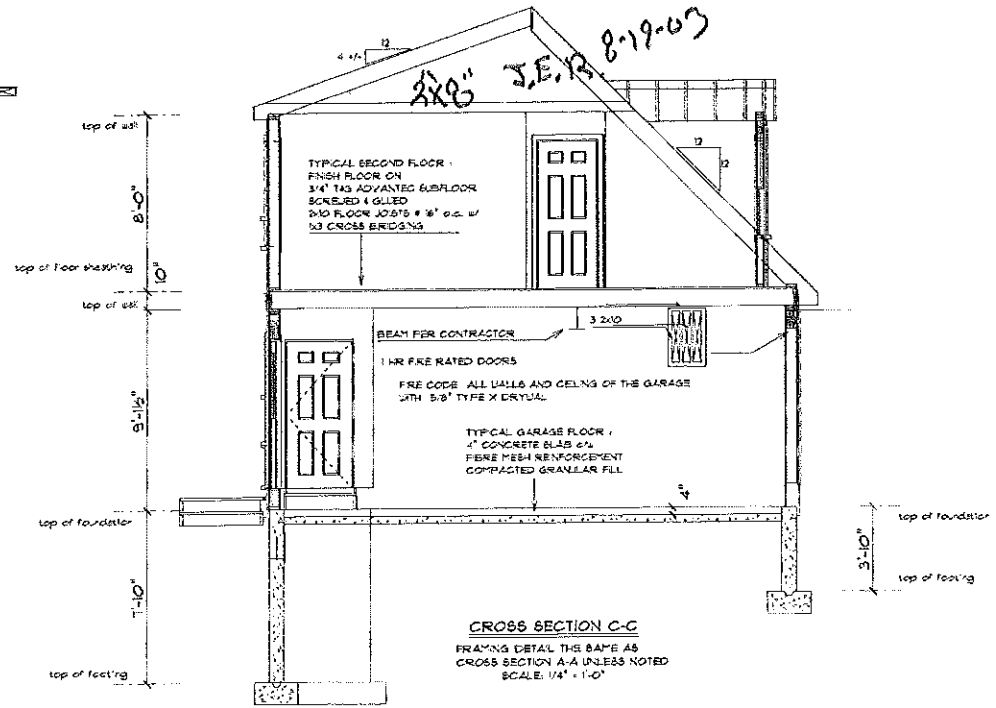
**FASTENERS:**  
 12D NAILS ON FRAMING CONSTRUCTION  
 8D RING SHANK NAILS ON FLOOR SHEATHING  
 8D NAILS ON WALL AND ROOF SHEATHING  
 5D STAINLESS NAILS FOR SIDING



TYPICAL RAFTER TRIM DETAIL



CROSS SECTION D-D  
FRAMING DETAIL THE SAME AS CROSS SECTION A-A UNLESS NOTED  
SCALE: 1/4" = 1'-0"

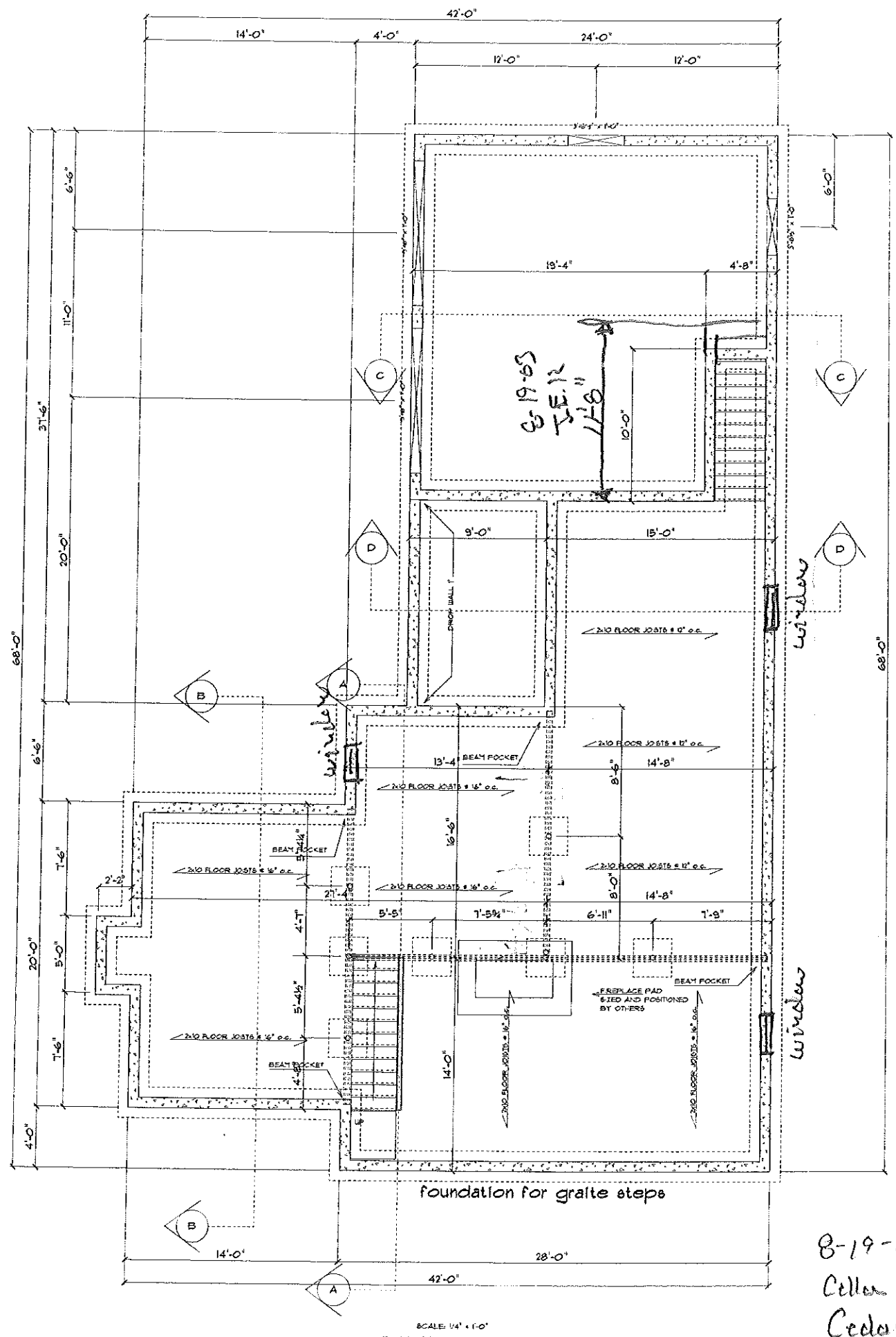


CROSS SECTION C-C  
FRAMING DETAIL THE SAME AS CROSS SECTION A-A UNLESS NOTED  
SCALE: 1/4" = 1'-0"

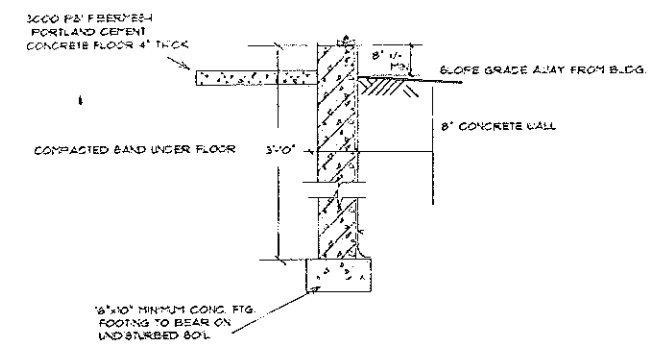
THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANCA AND PALANCA DESIGN ARE NOT LICENSED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING. NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PREPARED AS A SERVICE TO THE CLIENT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR JURISDICTION WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT PROVIDES ALL DIMENSIONS AND SPECIFICATIONS TO BE DEVELOPED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER. CONTRACT SPECIFICATIONS OVERRULE THESE PLANS.

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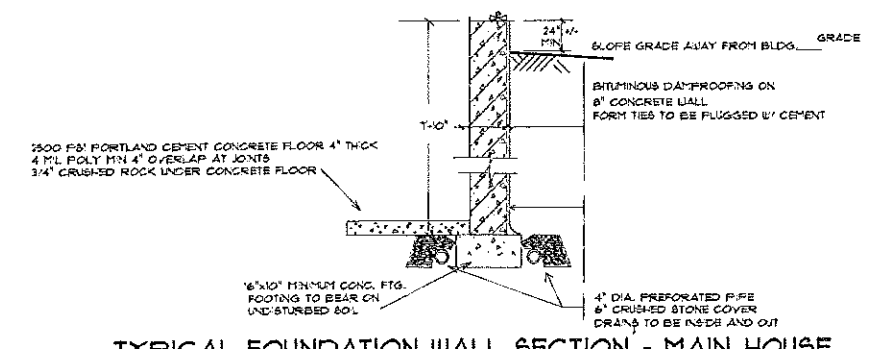
REVISIONS	
DATE: July 24 2003	
SCALE: AS NOTED	
DRAWN	
FILE:	
SHEET: _____ OF _____	



8-19-03 J.E.R.  
Cedar Window  
Cedar Primed 8" wall



TYPICAL FROSTWALL SECTION - GARAGE



TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE OR OF THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS.

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